

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
**NOVEMBER 14, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) **CALL TO ORDER**

(II) **OPEN FORUM**

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) **CONSENT AGENDA**

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of minutes for the November 1, 2023 Planning and Zoning Commission meeting.

(2) **P2023-034 (ANGELICA GUEVARA)**

Discuss and consider a request by Billy Duckworth of A&W Surveyors, Inc. on behalf of David Gamez for the approval of a Replat for Lots 2 & 3, Block A, Gamez Addition being a 0.369-acre parcel of land identified as Lot 1, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 614 E, Boydston Avenue, and take any action necessary.

(IV) **PUBLIC HEARING ITEMS**

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(3) **Z2023-049 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for Heavy Manufacturing on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

(4) **Z2023-050 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Keith Green for the approval of a Specific Use Permit (SUP) for Guest Quarters/Secondary Living Unit on a 0.22-acre parcel of land identified as Block 43A of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and take any action necessary.

(5) **Z2023-051 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Frank Conselman of Conselman Equities for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated in the Airport Overlay (AP OV) District, addressed as 1775 Airport Road, and take any action necessary.

(V) **ACTION ITEMS**

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(6) **SP2023-032 (HENRY LEE)**

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(7) **SP2023-034 (HENRY LEE)**

Discuss and consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Site Plan for a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

(8) **SP2023-035 (HENRY LEE)**

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251-acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

(9) **SP2023-036 (HENRY LEE)**

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

(10) **SP2023-037 (HENRY LEE)**

Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a Site Plan for a *Light Industrial Building* on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.

(11) **SP2023-038 (ANGELICA GUEVARA)**

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

(12) **SP2023-039 (HENRY LEE)**

Discuss and consider a request by Ronny Klingbeil of RLK Engineering, Inc. on behalf of Tim Lyssy of the Rockwall Independent School District (RISD) for the approval of a Site Plan for existing *Public Secondary School (i.e. J. W. Williams Middle School)* on a 26.25-acre parcel of land identified as Lot 1, Block 1, Rockwall Middle School #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, North SH-205 Overlay (N. SH-205 OV) District, addressed as 625 FM-552, and take any action necessary.

(VI) **DISCUSSION ITEMS**

(13) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2023-031: Final Plat for Lot 1, Block A, Hunter Addition (**APPROVED**)
- P2023-032: Final Plat for Lots 1 & 2, Block A, Interstate Classic Cars Addition (**APPROVED**)
- P2023-033: Final Plat for Lot 1, Block A, John King Office Park Addition (**APPROVED**)

- P2023-035: Replat for Lot 3, Block 1, Rockwall Recreation Addition (**APPROVED**)
- P2023-036: Final Plat for Lot 1, Block A, Helping Hands Addition (**APPROVED**)
- P2023-037: Replat for Lots 17-24, Block 1, Alliance Addition (**APPROVED**)
- Z2023-045: Zoning Amendment to Planned Development District 50 (PD-50) for *General Personal Services* (**2<sup>ND</sup> READING; APPROVED**)
- Z2023-046: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 715 Sherman Street Lane (**2<sup>ND</sup> READING; APPROVED**)
- Z2023-048: Specific Use Permit (SUP) for a *Restaurant, with 2,000 SF of More, with Drive-Through or Drive-In* at 3060 N. Goliad Street [SH-205] (**2<sup>ND</sup> READING; APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 10, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
NOVEMBER 1, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND  
4 SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## I. CALL TO ORDER

5  
6  
7  
8 **Vice-Chairman Womble called the meeting to order at 6:18 PM. Commissioners present were Kyle Thompson, Jay Odom, Ross Hustings. Absent**  
9 **from the meeting was Chairman Derek Deckard, Commissioner Jean Conway and Brian Llewelyn. Staff members present were Director of Planning**  
10 **and Zoning Ryan Miller, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City**  
11 **Engineer Jonathan Browning and Civil Engineer Madelyn Price. Absent from the meeting was Senior Planner Henry Lee and Planner Bethany Ross.**

## II. APPOINTMENTS

- 12  
13  
14  
15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on  
16 the agenda requiring architectural review.

17  
18 **Director of Planning and Zoning Ryan Miller advised that staff would provide ARB recommendations when staff presents the case.**

## III. OPEN FORUM

19  
20  
21  
22 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
23 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
24 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
25 *Act.*

26  
27 **Vice-Chairman Womble explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there**  
28 **being no one indicating such, Vice-Chairman Womble closed the open forum.**

## IV. CONSENT AGENDA

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31  
32 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
33 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- 34  
35 2. Approval of minutes for the October 10, 2023 Planning and Zoning Commission meeting.

### 3. P2023-031 (HENRY LEE)

36  
37  
38 Consider a request by Michael Hunter for the approval of a Final Plat for Lot 1, Block A, Hunter Addition being a 0.631-acre tract of land identified as Lot 1,  
39 Block A, Barz Acre Addition and Lot 1, Block 1, Reeves Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District,  
40 addressed as 220 W. Quail Run Road, and take any action necessary.

### 4. P2023-032 (BETHANY ROSS)

41  
42  
43 Consider a request by Matthew Peterson of DB Constructors, Inc. on behalf of Jeff Fleming of Jeff Fleming Investments, LLC for the approval of a Final Plat  
44 for Lots 1 & 2, Block A, Interstate Classic Cars Addition being a 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No.  
45 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development 46 (PD-46) District for Commercial (C) District land uses, situated within the  
46 SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing,  
47 and take any action necessary.

### 5. P2023-033 (BETHANY ROSS)

48  
49  
50 Consider a request by Aaron Davis of John King, LLC for the approval of a Final Plat for Lot 1, Block A, John King Office Park being a 2.361-acre tract of  
51 land identified as Tract 1-2 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development 10 (PD-10)  
52 for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 1940 S. John King Boulevard, and  
53 take any action necessary.

### 6. P2023-035 (BETHANY ROSS)

54  
55  
56 Consider a request by Drew Donosky of ClayMoore Engineering on behalf of Chase Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Replat  
57 for Lot 3, Block 1, Rockwall Recreational Addition being a 4.39-acre parcel of land identified as Lot 2, Block 1, Rockwall Recreational Addition, City of  
58 Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and  
59 take any action necessary.

### 7. P2023-036 (BETHANY ROSS)

62 Consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Jon Bailey of Helping Hands Rockwall for the approval of a Final Plat for Lot 1, Block  
63 A, Helping Hands Addition being an 9.70-acre tract of land identified as Lot 1, Block A, Waggoner Gardens Inc. Addition, City of Rockwall, Rockwall County,  
64 Texas, zoned Commercial (C) District, addressed as 950 Williams Street, and take any action necessary.  
65  
66

67 **8. P2023-037 (BETHANY ROSS)**

68 Consider a request by Cameron Slown, PE of Teague, Nall, and Perkins, Inc. on behalf of Randall Noe of Rockwall Rental Properties, LP for the approval of  
69 a Replat for Lots 17-24, Block 1, Alliance Addition, Phase 2 being a 3.06-acre tract of land identified as Lots 12-14, Block 1, Alliance Addition, Phase 2, City of  
70 Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, generally located at the northeast  
71 corner of the intersection of Andrews Drive and Alliance Drive, and take any action necessary.  
72

73 **Commissioner Hustings made a motion to approve Consent Agenda. Commissioner Thompson seconded the motion which passed by a vote of 4-**  
74 **0.**

75  
76 V. ACTION ITEMS

77  
78 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
79 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*  
80

81 **9. MIS2023-014 (RYAN MILLER)**

82 Discuss and consider a request by Alan M. Jacob of Car Wash Pro Designers on behalf of Jim Dunn for the approval of a Miscellaneous Case for a Variance to  
83 the underground utility requirements in conjunction with a proposed car wash on a 6.17-acre tract of land identified as Tract 3-09 of the J. M. Allen Survey,  
84 Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10), generally located at the northwest corner of the  
85 intersection of John King Boulevard and SH-276, and take any action necessary.  
86

87 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. In November of last year, the Planning and Zoning**  
88 **Commission approved a Site Plan for a self-service car wash on the subject property. In addition to the Site Plan the Planning and Zoning granted**  
89 **variances to the roof design standards and the four-sided architecture requirements to the general overlay district. The majority of the requirements**  
90 **for Planned Development District 10 (PD-10) were actually the result of a compromised settlement agreement mutual release claims that was executed**  
91 **between the Cambridge companies and the City of Rockwall on February 16, 2004. The compromised settlement agreement was then incorporated**  
92 **into Planned Development District 10 (PD-10) on April 5, 2004 through ordinance 0425. The applicant is requesting that a variance be granted to the**  
93 **utility placement requirements of Planned Development District 10 (PD-10) to allow the existing overhead powerlines to remain in place. In planned**  
94 **Development District 10 (PD-10), the unified development code (UDC), require that overhead utilities be underground as part of the development of**  
95 **a property. Currently the applicant has an approved site plan and they're in the civil engineering process. Staff did communicate the requirements**  
96 **for underground and the utilities in the site plan approval process. Staff required a note be put in the approval site plan that all the utilities would be**  
97 **undergrounded. They also requested this as part of the civil engineering process. Since Planned Development District 10 (PD-10) does not outline a**  
98 **variance process it would defer to the process and procedures contained in the general overlay district standards. The code states that two (2)**  
99 **compensatory measures be provided for each variance requested, then states that the approval of any variance to the requirements of this section**  
100 **from the Planning and Zoning commission or the City Council be approved through a super majority vote with a minimum of four (4) votes in the**  
101 **affirmative required for approval. The City Council is the ultimate approving body for a variance dealing with overhead utility lines the Planning and**  
102 **Zoning is providing a recommendation to City Council.**  
103

104 **Alan Jacobs**  
105 **6400 N Northwest Hwy, Unit 4**  
106 **Chicago, IL 60631**  
107

108 **Mr. Jacobs came forward and provided additional details in regards to the request.**

109  
110 **Commissioner Thompson asked what the hardship was.**

111  
112 **Commissioner Odom asked when he found out about the pipe.**

113  
114 **Commissioner Hustings asked about the powerlines being moved when the road got widened.**

115  
116 **Vice-Chairman Womble asked when the 7-Eleven was built.**

117  
118 **Commissioner Hustings made a motion to approve MIS2023-014. Commissioner Odom seconded the motion which passed by a vote of 4-0.**  
119

120 **10. MIS2023-016 (RYAN MILLER)**

121 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties for the approval of a Miscellaneous Case for an Alternative Tree Mitigation  
122 Settlement Agreement for the Peachtree Subdivision being a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and  
123 Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside  
124 of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.  
125

126 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant has gone through the initial phase of**  
127 **preliminary plat and master platting the property and now they are into the civil engineering process. The applicant is requesting a Tree Mitigation**  
128 **Settlement Agreement for the Peachtree Subdivision. The new changes to the ordinance stipulate that any cedar tree over 8-feet in height be mitigated**  
129 **with one (1) 4-inch caliper tree. They did some estimating and they provided there estimates under the old ordinance which was about 3800 caliper**

130 inches, under the new ordinance that increases to about 12,000 caliper inches. With the new ordinance we have certain requirements where they  
131 have to flag and tag every cedar tree that is to be removed and instead of going through that and paying a company the applicant came to staff and  
132 expressed a desire to pay the City the incurred cost in addition to mitigation measures they have setup that they feel would offset the tree mitigation  
133 being requested. Per the ordinance the applicant is required to establish two (2) tree easements where no trees can be removed and that's along the  
134 eastern portion of the property adjacent to the industrial area along the southern portion of the property. Per the ordinance they are required to plant  
135 about 6,672 inches and the way staff calculated that was off the approved landscape plan that will add 1,824 inches in their landscape buffers, open  
136 spaces. In addition, the ordinance requires that they plant another 3,968 caliper inches on interior lots, and that's broken-down into 4-inch caliper  
137 trees per lot. The corner lots require 5-inch caliper trees. The applicants are proposing to plant all those inches in accordance to the ordinance and  
138 approved landscape plan, they would also like to take the money they would spend on getting the treescape plan and they would add that to the tree  
139 fund. They are also proposing to identify a portion of the Blackland Prairie a one (1) acre portion and provide that as a preservation easement on the  
140 plat.

141  
142 Ryan Joyce  
143 767 Justin Road  
144 Rockwall, TX 75087

145  
146 Mr. Joyce came forward and provided additional details in regards to the request.

147  
148 Commissioner Odom made a motion to approve MIS2023-016. Commissioner Thompson seconded the motion which passed by a vote of 4-0.

## 149 VI. DISCUSSION ITEMS

150  
151 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come  
152 forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items  
153 are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the  
154 following cases is November 14, 2023.*

### 155 11. Z2023-049 (RYAN MILLER)

156  
157 Hold a public hearing to discuss and consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a  
158 *Specific Use Permit (SUP)* for *Heavy Manufacturing* on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones  
159 Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of  
160 Data Drive and Discovery Boulevard, and take any action necessary.

161  
162 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit  
163 (SUP) for Heavy Manufacturing. The applicant is proposing to produce hydrogen fuel cells and hydrogen fuel cells for engines.

164  
165 Phil Wagner  
166 2610 Observation Trail  
167 Rockwall, TX 75032

168  
169 Mr. Wagner came forward and provided additional details in regards to the request.

170  
171 Lee Sweetland  
172 Ballard  
173 9000 Glenylon Parkway  
174 Burnaby, B.C V5J 5J8, Canada

175  
176 Mr. Sweetland came forward and provided additional details in regards to the request.

177  
178 Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.

### 179 12. Z2023-050 (ANGELICA GUEVARA)

180  
181 Hold a public hearing to discuss and consider a request by Keith Green for the approval of a *Specific Use Permit (SUP)* for *Guest Quarters/Secondary Living  
182 Unit* on a 0.22-acre parcel of land identified as Block 43A of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7  
183 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and take any action necessary.

184  
185 Planning Technician Angelica Guevara provided a brief summary in regards to the request. Staff would like to note that the request for the Specific  
186 Use Permit (SUP) for guest quarters/ secondary living unit does meet all the requirements for a guest quarter. This case did have to go through  
187 Historic Preservation Advisory Board (HPAB) and was approved by a vote of 6-0.

188  
189 Keith Green  
190 605 E Washington Street  
191 Rockwall, TX 75087

192  
193 Mr. Green came forward and provided additional details in regards to the request.

194  
195 Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.

196  
197

198 13. **Z2023-051 (ANGELICA GUEVARA)**

199 Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Frank Conselman of Conselman Equities for the  
200 approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of  
201 the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated in the Airport Overlay (AP OV)  
202 District, addressed as 1775 Airport Road, and take any action necessary.  
203

204 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting a zoning change for**  
205 **Agricultural (AG) District to a Light Industrial (LI) District. This change is in conformance to the comprehensive plan and future land use map.**  
206

207 **Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.**  
208

209 14. **P2023-034 (ANGELICA GUEVARA)**

210 Discuss and consider a request by Billy Duckworth of A&W Surveyors, Inc. on behalf of David Gamez for the approval of a Replat for Lots 2 & 3, Block A,  
211 Gamez Addition being a 0.369-acre parcel of land identified as Lot 1, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family  
212 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action  
213 necessary.  
214

215 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. This case goes to parks board on November 7, 2023 to**  
216 **asses fees on the residential lot.**  
217

218 **Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.**  
219

220 15. **SP2023-033 (ANGELICA GUEVARA)**

221 Discuss and consider a request by Dillon Stores of Stored Out Services on behalf of Michael Hendricks of Chaparral Partners for the approval of an Amended  
222 Site Plan for the remodel of an existing amenity center for the Eastbank Apartments (*i.e. Pebblebrook Apartments*) being a 11.579-acre parcel of land identified  
223 as Lot 1, Block A, Pebblebrook Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay  
224 (SH-205 OV) District, addressed as 1410 S. Goliad Street, and take any action necessary.  
225

226 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. A new company has picked up the Pebblebrook apartment**  
227 **complex and they are in the process on doing remodeling to the exterior of the building. Staff is working with the applicant to help identify the**  
228 **variances since it is in non-conformance. The Architectural Review Board (ARB) had numerous requests in regards to this project and they wanted**  
229 **to see colored elevations and the design scheme.**  
230

231 **Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.**  
232

233 16. **SP2023-034 (HENRY LEE)**

234 Discuss and consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a  
235 Site Plan for a Government Building on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse  
236 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E.  
237 Yellow Jacket Lane, and take any action necessary.  
238

239 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. This will be the Rockwall County Annex they**  
240 **submitted elevations and the ARB had two (2) comments in regards to this they were looking for projecting elements or material breaks.**  
241

242 **Trenton Jones**  
243 **3000 Internet Blvd**  
244 **Suite 550**  
245 **Frisco, TX 75034**  
246

247 **Mr. Jones came forward and provided additional details in regards to the request.**  
248

249 **Salvador Sanchez**  
250 **3000 Internet Blvd**  
251 **Suite 550**  
252 **Frisco, TX 75034**  
253

254 **Mr. Sanchez came forward and provided additional details in regards to the request.**  
255

256 **Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.**  
257

258 17. **SP2023-035 (HENRY LEE)**

259 Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan  
260 for a Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's) on a 1.251-acre tract of land identified as a portion of Lot 3 and all  
261 of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay  
262 (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.  
263

264 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a Site Plan for a**  
265 **restaurant greater than 2,000 SF with Drive Through. The only thing ARB asked for in this case is that they adhere to the overlay district standards.**

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Leslie Ford  
3224 Collinworth Street  
Fort Worth, TX 76107

Mrs. Ford came forward and provided additional details in regards to the request.

Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.

18. SP2023-036 (HENRY LEE)

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a Site Plan he meets all the SUP requirements and is proposing two commercial retail buildings. The only comments ARB had were they were looking for this to better match the existing materials used on the existing buildings, and also the stone element in the back.

Juan Vasquez  
1919 S Shiloh  
Garland, TX 75042

Mr. Vasquez came forward and provided additional details in regards to the request.

Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.

19. SP2023-037 (HENRY LEE)

Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a Site Plan for a Light Industrial Building on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting approval of a Site Plan for a Light Industrial building. This will have variances since its situated between tow overlay districts. The building will be visible when its first built but the properties around that once they start coming in will hide the visibility of the structure. The ARB did review this and they asked that the stone increase.

Bart Gardner  
15950 State Highway 205  
Terrell, TX 75160

Mr. Gardner came forward and provided additional details in regards to the request.

Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.

20. SP2023-038 (ANGELICA GUEVARA)

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting approval of a Site Plan for a restaurant with less than 2,000 SF with a drive through. They did get a Specific Use Permit (SUP) last month and now they're submitting a Site Plan. Staff is working with the applicant in regards to their variances. The landscaping plan does match the SUP they submitted.

Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.

21. SP2023-039 (HENRY LEE)

Discuss and consider a request by Ronny Klingbeil of RLK Engineering, Inc. on behalf of Tim Lyssy of the Rockwall Independent School District (RISD) for the approval of a Site Plan for existing Public Secondary School (i.e. J. W. Williams Middle School) on a 26.25-acre parcel of land identified as Lot 1, Block 1, Rockwall Middle School #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, North SH-205 Overlay (N. SH-205 OV) District, addressed as 625 FM-552, and take any action necessary.



334 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a Site Plan for existing  
335 public secondary school. They are requesting simple renovations and they will be matching existing design schemes.  
336

337 Tim Lyssy  
338 RISD  
339 1050 Williams Street  
340 Rockwall, TX 75087  
341

342 Mr. Lyssy came forward and provided additional details in regards to the request.  
343

344 Vice-Chairman Womble advised this item will come back before the commission for discussion or action on November 14, 2023.  
345

346 22. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).  
347

- 348 • P2023-029: Final Plat for Lots 1-3, Brewer Bend Addition (APPROVED)
- 349 • Z2023-045: Zoning Amendment to Planned Development District 50 (PD-50) for *General Personal Services* (1<sup>ST</sup> READING; APPROVED)
- 350 • Z2023-046: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 715 Sherman Street Lane (1<sup>ST</sup> READING;  
351 APPROVED)
- 352 • Z2023-047: Specific Use Permit (SUP) for *Private Tennis Courts* at 1400 Ridge Road (DENIED)
- 353 • Z2023-048: Specific Use Permit (SUP) for a *Restaurant, with 2,000 SF of More, with Drive-Through or Drive-In* at 3060 N. Goliad Street [SH-205] (1<sup>ST</sup>  
354 READING; APPROVED)  
355

356 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.  
357

358 VII.ADJOURNMENT  
359

360 Vice-Chairman Womble adjourned the meeting at 7:38PM.  
361

362 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
363 \_\_\_\_\_, 2023.  
364

365  
366  
367 Attest:

368 \_\_\_\_\_  
369 Melanie Zavala, Planning Coordinator  
370  
371  
372

\_\_\_\_\_  
Derek Deckard, Chairman



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Billy Duckworth; A&W Surveyors, Inc.  
**CASE NUMBER:** P2023-034; *Replat for Lots 2 & 3, Block A, Gamez Addition*

---

### SUMMARY

Consider a request by Billy Duckworth of A&W Surveyors, Inc. on behalf of David Gamez for the approval of a Replat for Lots 2 & 3, Block A, Gamez Addition being a 0.369-acre parcel of land identified as Lot 1, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 614 E, Boydston Avenue, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting approval of a Replat for a 0.369-acre parcel of land (*i.e. Lot 1, Block A, Gamez Addition*) for the purpose of establishing two (2) residential lots (*i.e. Lots 2 & 3, Block A, Gamez Addition*) on the subject property.
- According to the City's annexation ordinances and the 1934 Sanborn Maps, the subject property was platted as part of the B.F. Boydston Addition prior to 1959 and after 1934. Per the City's historic zoning maps, the subject property was originally zoned Commercial (C) District as of January 3, 1972. Between this date and December 7, 1993, the subject property was rezoned from a Commercial (C) District to a Single-Family 7 (SF-7) District and has remained zoned Single-Family 7 (SF-7) District since this change. The subject property has been situated within the Southside Residential Neighborhood Overlay (SRO) District since its inception on June 3, 1996 by *Ordinance No. 96-12*. According to Rockwall Central Appraisal District (RCAD), there is currently a 2,631 SF single-family home situated on the subject property that was constructed in 1964.
- On November 7, 2023, the Parks and Recreation Board reviewed the Replat and made the following recommendations concerning the proposed subdivision:
  - (1) The property owner shall pay *Pro-Rata Equipment Fees* of \$697.81 (*i.e. \$697.81 x 1 Lot*).
  - (2) The property owner shall pay *Cash-In-Lieu of Land Fees* of \$743.54 (*i.e. \$743.54 x 1 Lot*).
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for *Lots 2 & 3, Block A, Gamez Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Replat;
- (2) The development shall adhere to the Parks and Recreation Department's recommendations as outlined above in this case memo; and,
- (3) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1</sup> &<sup>2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 614 E. BOYDSTON AVENUE, ROCKWALL, TX 75087

SUBDIVISION GAMEZ II ADDITION LOT 1R, 2R BLOCK A

GENERAL LOCATION S.E. CORNER BOYDSTON & SHERMAN

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-7 CURRENT USE RESIDENTIAL

PROPOSED ZONING SF-7 PROPOSED USE RESIDENTIAL

ACREAGE 0.369 LOTS [CURRENT] 1 LOTS [PROPOSED] 2

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DAVID GAMEZ  APPLICANT AWS SURVEYORS, INC.

CONTACT PERSON DAVID GAMEZ CONTACT PERSON BILLY DUCKWORTH

ADDRESS 614 E. BOYDSTON AVE. ADDRESS 2220 COW THOMASSON RD. BLDG A, STE C

CITY, STATE & ZIP ROCKWALL, TX 75087 CITY, STATE & ZIP MESQUITE, TX 75143

PHONE 469 338 9683 PHONE 972 681 4975

E-MAIL JESSGIMZZCO@GMAIL.COM E-MAIL billy@awsurvey.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID GAMEZ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

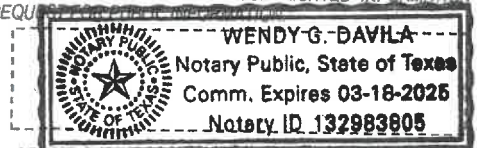
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 10. TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16<sup>th</sup> DAY OF October, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16<sup>th</sup> DAY OF October, 2023

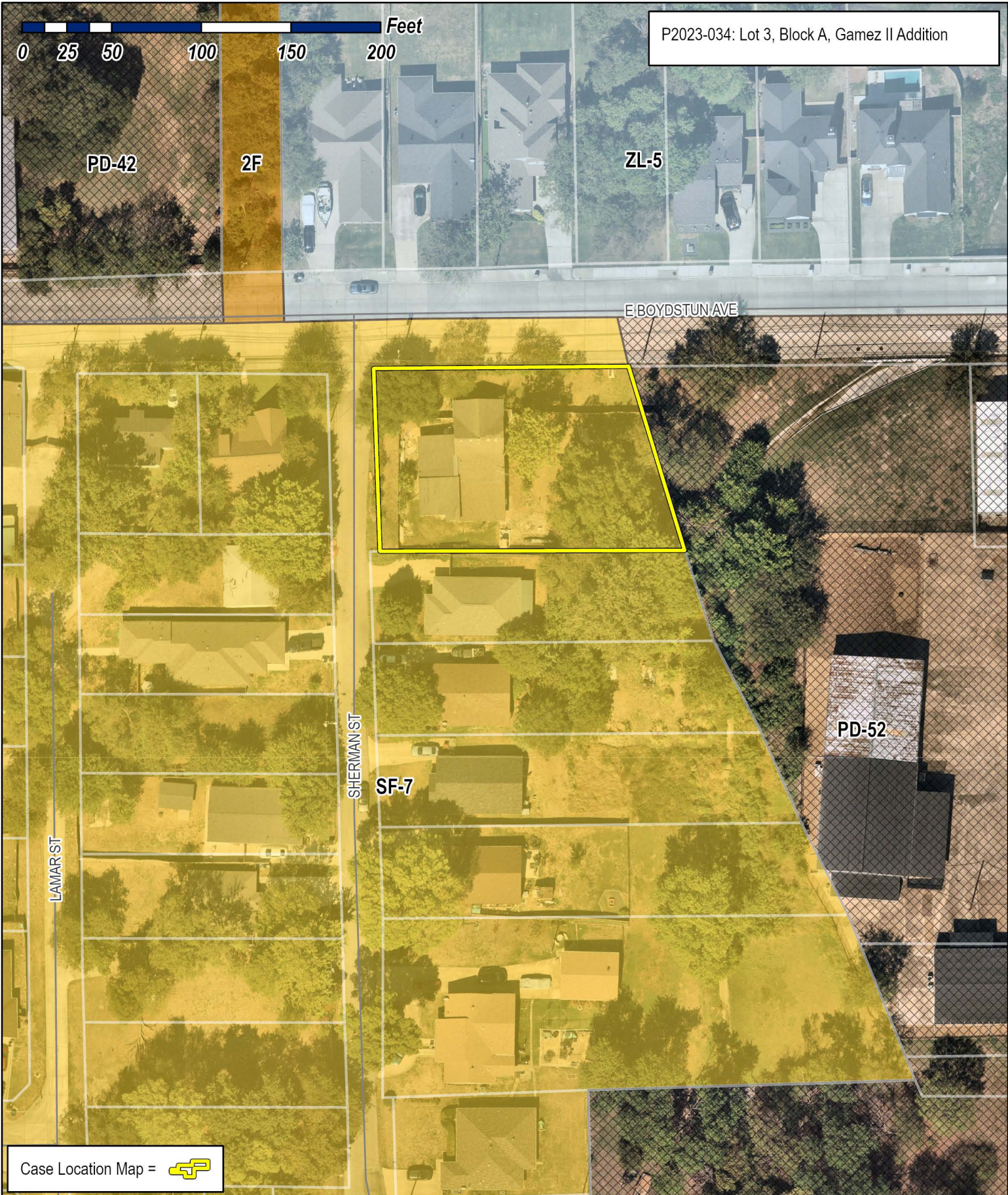
x OWNER'S SIGNATURE David Gamez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Wendy G. Davila



MY COMMISSION EXPIRES

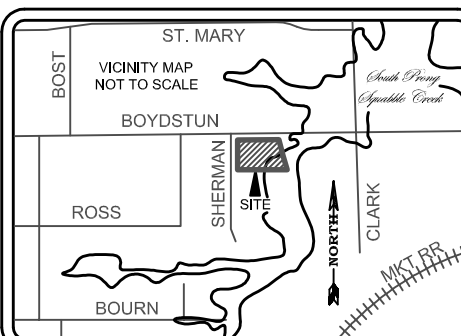


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND							
1/2" IR FOUND	X-FOUND	TELE. BOX	BOLLARD POST	UTILITY POLE	OVERHEAD UTILITY LINE	COVERED AREA	CONCRETE
1/2" IR SET	X-SET	CABLE BOX	LIGHT POLE	WATER METER	GUY WIRE ANCHOR	ASPHALT	GRAVEL
5/8" IR FOUND	T-IR FOUND	ELECTRIC BOX	SAN SEW. MH	GAS METER	BARBED WIRE FENCE	FIRE LINE STRIP	BRICK
3/8" IR FOUND	T-IP FOUND	BRICK COLUMN	IRRIGATION VALVE	A.C. PAD	IRON FENCE	BRICK RET. WALL	STONE
600 NAIL FOUND	POINT FOR CORNER	STONE COLUMN	WATER VALVE	TRANS. BOX	CHAINLINK FENCE	STONE RET. WALL	WOOD DECK
FRNAL SET	CON. MONUMENT	STORM DRAIN MH	FIRE HYDRANT	POOL EQUIP.	WOOD FENCE	CON. RET. WALL	BUILDING WALL
1/2" IP FOUND	3/4" IP FOUND	SAN. SEW. CO.	IR. VALVE		PIPE NAIL FENCE	NO PAVING	TRUE
							HANDICAP SPACE

**OWNER'S CERTIFICATE**

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS  
 COUNTY OF ROCKWALL

WHEREAS David Gamez is the sole owner of a tract of land located in the B.F. BOYDSTUN SURVEY, Abstract No. 14, City of Rockwall, Rockwall County, Texas, and being Lot 1, Block A, of Gamez Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Volume C, Page 42, Map Records, Rockwall County, Texas, and being the same tract of land described in Correction Instrument to David Gamez, recorded in Instrument No. 2023000006737, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, John S. Turner, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

RELEASED 8-17-23 FOR REVIEW PURPOSES ONLY  
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

John S. Turner  
 Registered Professional Land Surveyor #5310

**BEGINNING** at a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the South line of Boydston Avenue, a 50' wide public right-of-way, at the East line of Sherman Street, a 45' wide public right-of-way, same being the Northwest corner of said Lot 1, Block A of Gamez Addition;

**Thence** North 89°22'27" East, along said South line, a distance of 141.63' to a 1/2" iron rod found at the Northwest corner of a tract of land described in deed to Kaufmann Properties, LLC, recorded in Document No. 2006-00359050, Deed Records, Rockwall County, Texas, same being the Northeast corner of said Lot 1, Block A of Gamez Addition;

**Thence** South 14°59'50" East, along the West line of said Kaufmann tract, a distance of 57.04' to a 1/2" iron rod found;

**Thence** South 15°41'07" East, along the West line of said Kaufmann tract, a distance of 50.98' to a 1/2" iron rod found at the Northeast corner of Lot 3, Block A of Rigell's Subdivision, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Volume 40, Page 148, Deed Records, Rockwall County, Texas, same being the Southeast corner of said Lot 1, Block A of Gamez Addition;

**Thence** North 89°52'39" West, along the common line of said Lot 1, Block A of Gamez Addition and said Lot 3, Block A of Rigell's Subdivision, a distance of 170.26' to a 1/2" iron rod found in said East line of Sherman Street, at the Southwest corner of said Lot 1, Block A and the Northwest corner of said Lot 3, Block A;

**Thence** North 00°02'56" East, along said East line of said Sherman Street, a distance of 102.27' to the **PLACE OF BEGINNING** and containing 16,088 square feet or 0.369 of an acre of land.

STATE OF TEXAS  
 COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State on this day personally appeared John S. Turner, R.P.L.S. NO. 5310, State of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office,  
 This \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Notary Public in and for the State of Texas

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
 COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **GAMEZ II ADDITION** to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **GAMEZ II ADDITION** have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

David Gamez, Owner

STATE OF TEXAS  
 COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared David Gamez, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires:

**CERTIFICATE OF APPROVAL**

I hereby certify that the above and foregoing plat of **GAMEZ II ADDITION** to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the county clerk, within 180 days from said date of final approval by the city engineer. Said addition shall be subject to all the requirements of these subdivision regulations.

WITNESS OUR HANDS, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

City Secretary, City of Rockwall, Texas

Recommended for final approval:

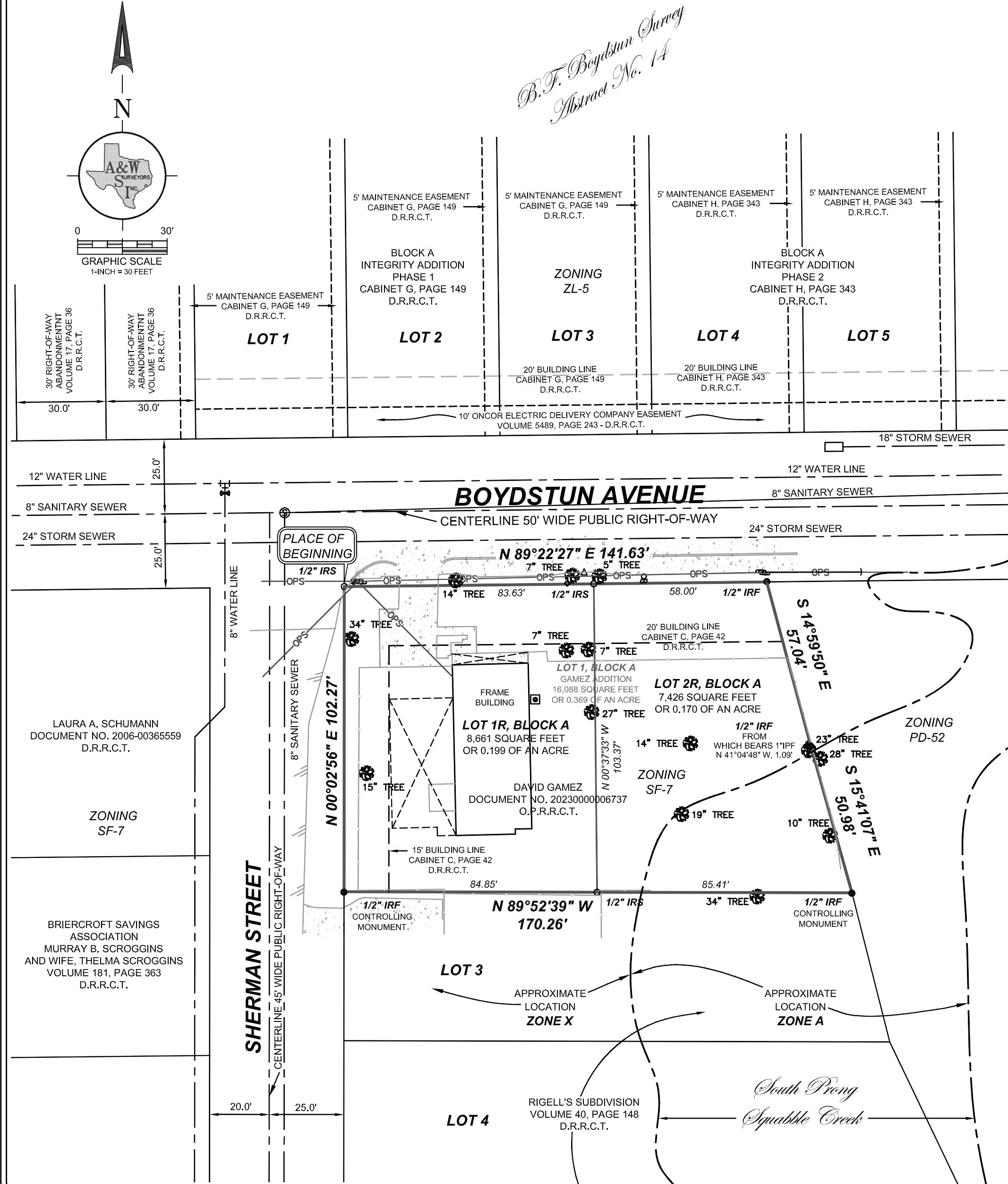
Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_

Mayor, City of Rockwall, Texas \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_



**GENERAL NOTES**

1. All 1/2" IRON ROD S SET for corner as shown hereon have a YELLOW PLASTIC CAP STAMPED "RPLS 5310".
2. All bearings are based on TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. (2011)
4. All dimensions shown hereon are surface.
5. The purpose of this plat is to divide one platted lot into two platted lots.
6. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

**FLOOD**

According to the Flood Insurance Rate Map, Community Panel No. 48397C 0040L, dated 9-26-2008. A portion of the subject property is located in Zone "A". This information is obtained from FEMA.org Map Center, surveyor assumes no liability as to the accuracy of the FEMA website. Seller's disclosure should identify any existing flood insurance policies.

**A&W SURVEYORS, INC.**  
 Professional Land Surveyors  
 TEXAS REGISTRATION NO. 109174-00  
 P.O. BOX 870029, MESQUITE, TX. 75187  
 PHONE: (972) 681-4975 FAX: (972) 681-4954  
 WWW.AWSURVEY.COM

~ PROPERTY ADDRESS: 614 E. BOYDSTUN AVENUE ~

Owner: DAVID GAMEZ  
 ~ 614 E. Boydston Avenue, Rockwall, TX 75087 ~  
 ~ 469-338-9683 ~

Job No. 22-1773 | Drawn by: 543 | Date: 03-15-23 | Revised:

"A professional company operating in your best interest"

**REPLAT**

FOR  
 LOT 1, BLOCK A, GAMEZ ADDITION  
 TO  
**LOTS 1R AND 2R, BLOCK A  
 GAMEZ II ADDITION**  
 BEING 16,088 SQUARE FEET OR 0.369 OF AN ACRE

AN ADDITION TO THE CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS  
 B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14

closure 10-17-23.txt

---

Parcel name: 3

North: 7025190.7387	East : 2595707.5326
Line Course: N 00-02-56 E	Length: 102.27
North: 7025293.0087	East : 2595707.6198
Line Course: N 89-22-27 E	Length: 141.63
North: 7025294.5557	East : 2595849.2414
Line Course: S 14-59-50 E	Length: 57.04
North: 7025239.4586	East : 2595864.0017
Line Course: S 15-41-07 E	Length: 50.98
North: 7025190.3770	East : 2595877.7843
Line Course: N 89-52-39 W	Length: 170.26
North: 7025190.7410	East : 2595707.5247

Perimeter: 522.18 Area: 16,088 Sq Ft 0.369 Ac.

Mapcheck Closure - (Uses listed courses, radii, and deltas)  
Error Closure: 0.0081 Course: N 73-52-41 W  
Error North: 0.00226 East : -0.00783  
Precision 1: 64,466.67



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Phil Wagner; *Rockwall Economic Development Corporation (REDC)*  
**CASE NUMBER:** Z2023-049; *Specific Use Permit (SUP) for Heavy Manufacturing for Ballard*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for *Heavy Manufacturing* on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on June 15, 1998 by *Ordinance No. 98-20 [Case No. A1998-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On July 5, 2005, -- *at the request of the Rockwall Economic Development Corporation (REDC)* -- the City Council approved *Ordinance No. 05-29 [Case No. Z2005-021]*, which changed the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District. The subject property has remained vacant since annexation.

### PURPOSE

On October 20, 2023, the applicant -- *Phil Wagner of the Rockwall Economic Development Corporation (REDC)* -- submitted an application requesting a Specific Use Permit (SUP) for *Heavy Manufacturing* the purpose of constructing a *Heavy Manufacturing* facility on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is located at the southwest corner of the intersection of Data Drive and Discovery Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Discovery Boulevard, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, which is vacant and is zoned Light Industrial (LI) District. Beyond this are the corporate limits of the City of Rockwall followed by *Phase 1* of the Carrington Farms Subdivision, which is situated within the City of Fate. Also, north of this tract is a 6.4470-acre vacant tract of land (*i.e. Tract 3 of the J H B Jones Survey, Abstract No. 125*), which is zoned Light Industrial (LI) District and also owned by the Rockwall Economic Development Corporation (REDC).

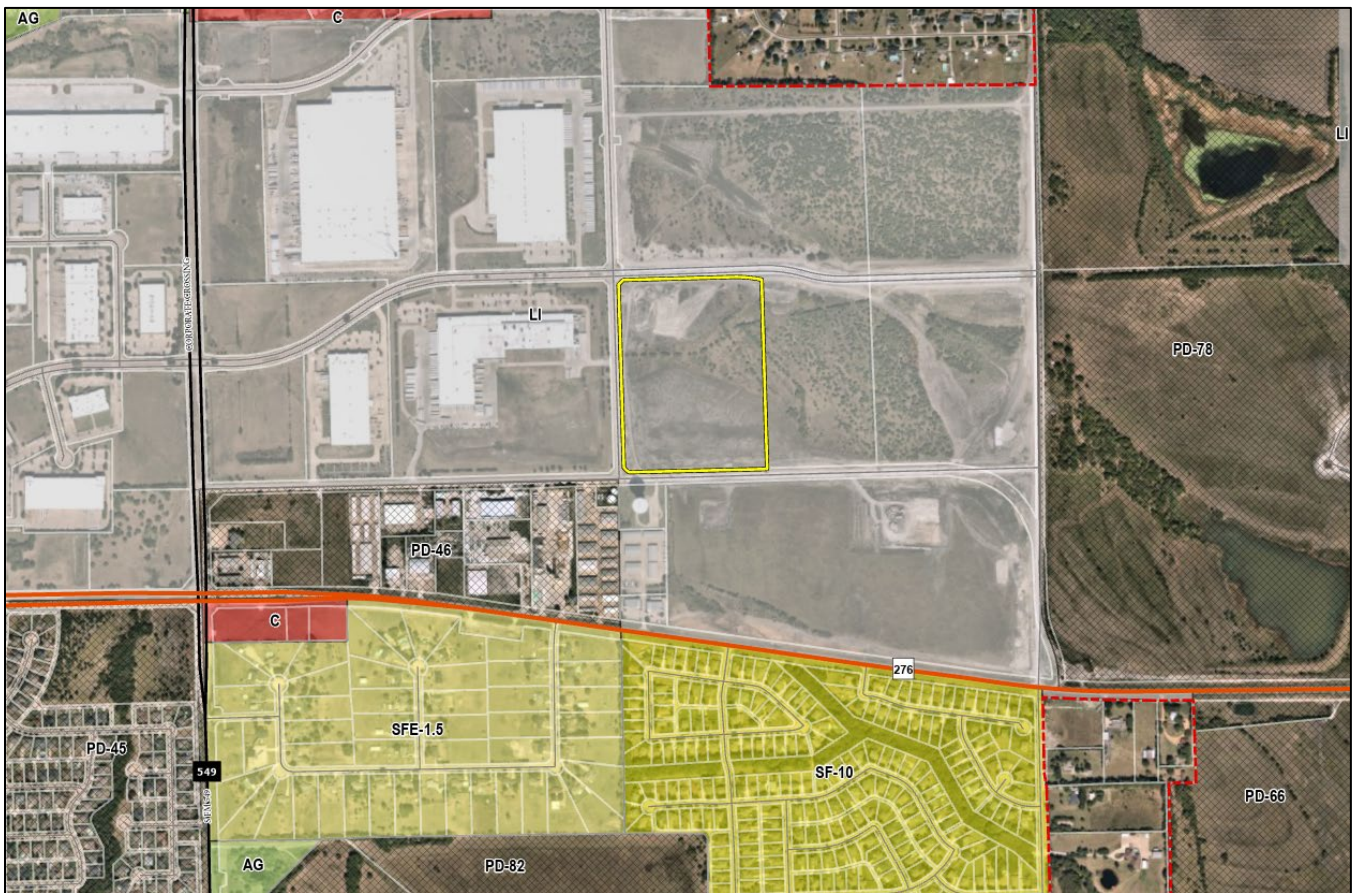
South: Directly south of the subject property is Springer Road, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is the *Springer Water Tower*, which is owned by the City of Rockwall and is zoned Light Industrial (LI) District. Beyond this is a 7.571-acre parcel of land (*i.e. Lot 1, Block 1, Highway 276 Self Storage*) that is developed with a *Mini-Warehouse Facility (i.e. Highway 276 Self Storage)* and is zoned Light Industrial (LI) District.



East: Directly east of the subject property is a 60.30-acre tract of vacant land (i.e. Tract 5, of the J H B Jones Survey, Abstract No. 125), which is zoned Light Industrial (LI) District. Beyond that is Rochell Road, which is classified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 174.5990-acre vacant tract of land (i.e. Tract 1, of the M E Hawkins Survey, Abstract No. 100), which is zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses (i.e. Discovery Lakes Subdivision).

West: Directly west of the subject property is a 38.9320-acre parcel of land (i.e. Lot 2, Block B, Rockwall Technology Park Phase III) that is developed with a Light Manufacturing Facility (i.e. Bimbo Bakery). This property is zoned Light Industrial (LI) District. Beyond this is a 12.00-acre parcel of land (i.e. Lot 3, Block B, Rockwall Technology Park, Phase II) that is developed with a Light Manufacturing Facility (i.e. RTT Engineered Solutions). This property is also zoned Light Industrial (LI) District. Beyond that is a 10.649-acre vacant parcel of land (i.e. Lot 1, Block B, Rockwall Technology Park Phase II), which is zoned Light Industrial (LI) District. Beyond this is Corporate Crossing which is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP  
**YELLOW:** SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a concept plan and conceptual building elevations showing the proposed layout and future phasing plan for a *Heavy Manufacturing Facility* (see Figure 1). According to the concept plan, the initial phase of the proposed facility will consist of a two (2) story building with a 145,452 SF building footprint. The first floor will consist of 145,452 SF and the second floor will consist of 65,832 SF for a total proposed square footage of 211,284 SF. In addition to the *Heavy Manufacturing Facility*, the concept plan also shows the location of the heat pump tanks, liquid hydrogen and nitrogen storage yards, and a recycling area adjacent to the loading docks. The proposed facility will have access off of Discovery Drive, Data Drive, and Springer Road. The proposed Phasing Plan shows the possibility of six (6) additional phases, stating that these phases could be constructed in unison with each other or independently of each other. This plan also shows the future provision of parking

along the entrance adjacent to Discovery Boulevard, and a potential ten (10) acre expansion site east of the subject property (see Figure 2).

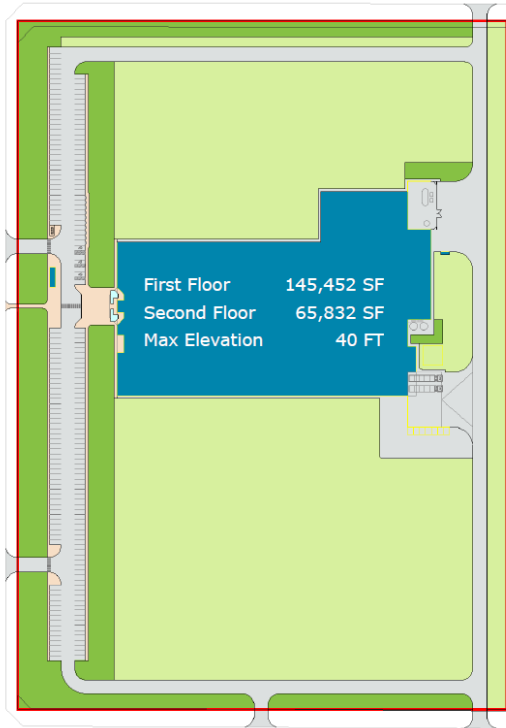


FIGURE 1. PHASE 1 CONCEPT PLAN

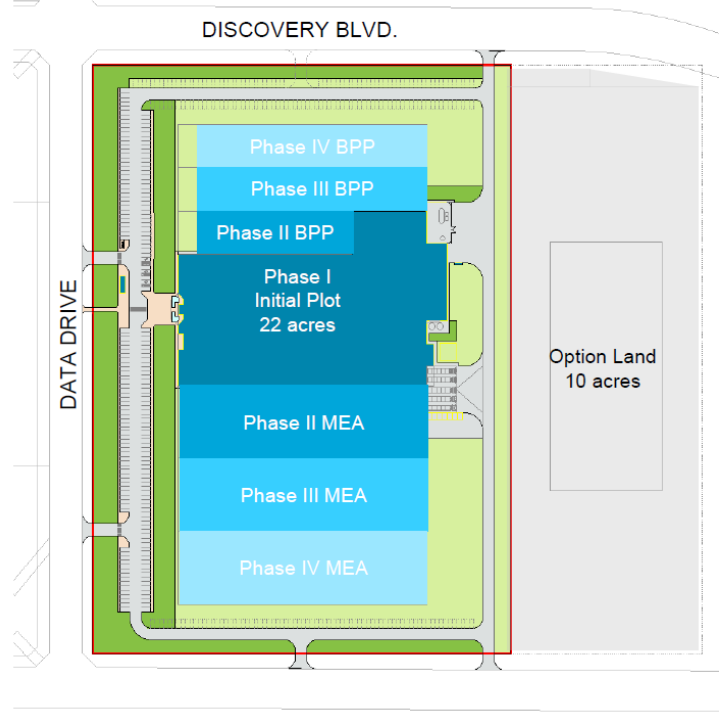


FIGURE 2. FUTURE PHASING PLAN

The proposed conceptual building elevations submitted by the applicant appear to be consistent with the existing design scheme of the Rockwall Technology Park, and does a good job of incorporating elements from the adjacent buildings (i.e. Bimbo Bakery and Pratt Industries) while still creating a unique identity (see Figure 3).



FIGURE 3. CONCEPTUAL BUILDING ELEVATIONS

## **CONFORMANCE WITH THE CITY'S CODES**

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* is defined as “(a) facility or area for generally mass-producing goods usually for sale to wholesalers or other industrial or manufacturing uses...” This definition goes on to state that “(a) heavy manufacturing use is one which employs the following or similar types of processes: ... [3] production of large durable goods such as but not limited to motorcycles, cars, manufactured homes, or airplanes ...” In this case, the proposed facility will be used for the production of hydrogen fuel cells and hydrogen fuel cell engines that are incorporated into busses, trains, trucks, boats, and heavy machinery. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District. The purpose of this requirement is to acknowledge that not all *Heavy Manufacturing Facilities* may be appropriate within the City’s Light Industrial (LI) Districts, and that the City Council should have discretionary oversight with regard to *Heavy Manufacturing Facilities* and their impacts within these areas.

## **OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *Technology District* and is designated for *Technology/Employment Center* land uses. This land use designation is defined as being “... characterized by employment-oriented businesses, which are generally situated in larger centers (e.g. Rockwall Technology Park) with access to key transportation networks.” According to the *District Strategies* for the *Technology District* properties designated for *Technology/Employment Center* land uses “...should be designated for larger clean industrial businesses that can help diversify the City’s tax base...” In this case, the applicant is proposing a *Heavy Manufacturing Facility* that specializes in the construction of hydrogen fuel cells and hydrogen fuel cell engines. This type of business is characterized as a clean industrial business, and should further diversify the City’s tax base by adding another industrial land use that involves a high initial investment in the community. In addition, the phasing plan shows that through future phases this facility could continue to grow and further add to the City’s tax base. Based on this, the proposed facility appears to conform to the OURHometown Vision 2040 Comprehensive Plan.

## **STAFF ANALYSIS**

In this case, the proposed concept plan and conceptual building elevations appear to conform with all of the density and dimensional requirements for a property in a Light Industrial (LI) District. The applicant’s proposal also appears to conform with intent of the OURHometown Vision 2040 Comprehensive Plan. Staff has included provisions in the Specific Use Permit (SUP) ordinance that will require general conformance with the concept plan and conceptual building elevations at the time of site plan approval. At the request of the applicant, staff has also included a four (4) year initial term for the Specific Use Permit (SUP). This appears to be warranted due to the large scale of the proposed facility and the amount of time that may be necessary to establish the proposed land use. To allow for additional flexibility staff has also included the ability for the applicant to extend the Specific Use Permit (SUP) at the discretion of the City Council.

When considering the requested *Heavy Manufacturing Facility* land use, it appears that this particular land use (i.e. the production of hydrogen fuel cells and hydrogen fuel cell engines) fits the Rockwall Technology Park and -- based on the presentation provided by the applicant -- does not appear to have any negative impacts on adjacent properties. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On October 23, 2023, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Timber Creek Homeowner’s Association (HOA), which is the only Homeowners’ Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any responses in favor or opposition of the applicant’s request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Heavy Manufacturing Facility on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of *Phase 1* of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The development of the *Subject Property* shall generally conform to the Phasing Plan as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
  - (c) The development of the *Subject Property* shall generally conform with the architecture and design images depicted in the Concept Building Elevations contained in *Exhibit 'D'* of this ordinance; however, conformance to the Concept Building Elevations does not constitute a waiver, variance, or exception to any of the development requirements contained in the Unified Development Code (UDC). In addition, development of the subject property shall be subject to recommendations made by the Architecture Review Board (ARB) through the site plan review process.
  - (d) In the event that the property owner fails to complete the *Phase 1* improvements depicted in *Exhibit 'B'* of this ordinance and does not receive a Certificate of Occupancy (CO) from the City of Rockwall within a period of four (4) years from the approval date of this ordinance (*i.e. December 3, 2027*) this Specific Use Permit (SUP) shall expire. If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90 days prior to the expiration date of this ordinance (*i.e. prior to September 4, 2027*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

- <sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
- <sup>2</sup> A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Northeast corner of Data Drive & Springer Rd		
SUBDIVISION	Rockwall Technology Park Phase V	LOT	BLOCK
GENERAL LOCATION	East of Data Drive, South of Discovery Blvd, and North of Springer Rd		

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial	CURRENT USE	undeveloped
PROPOSED ZONING	Specific Use Permit	PROPOSED USE	heavy manufacturing
ACREAGE	32.0	LOTS [CURRENT]	LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Rockwall Economic Development Corporation	<input type="checkbox"/> APPLICANT	
CONTACT PERSON	Phil Wagner	CONTACT PERSON	
ADDRESS	2610 Observation Trl, Suite 104	ADDRESS	
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	
PHONE	972-772-0025	PHONE	
E-MAIL	pwagner@rockwallede.com	E-MAIL	

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF **\$680.00**, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20th DAY OF OCTOBER, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

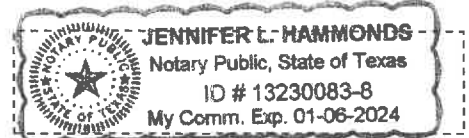
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20th DAY OF October, 2023

OWNER'S SIGNATURE

*Phil Wagner*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

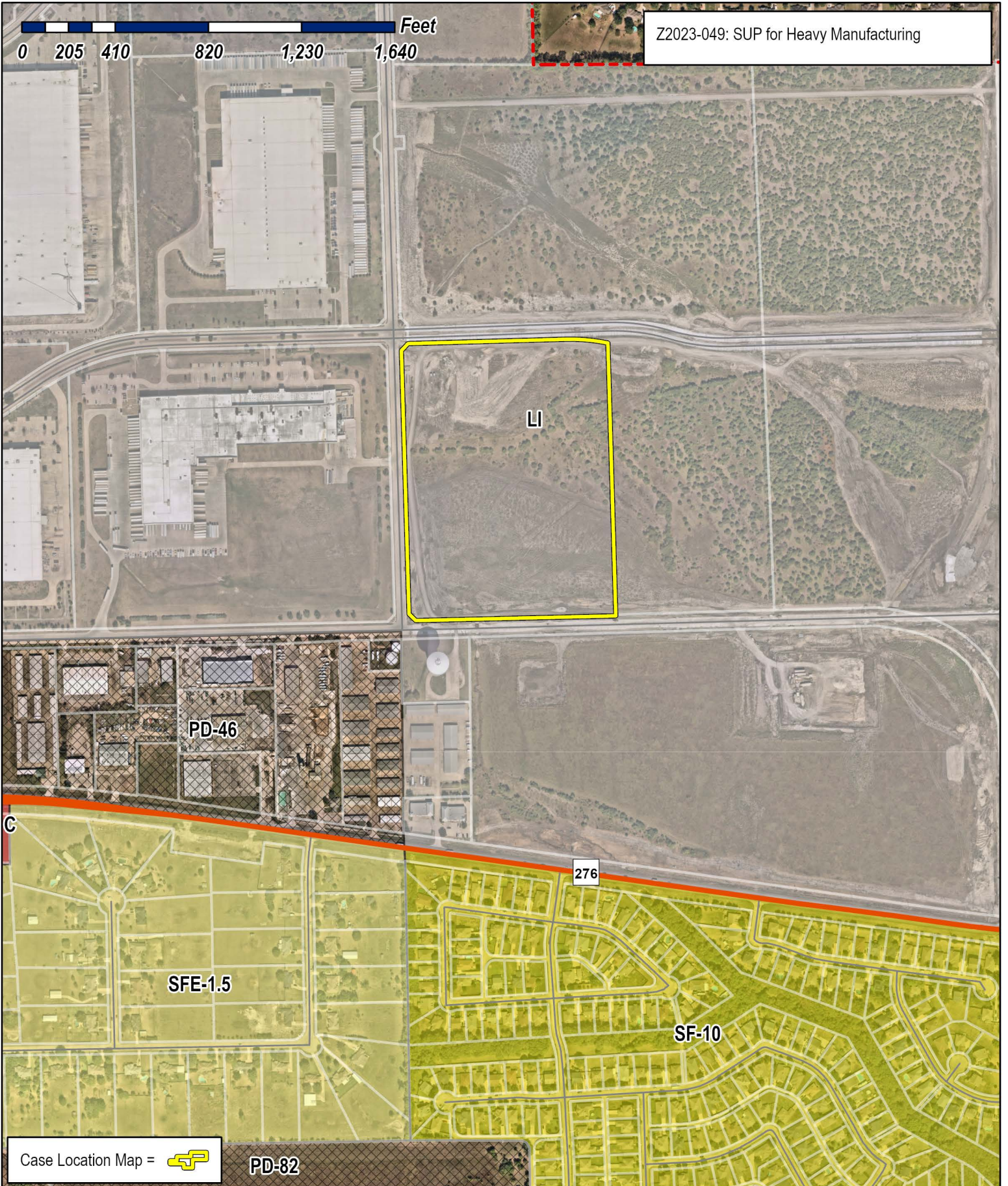
*Jennifer L. Hammonds*



MY COMMISSION EXPIRES 1/6/24

0 205 410 820 1,230 1,640 Feet

Z2023-049: SUP for Heavy Manufacturing



Case Location Map = 

PD-82



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

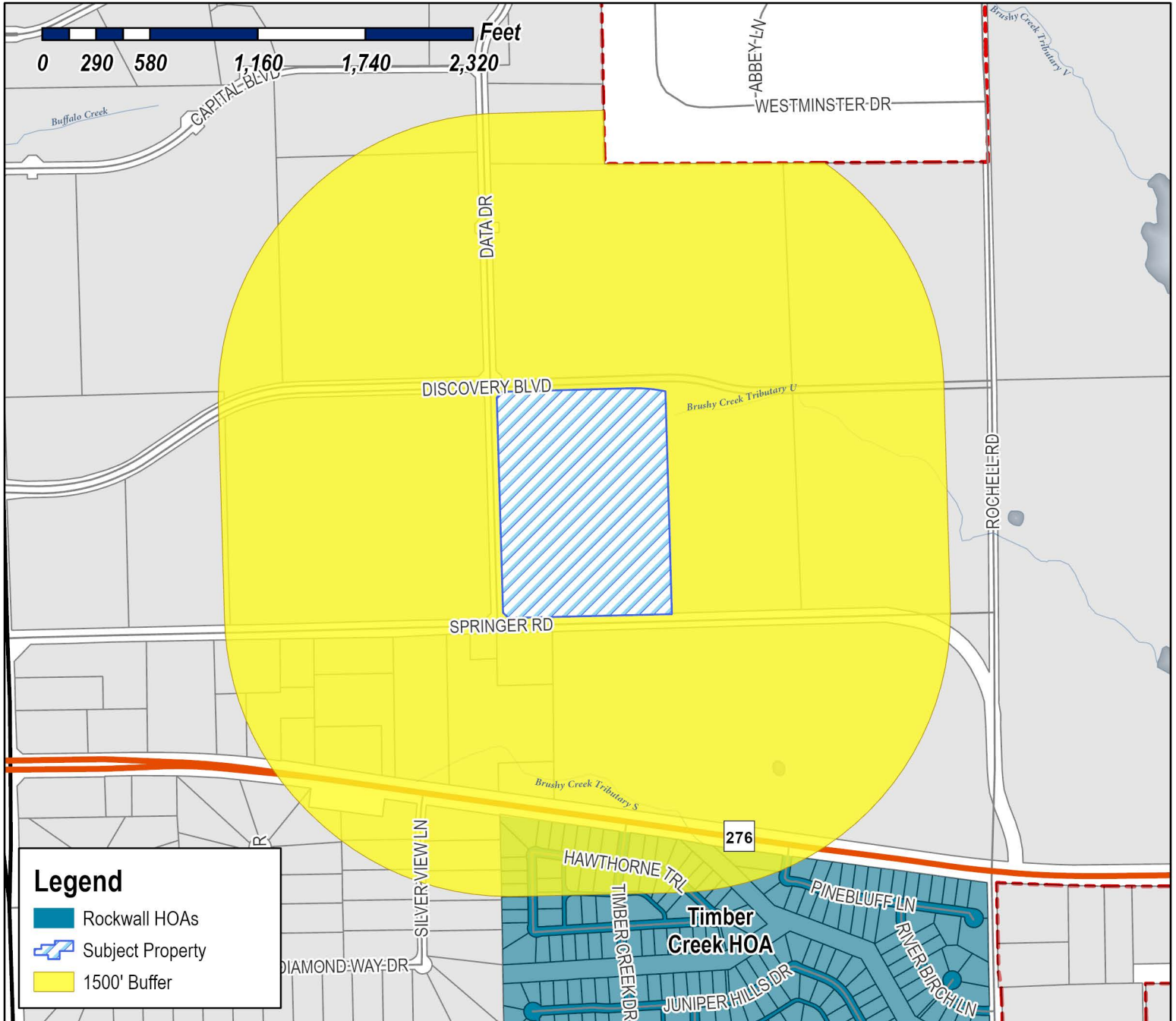




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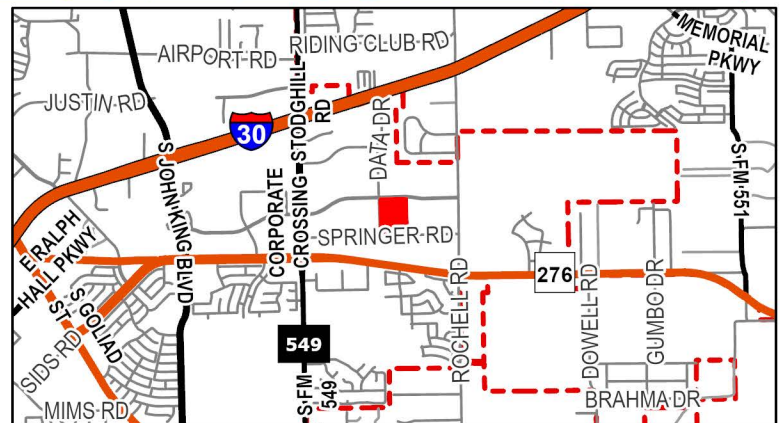
### Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

**Case Number:** Z2023-049  
**Case Name:** SUP for Heavy Manufacturing  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** SWC of Data Drive & Discovery Blvd.

**Date Saved:** 10/20/2023

For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2023-049]  
**Date:** Monday, October 23, 2023 4:38:11 PM  
**Attachments:** [Public Notice \(P&Z\) \(10.23.2023\).pdf](#)  
[HOA Map \(10.20.2023\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [October 27, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, November 14, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, November 20, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-049: SUP for Heavy Manufacturing

Hold a public hearing to discuss and consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a [Specific Use Permit \(SUP\)](#) for Heavy Manufacturing on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

Thank You,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568

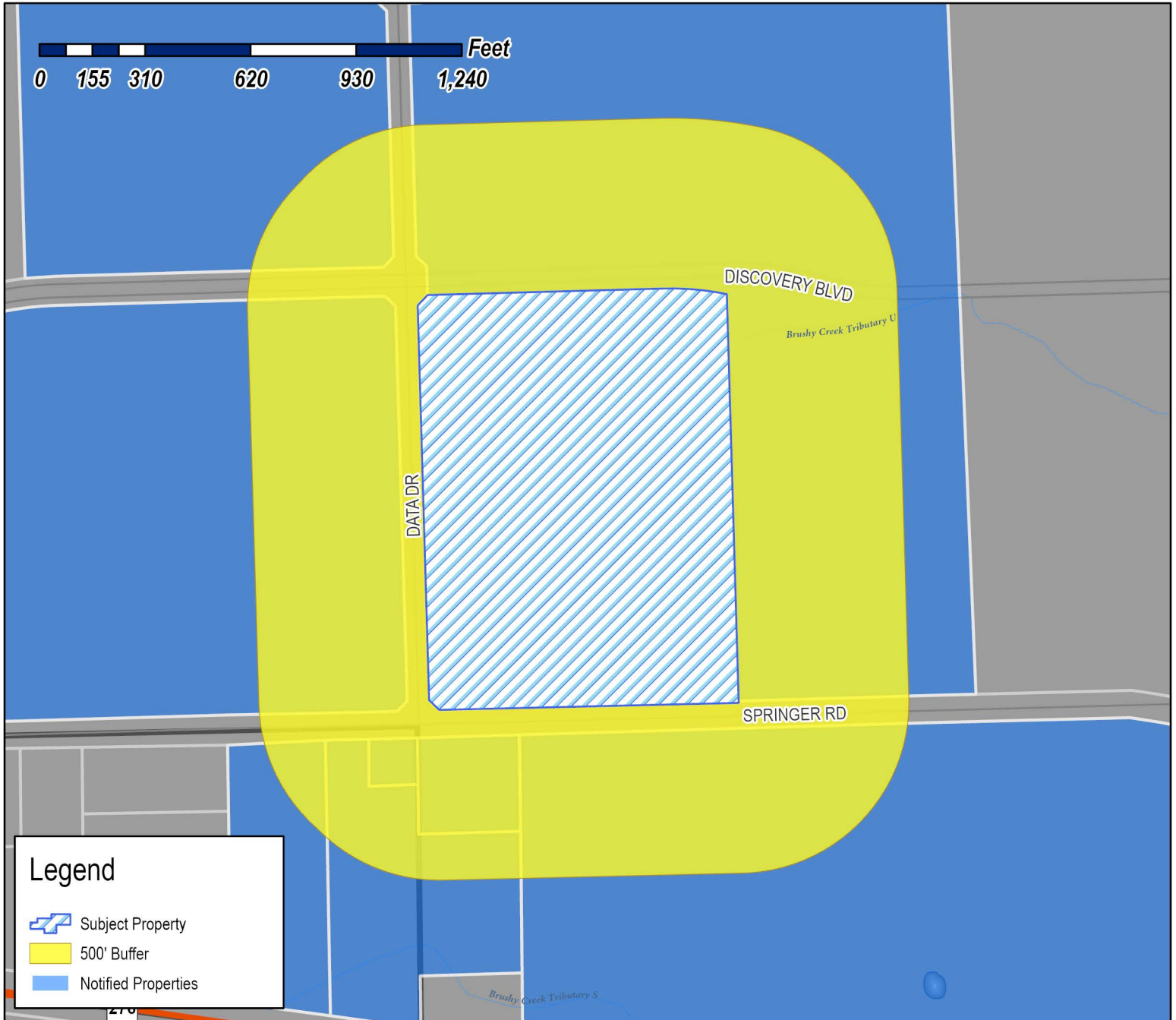




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**Case Number:** Z2023-049  
**Case Name:** SUP for Heavy Manufacturing  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** SWC of Data Drive & Discovery Blvd.

**Date Saved:** 10/20/2023

For Questions on this Case Call: (972) 771-7746



RESIDENT  
HWY276  
ROCKWALL, TX 75032

RESIDENT  
SPRINGER LN  
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
2610 OBSERVATION TRAIL SUITE 104  
ROCKWALL, TX 75032

RESIDENT  
2640 HWY276  
ROCKWALL, TX 75032

RESIDENT  
2690 HWY276  
ROCKWALL, TX 75032

RESIDENT  
3055 DISCOVERY BLVD  
ROCKWALL, TX 75032

RESIDENT  
3400 DISCOVERY DR  
ROCKWALL, TX 75032

RESIDENT  
3465 SPRINGER RD  
ROCKWALL, TX 75032

RESIDENT  
3475 SPRINGER RD  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

ALLEN FOODS INC  
C/O RYAN LLC  
AGENT FOR BIMBO BAKERIES USA 13155 NOEL  
RD #100 LB73  
DALLAS, TX 75240

STAG ROCKWALL, L.P. A DELAWARE LIMITED  
PARTNERSHIP  
STAG INDUSTRIAL HOLDINGS, LLC  
ONE FEDERAL STREET 23RD FLOOR  
BOSTON, MA 2110

BLACKLAND WATER CORP  
ATTN ADA JO PHILLIPS  
PO BOX 215  
FATE, TX 75132

LATTIMORE MATERIALS COMPANY LP  
PO BOX 2469  
ADDISON, TX 75001

COLIN-G PROPERTIES INC  
PO BOX 847  
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 968  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-049: SUP for Heavy Manufacturing**

Hold a public hearing to discuss and consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a *Specific Use Permit (SUP)* for *Heavy Manufacturing* on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-049: SUP for Heavy Manufacturing**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



October 20, 2023

Ryan Miller  
Director of Planning  
City of Rockwall  
385 S. Goliad Street,  
Rockwall, TX 75087

Dear Mr. Miller,

Enclosed you will find an application and supporting materials requesting the Planning and Zoning Commission and City Council grant a Specific Use Permit (SUP) for “Heavy Manufacturing” to occur on 32 acres within the Rockwall Technology Park, at the northeast corner of Data Drive and Springer Road.

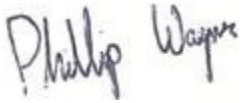
For the past five months, the Rockwall Economic Development Corporation (REDC) has been working to recruit Ballard Power Systems (Ballard), an international leader in the development of hydrogen fuel cells, to establish their future US manufacturing location. After a search that evaluated 40 sites across 10 states, representatives from Ballard have chosen Rockwall and the new third phase of the Technology Park as their preferred location. This decision has recently been memorialized through a Letter of Intent with the REDC, and a formal Development Agreement is currently being drafted.

Ballard will provide significant benefits to Rockwall, as their anticipated \$115M investment would represent the highest tax value of any one entity in the community. The company may also expand in the future, adding significantly more taxable value to their initial investment. Further, Ballard will create dozens of high-quality jobs. We believe this type of advanced manufacturing project – one that deploys high value equipment to create cutting-edge technology – aligns with the intended purpose of the Rockwall Technology Park and the mission of the REDC.

REDC representatives have vetted the company to determine financial viability, environmental impact, and community fit. Earlier this year, I received a tour of their existing North American facilities. We feel confident that the company will be a good corporate citizen to their neighbors in the Technology Park, as well as the overall community, with minimal outside impact caused by their operations. Ballard representatives have put together a presentation describing the project, as well as a high-level overview of their manufacturing process. A company representative plans to be at the Planning and Zoning Commission Work Session, as well as the first reading of the City Council, to answer any specific questions. REDC representatives will also be at all meetings.

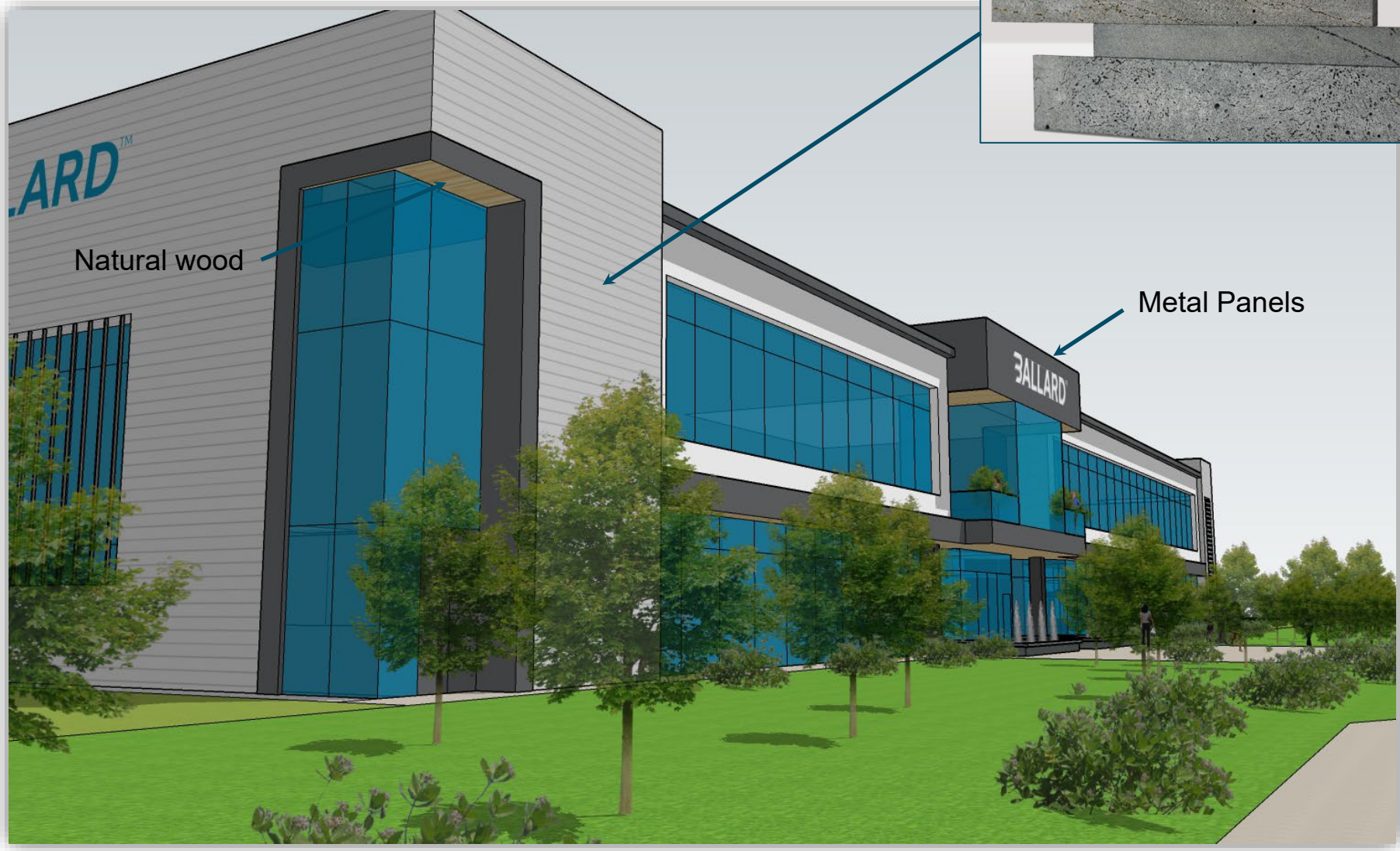
The REDC kindly requests a four-year window on the SUP, to allow for contractor selection, building design, construction, equipment delivery, installation, and testing prior to production.

Sincerely,


A handwritten signature in black ink that reads "Phillip Wagner". The signature is written in a cursive style with a large initial "P".

Phil Wagner  
President

# Concept Architecture



Natural Stone



Platinum PLANC™  
Large Format Stone Veneer

PRODUCT DETAILS BELOW. This is the stone and color that inspired the Planc Series with a trending color and the unique surface texture that you'll only find with natural stone. Order your sample kit today!

## Example



# Concept Architecture



1.4MW solar PV

Natural Stone

Concrete

Landscaping

WEST  
DATA DRIVE



# Concept Architecture



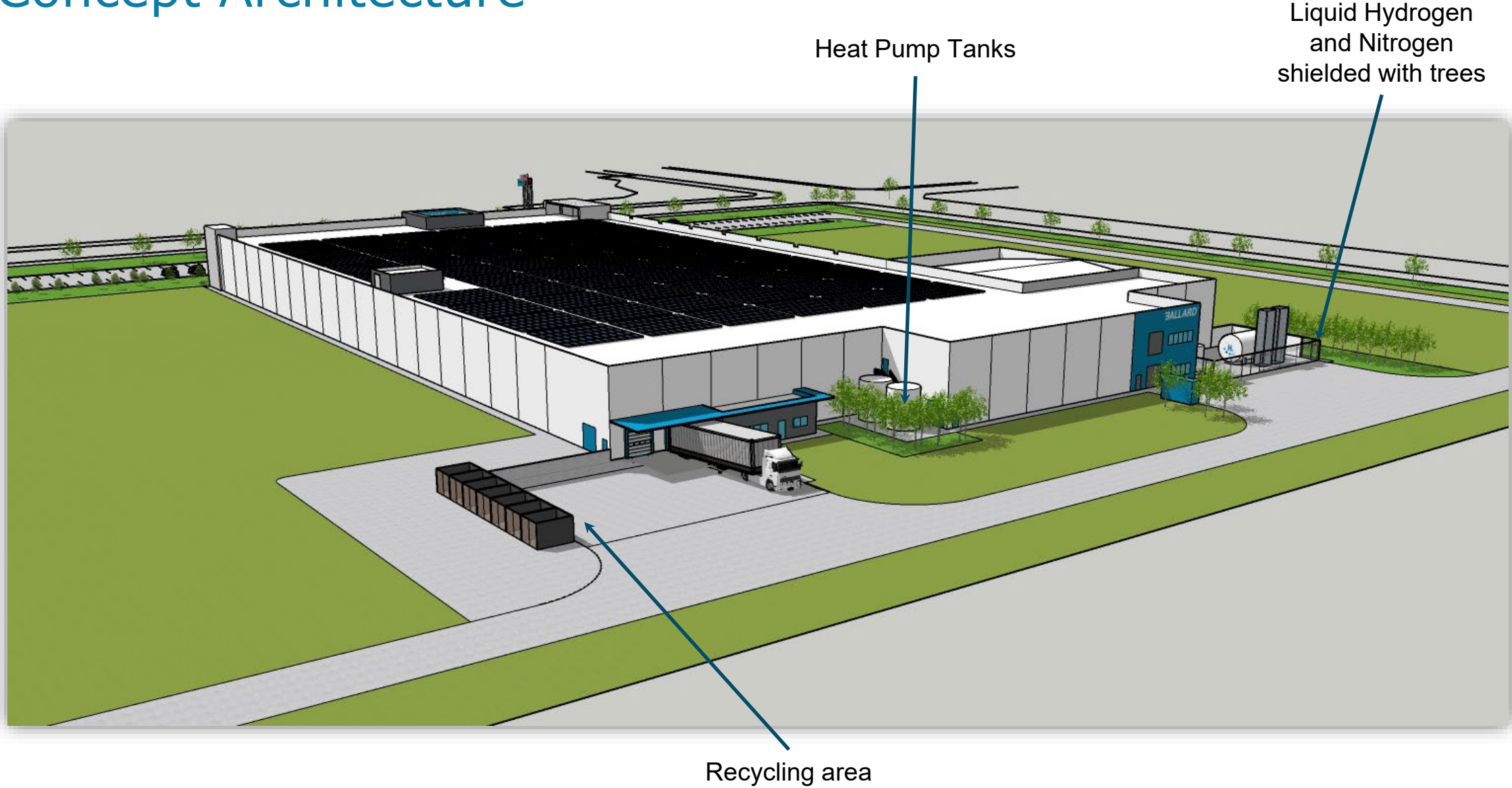
Example

LEED requires bike parking

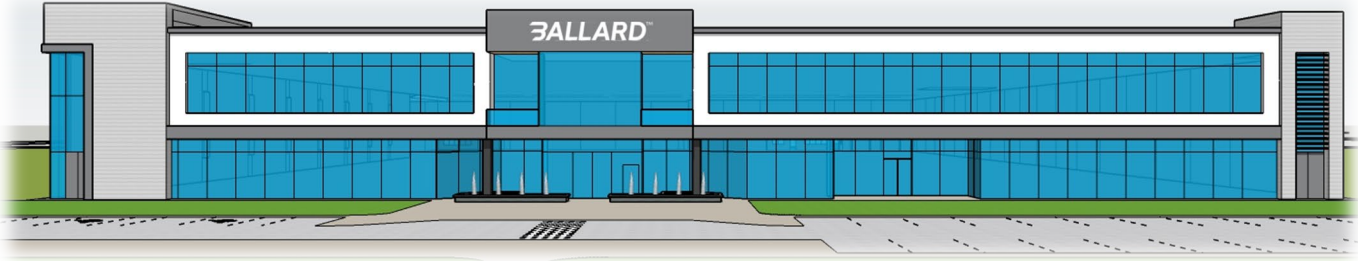
EV charging



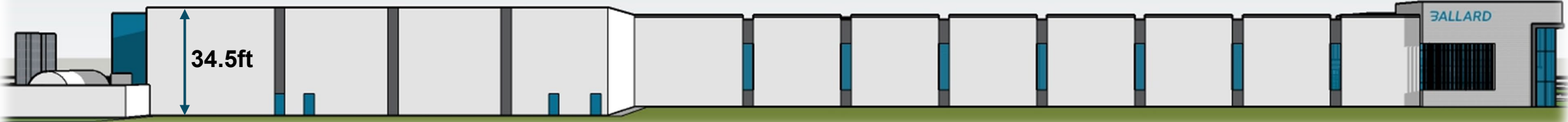
# Concept Architecture



# Elevations

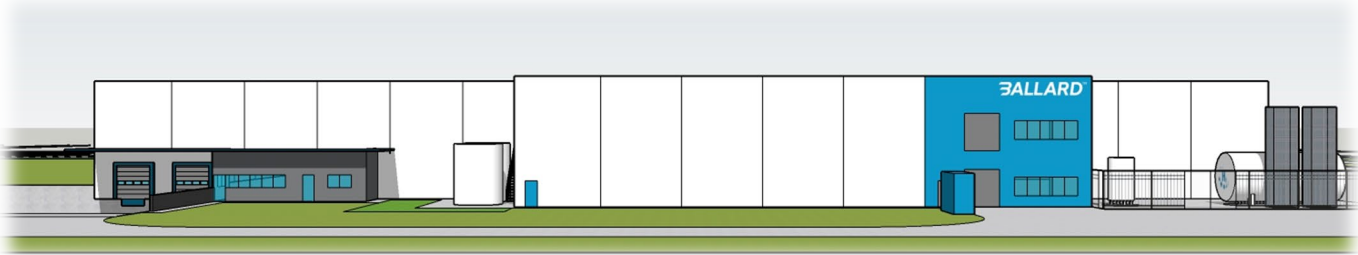


**WEST  
DATA DRIVE**



**NORTH  
DISCOVERY BLVD**

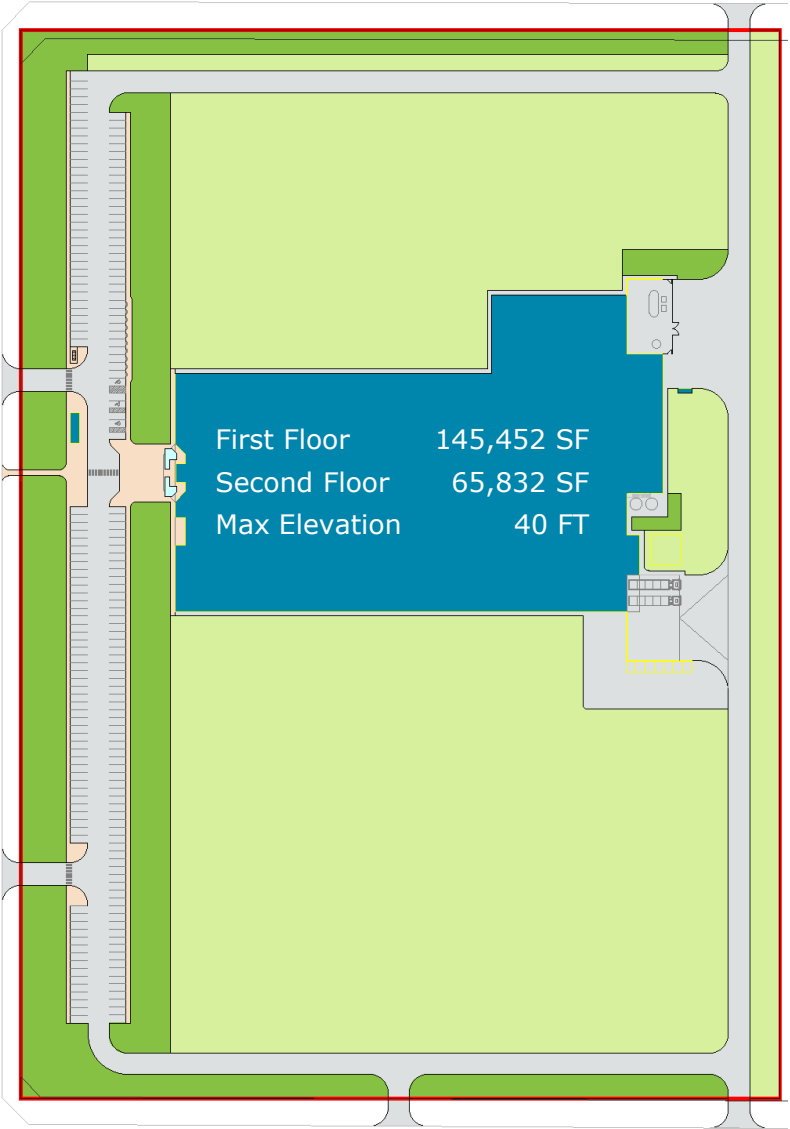
**EAST  
ROCHELL ROAD**



**SOUTH  
SPRINGER ROAD**



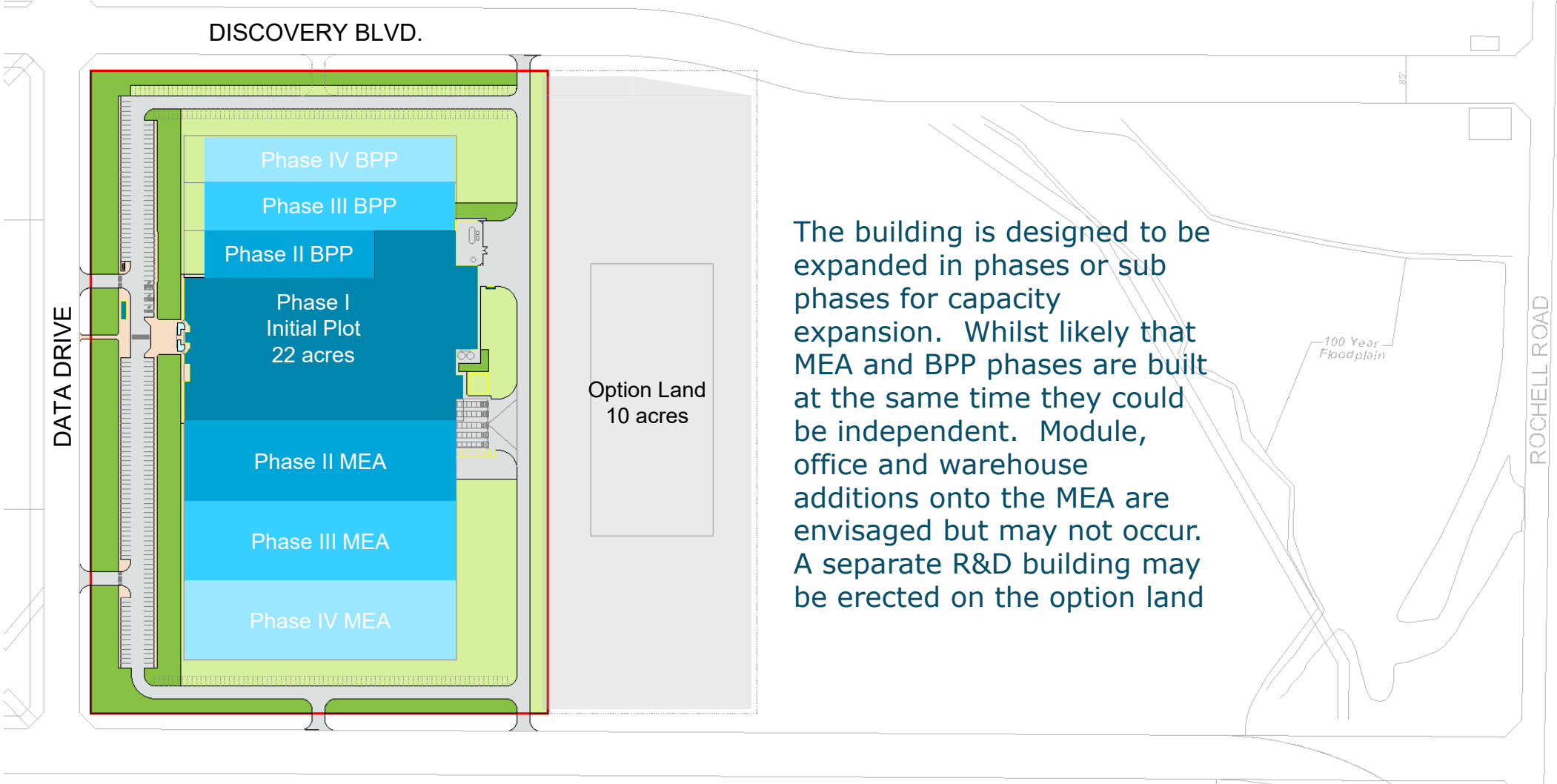
# Phase 1 Plot Layout



Phase 1 is positioned to enable the subsequent phases of the building with minimal disruption. Car parking provided for 201 vehicles



# Expansion Including Option Land



The building is designed to be expanded in phases or sub phases for capacity expansion. Whilst likely that MEA and BPP phases are built at the same time they could be independent. Module, office and warehouse additions onto the MEA are envisaged but may not occur. A separate R&D building may be erected on the option land

# Ballard Rockwall Facility

# Hydrogen Revolution










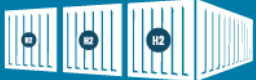







Gulf Coast Hydrogen Hub awarded \$1.2B to develop hydrogen production capacity

We need to co-develop the Fuel Cell engines to convert that hydrogen to electricity

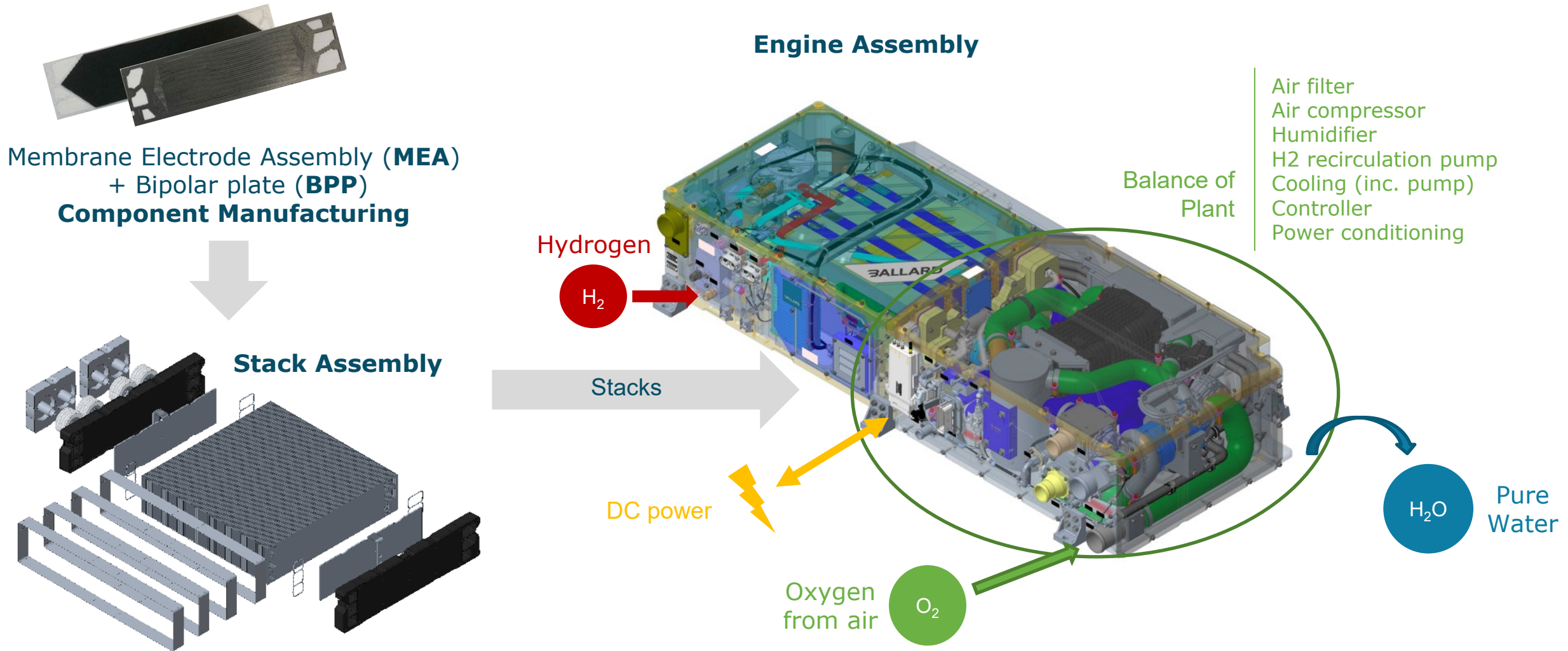
Ballard's investment in Fuel Cell engine production in Rockwall will help drive the energy transition

# Who are we?

 <p><b>44</b> YEARS</p>	 <p><b>&gt;1,100</b> employees</p>	 <p><b>1,400</b> patents &amp; applications</p>	 <p>28 years Nasdaq 30 years TSX publicly listed company</p>	 <p><b>0</b> 2030 commitment to carbon neutrality</p>
 <p><b>&gt;1,400</b> transit buses</p>	 <p><b>&gt;2,300</b> trucks</p>	 <p><b>7 TRAIN</b> projects</p>	 <p><b>8 SHIPS</b> in development</p>	 <p><b>8 MW</b> of stationary power projects</p>
 <p><b>1 GW</b> fuel cell products delivered*</p>	 <p><b>&gt;5.3 MILLION</b> MEAs produced*</p>	 <p><b>&gt;150 MILLION</b> kilometers in operation*</p>	 <p><b>1.6 GW</b> production capacity</p>	 <p><b>4</b> PRODUCTION SITES global footprint</p>

\*compiled from 2015

# MEA & BPP manufacturing and assembly operations

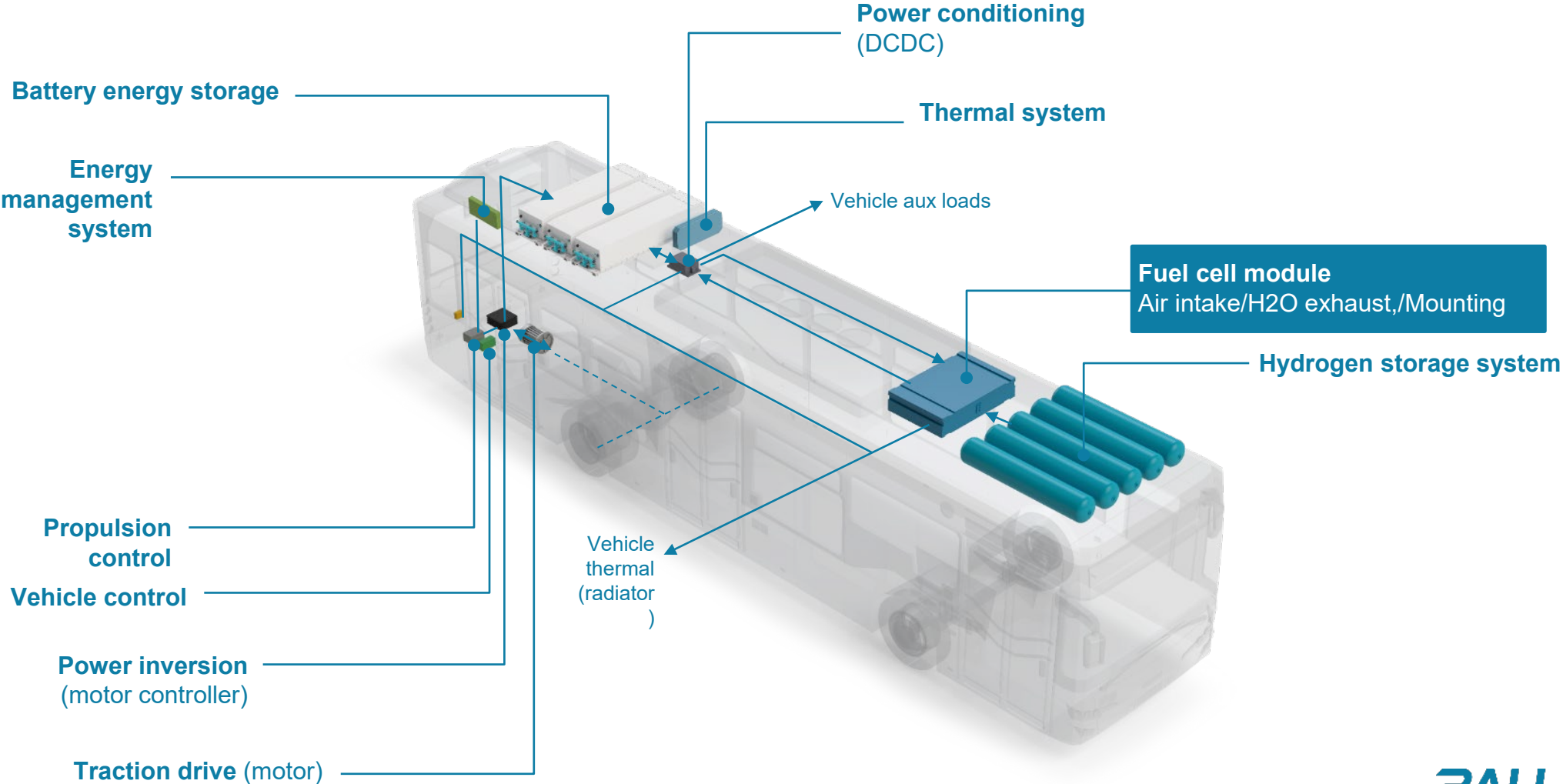


The facility will **manufacture MEAs, BPPs and** assembly into **stacks**, which then are sold or combined with purchased balance of plant components to produce a **fuel cell engine**



# Customer Integration

Customers integrate fuel cell modules into the vehicle to produce a Fuel Cell Electric Vehicle



# Our Markets



## Applications powered by Ballard



160 Fuel Cell Electric Buses in USA

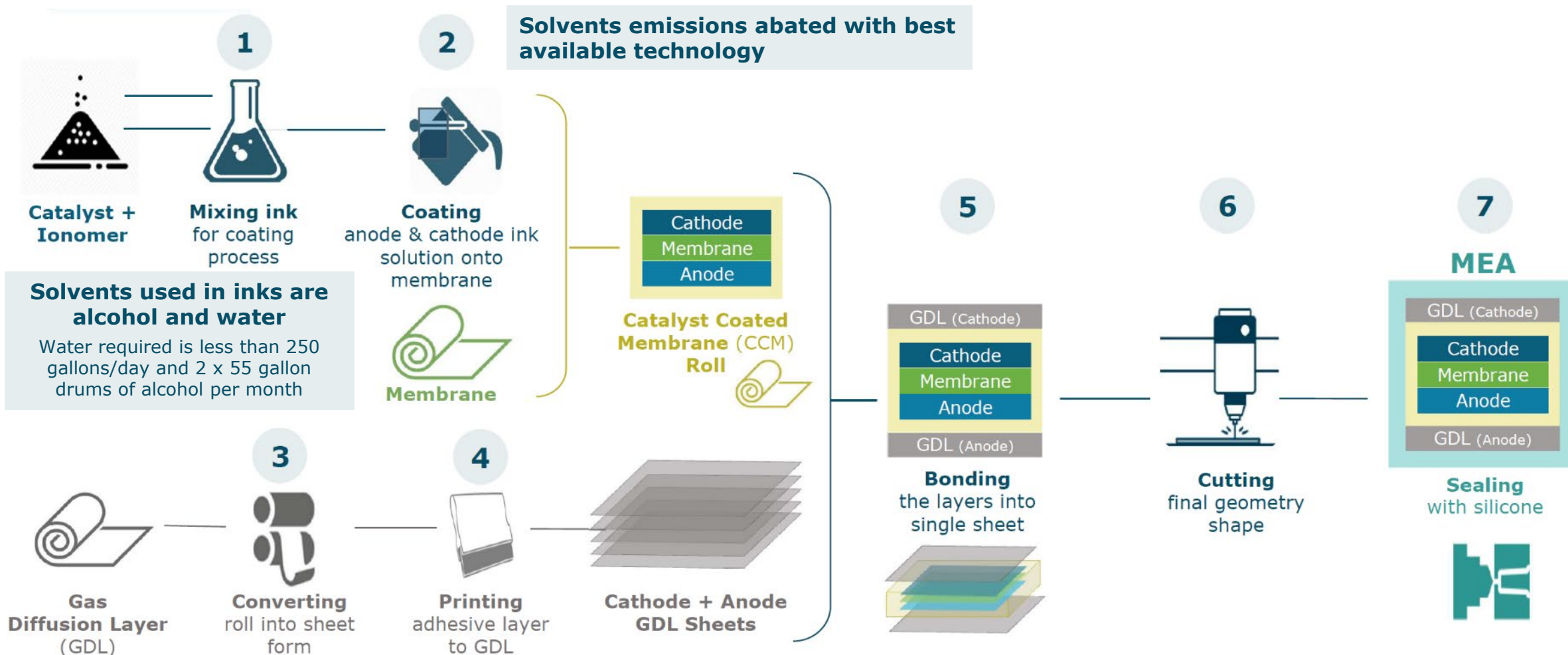
100% powered by Ballard



# MEA Manufacturing



MEA Manufacturing highly automated and similar to battery cell production, but with low chemicals consumption.

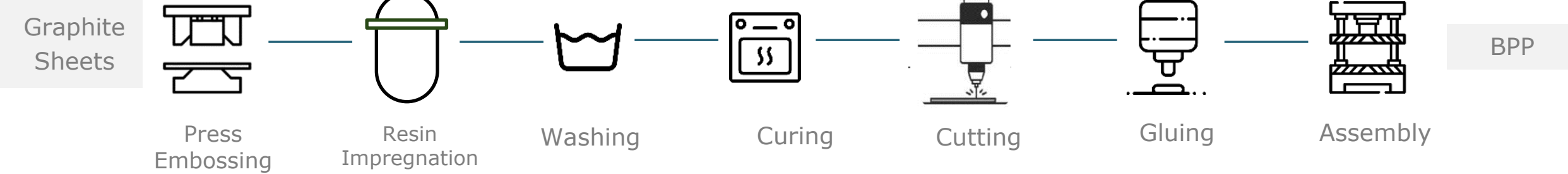


# BPP Manufacturing



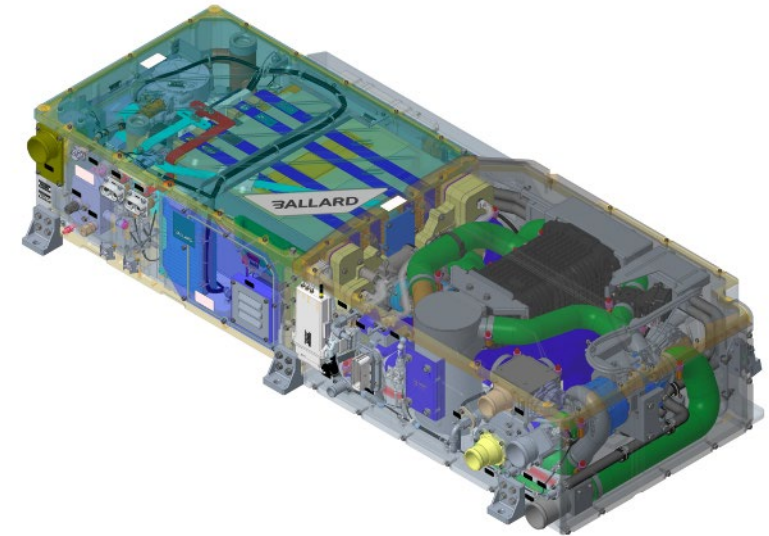
Bipolar Plate manufacturing has been developed as a **water and solvent free** process so no waste water emissions

Fully automated process from start to finish



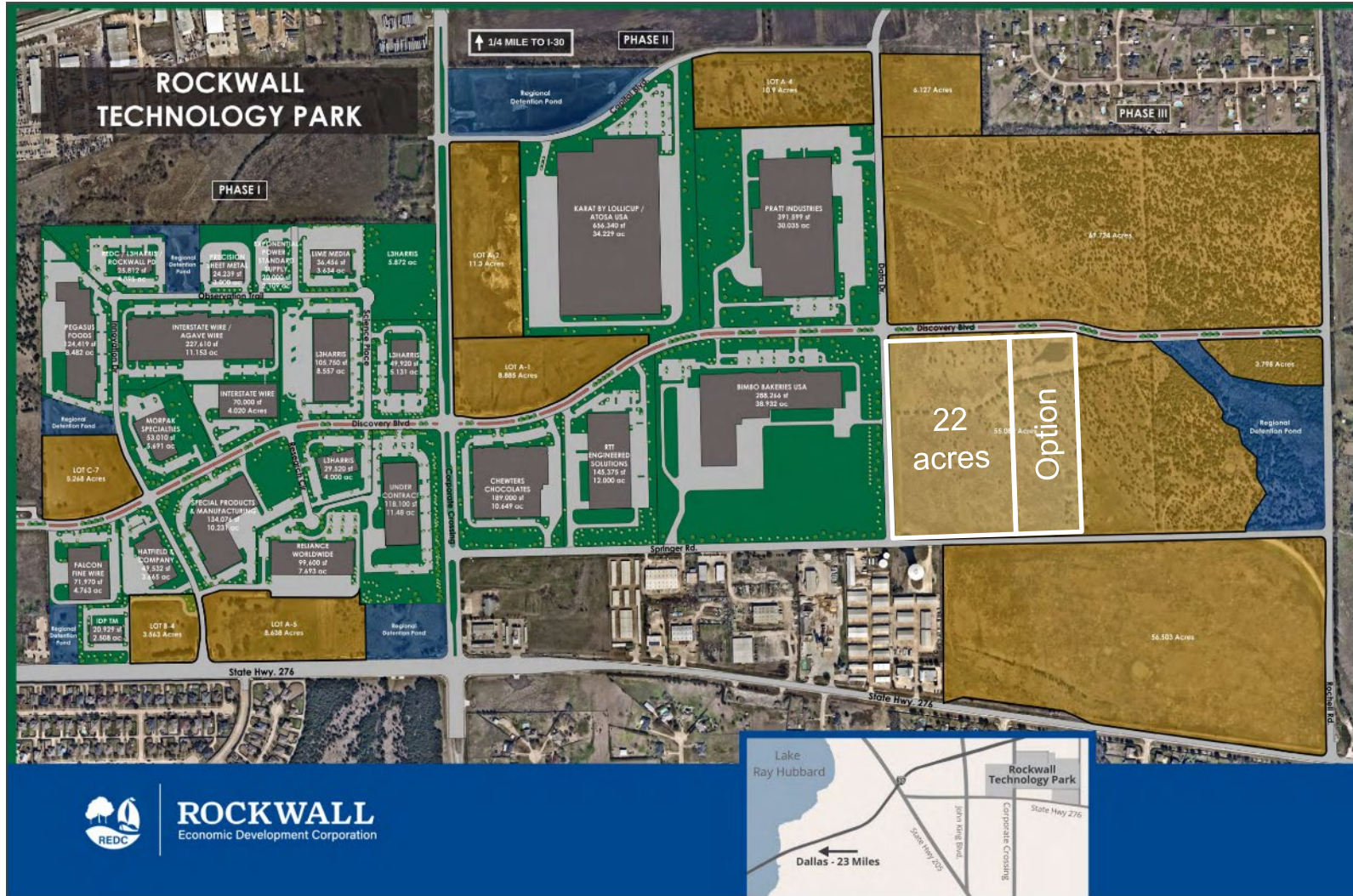
# Stack and Engine Assembly, with test

Stacks assembled by placing MEAs and BPPs in a fully automated line.  
Product tested for quality using hydrogen gas on a test station

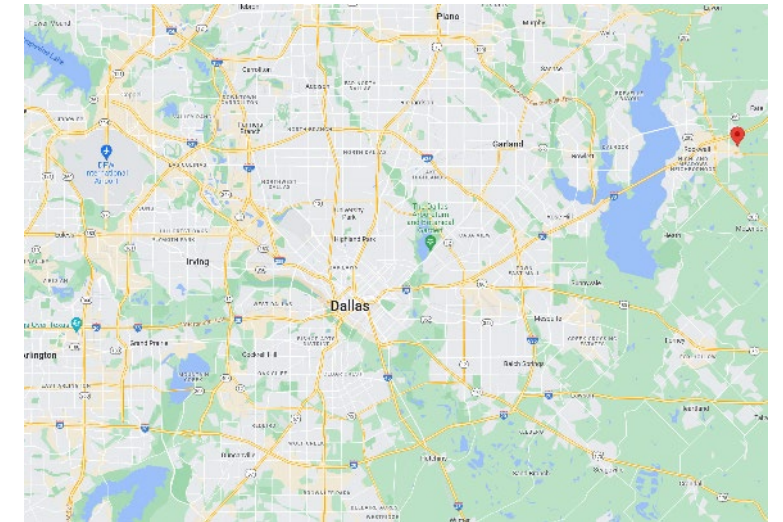


Engines assembled by skilled technicians combining stacks with balance of plant components. Engines functionality checked using hydrogen gas on a test station

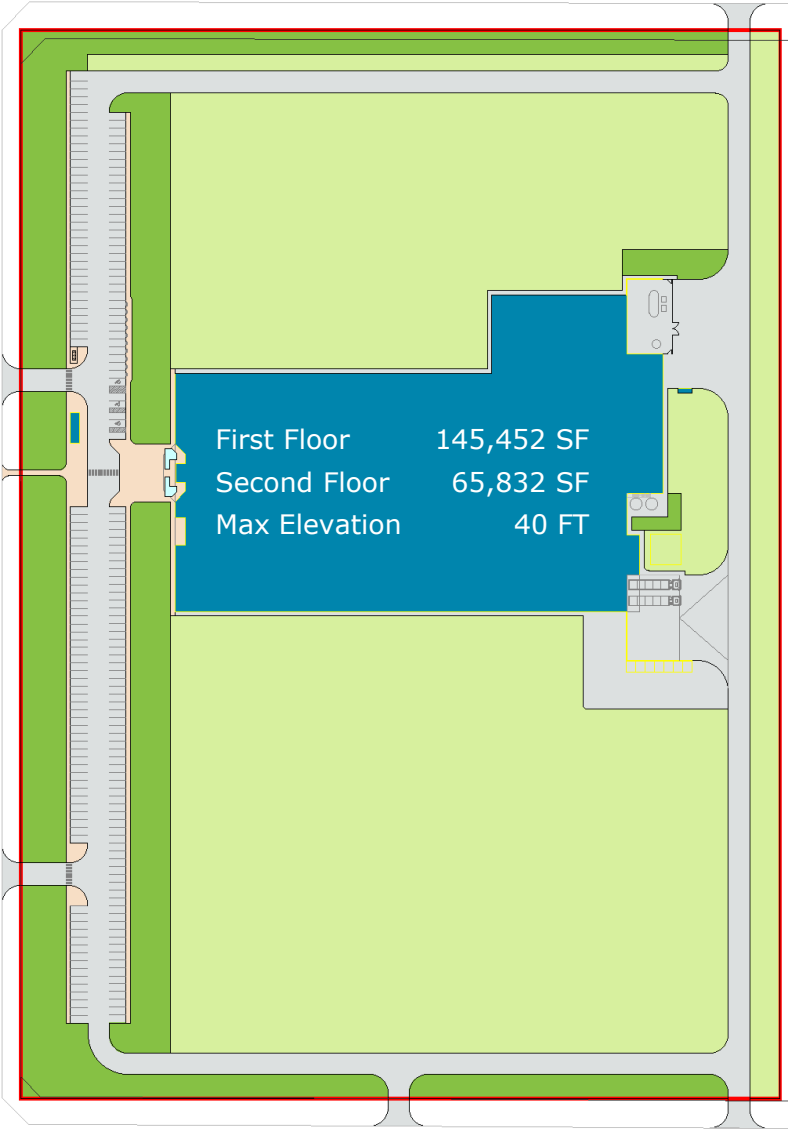
# Rockwall Technology Park



**22-acre** site in Rockwall Technology Park with an option for an additional 10-acres.



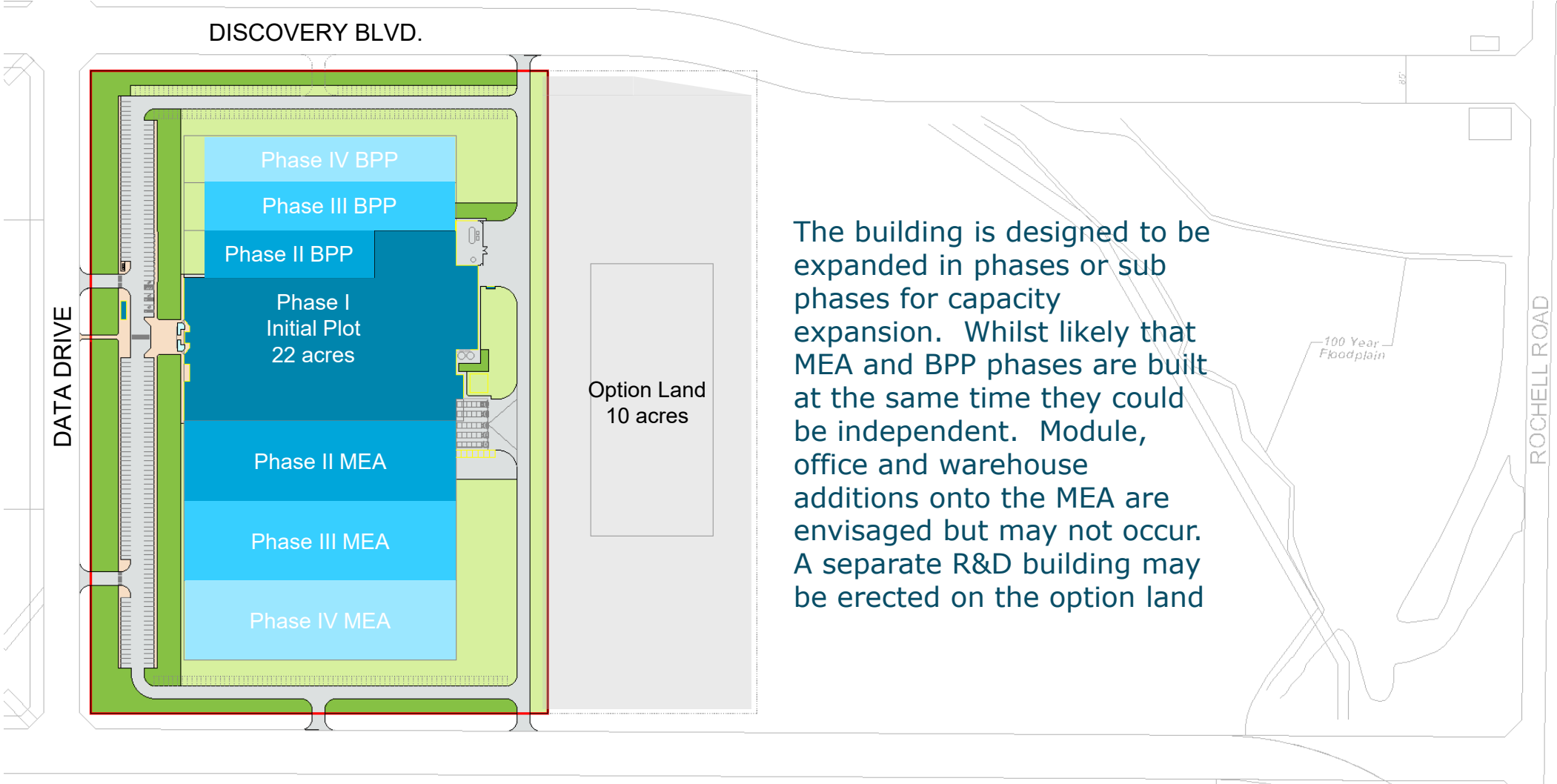
# Phase 1 Plot Layout



Phase 1 is positioned to enable the subsequent phases of the building with minimal disruption. Car parking provided for 201 vehicles



# Expansion Including Option Land



The building is designed to be expanded in phases or sub phases for capacity expansion. Whilst likely that MEA and BPP phases are built at the same time they could be independent. Module, office and warehouse additions onto the MEA are envisaged but may not occur. A separate R&D building may be erected on the option land



# Concept Architecture



**Natural Stone**



**Platinum PLANC™**  
Large Format Stone Veneer

**PRODUCT DETAILS BELOW.** This is the stone and color that inspired the Planc Series with a trending color and the unique surface texture that you'll only find with natural stone. *Order your sample kit today!*

## Example



# Concept Architecture



1.4MW solar PV

Natural Stone

Concrete

Landscaping

WEST  
DATA DRIVE



# Concept Architecture



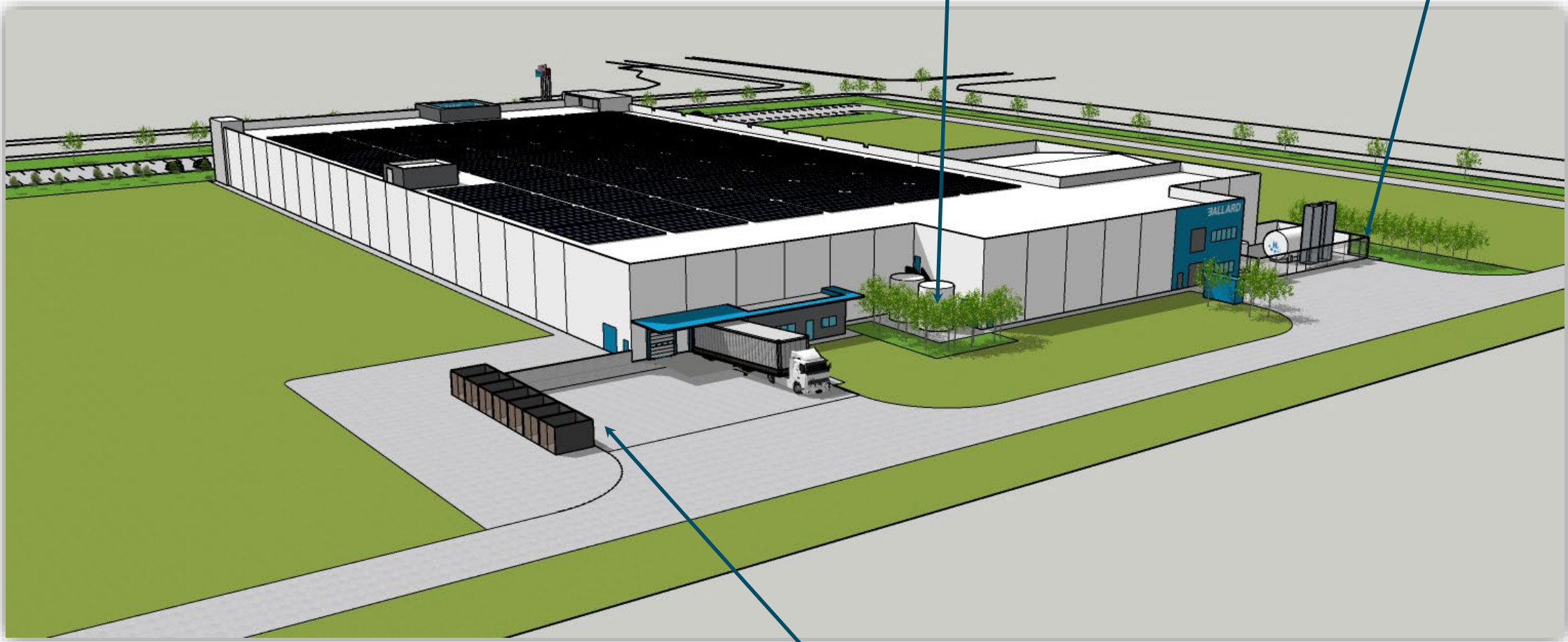
LEED requires bike parking

EV charging

# Concept Architecture

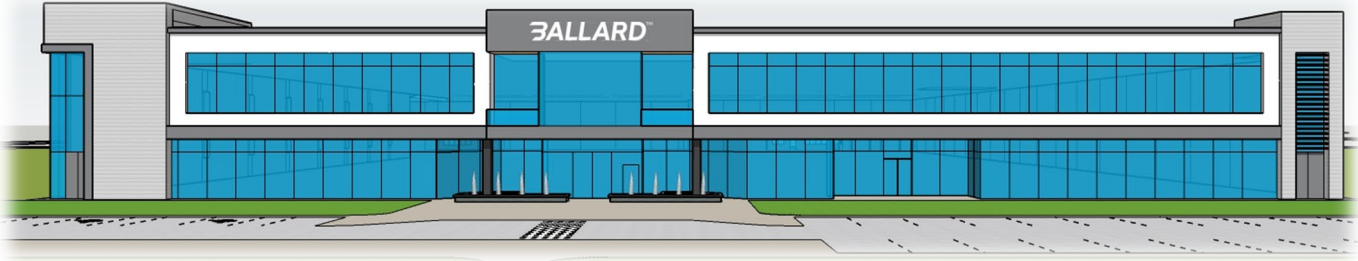
Heat Pump Tanks

Liquid Hydrogen and Nitrogen shielded with trees

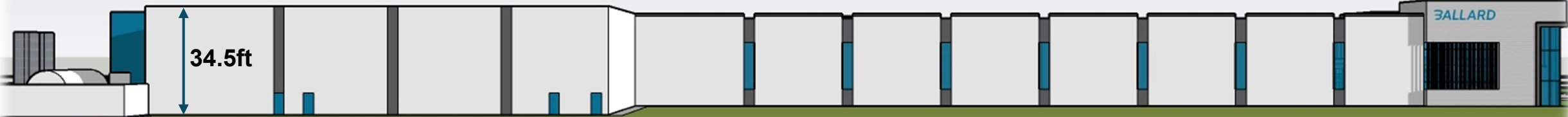


Recycling area

# Elevations



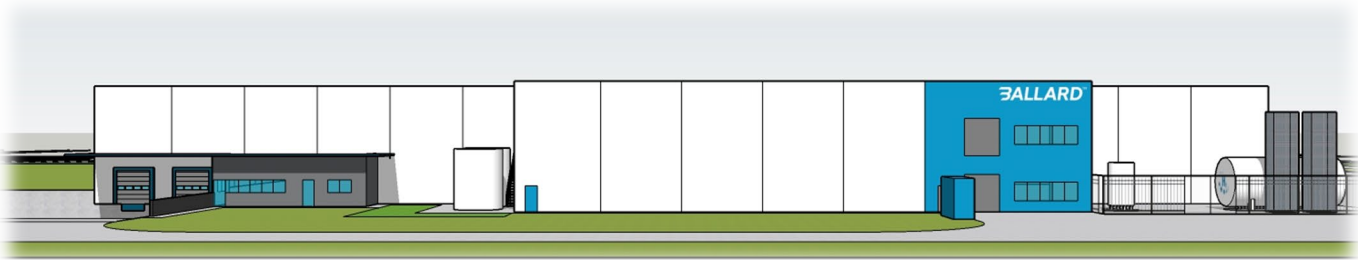
**WEST  
DATA DRIVE**



34.5ft

**NORTH  
DISCOVERY BLVD**

**EAST  
ROCHELL ROAD**



BALLARD

**SOUTH  
SPRINGER ROAD**



# Carbon Neutrality 2030

Ballard is targeting net carbon zero for its operations by 2030 so this facility needs to be constructed in a way to help Ballard achieve the goals. The project should achieve **LEED Gold** requirements and include:



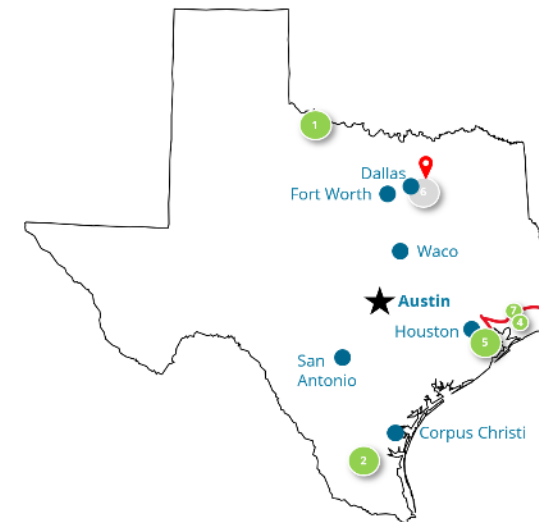
- Solar PV on roof of building
- Rain water harvesting for irrigation and potential use for toilets
- Heat pump based offices temperature control
- Heat pump AHUs for factory cleanrooms
- Regenerative Load banks for Test Stations to provide power to site, and potentially emergency backup power
- Consideration of on-site green hydrogen production for production test stations
- Use of waste heat from coating abatement to support heat pumps
- High building energy efficiency
- High solar reflectivity roof and wall panels

# Liquid Hydrogen



- Example of liquid hydrogen storage and distribution system located in the Northeast part of the site.
- Appearance shielded with trees as shown in the Vancouver photo
- Wide selection of green hydrogen suppliers in Texas

Map of Hydrogen Availability



Map #	Facility	County
1	Air Products and the AES Corporation	Willbarger
2	Green Hydrogen International	Duval
—	Air Products Hydrogen Pipeline	Harris
4	Plug Power	Jefferson
5	Air Liquide	Harris
6	Air Liquide	Dallas
7	Air Liquide (hydrogen storage facility)	Jefferson

BEING a tract of land situated in the J.B. Jones Survey, Abstract No. 125 and the J.A. Ramsey Survey, Abstract No. 186, in the City of Rockwall, Rockwall County, Texas, being part of Lot 1, Block B, of Rockwall Technology Park Phase V, an addition to the City of Rockwall, as described in Document No. 2023000006632, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), said Lot being part of a tract of land described in a Deed to Rockwall Economic Development Corporation, as described in Volume 5528, Page 194, in the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found at the most northerly northwest corner of said Lot 1, being in the south line of Discovery Boulevard (85-foot right-of-way);

THENCE North 88 degrees 23 minutes 40 seconds East, with the north line of said Lot 1 and the south line of said Discovery Boulevard, a distance of 929.29 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found at the point of curvature of a curve to the right, having a radius of 807.50 feet and a central angle of 13 degrees 13 minutes 52 seconds;

THENCE continuing with the north line of said Lot 1 and south line of said Discovery Boulevard, and with said curve to the right, an arc distance of 186.47 feet (Chord Bearing South 84 degrees 59 minutes 24 seconds – 186.06 feet);

THENCE South 01 degree 42 minutes 43 seconds East, departing the north line of said Lot 1 and south line of said Discovery Boulevard, a distance of 1,200.92 feet to the south line of said Lot 1, being the north line of Springer Road (80-foot right-of-way);

THENCE South 88 degrees 36 minutes 34 seconds West, with the south line of said Lot 1 and the north line of said Springer Road, a distance of 879.70 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found;

THENCE North 46 degrees 34 minutes 32 seconds West, continuing with the south line of said Lot 1 and north line of Springer Road, a distance of 41.45 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found in the east line of Data Drive (65-foot right-of-way);

THENCE North 01 degree 42 minutes 44 seconds West, with the west line of said Lot 1 and the east line of said Data Drive, a distance of 1,159.54 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found;

THENCE North 43 degrees 20 minutes 28 seconds East, continuing with the west line of said Lot 1 and east line of Data Drive, a distance of 42.39 feet to the POINT OF BEGINNING and containing 32.00 acres of land.



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *HEAVY MANUFACTURING* ON A 32.00-ACRE PORTION OF A LARGER 77.148-ACRE TRACT OF LAND IDENTIFIED AS TRACT 6 OF THE J. H. B. JONES SURVEY, ABSTRACT NO. 125, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for *Heavy Manufacturing* on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, generally located at the southwest corner of the intersection of Data Drive and Discovery Boulevard, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Heavy Manufacturing* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Heavy Manufacturing Facility* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of *Phase 1* of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The development of the *Subject Property* shall generally conform to the *Phasing Plan* as depicted in *Exhibit 'C'* of this ordinance.
- 3) The development of the *Subject Property* shall generally conform with the architecture and design images depicted in the *Concept Building Elevations* contained in *Exhibit 'D'* of this ordinance; however, conformance to the *Concept Building Elevations* does not constitute a waiver, variance, or exception to any of the development requirements contained in the Unified Development Code (UDC). In addition, development of the subject property shall be subject to recommendations made by the Architecture Review Board (ARB) through the site plan review process.
- 4) In the event that the property owner fails to complete the *Phase 1* improvements depicted in *Exhibit 'B'* of this ordinance and does not receive a Certificate of Occupancy (CO) from the City of Rockwall within a period of four (4) years from the approval date of this ordinance (*i.e. December 3, 2027*) this Specific Use Permit (SUP) shall expire. If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90 days prior to the expiration date of this ordinance (*i.e. prior to September 4, 2027*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this

ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>TH</sup> DAY OF DECEMBER, 2023.**

\_\_\_\_\_  
Trace Johannessen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 20, 2023

2<sup>nd</sup> Reading: December 4, 2023

**Exhibit 'A'**  
*Legal Description*

*BEING* a tract of land situated in the J.B. Jones Survey, Abstract No. 125 and the J.A. Ramsey Survey, Abstract No. 186, in the City of Rockwall, Rockwall County, Texas, being part of Lot 1, Block B, of Rockwall Technology Park Phase V, an addition to the City of Rockwall, as described in Document No. 2023000006632, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), said Lot being part of a tract of land described in a Deed to Rockwall Economic Development Corporation, as described in Volume 5528, Page 194, in the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found at the most northerly northwest corner of said Lot 1, being in the south line of Discovery Boulevard (85-foot right-of-way);

*THENCE* North 88 degrees 23 minutes 40 seconds East, with the north line of said Lot 1 and the south line of said Discovery Boulevard, a distance of 929.29 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found at the point of curvature of a curve to the right, having a radius of 807.50 feet and a central angle of 13 degrees 13 minutes 52 seconds;

*THENCE* continuing with the north line of said Lot 1 and south line of said Discovery Boulevard, and with said curve to the right, an arc distance of 186.47 feet (Chord Bearing South 84 degrees 59 minutes 24 seconds – 186.06 feet);

*THENCE* South 01 degree 42 minutes 43 seconds East, departing the north line of said Lot 1 and south line of said Discovery Boulevard, a distance of 1,200.92 feet to the south line of said Lot 1, being the north line of Springer Road (80-foot right-of-way);

*THENCE* South 88 degrees 36 minutes 34 seconds West, with the south line of said Lot 1 and the north line of said Springer Road, a distance of 879.70 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found;

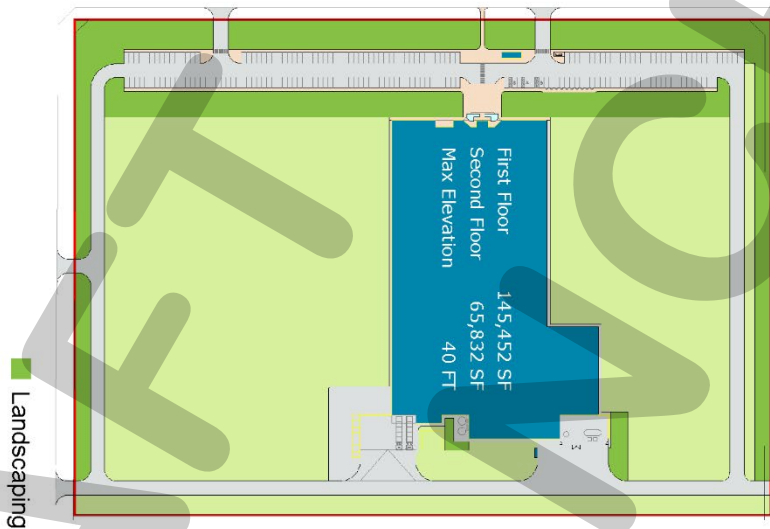
*THENCE* North 46 degrees 34 minutes 32 seconds West, continuing with the south line of said Lot 1 and north line of Springer Road, a distance of 41.45 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found in the east line of Data Drive (65-foot right-of-way);

*THENCE* North 01 degree 42 minutes 44 seconds West, with the west line if said Lot 1 and the east line of said Data Drive, a distance of 1,159.54 feet to a 1/2-inch iron rod with red cap stamped "PJB SURVEYING" found;

*THENCE* North 43 degrees 20 minutes 28 seconds East, continuing with the west line of said Lot 1 and east line of Data Drive, a distance of 42.39 feet to the *POINT OF BEGINNING* and containing 32.00 acres of land.

**Exhibit 'B'**  
**Concept Plan**

11



**Phase 1 Plot Layout**

Landscaping

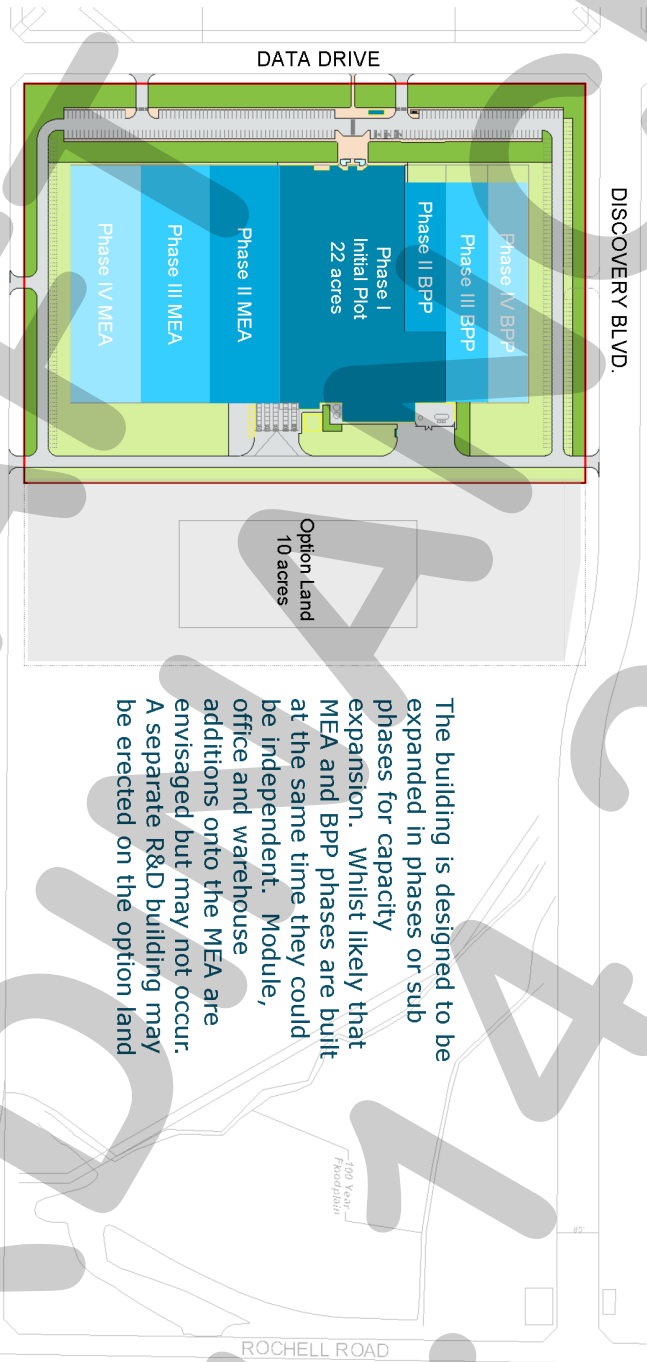


Phase 1 is positioned to enable the subsequent phases of the building with minimal disruption. Car parking provided for 201 vehicles

**BALLARD™**

**Exhibit 'C'**  
**Phasing Plan**

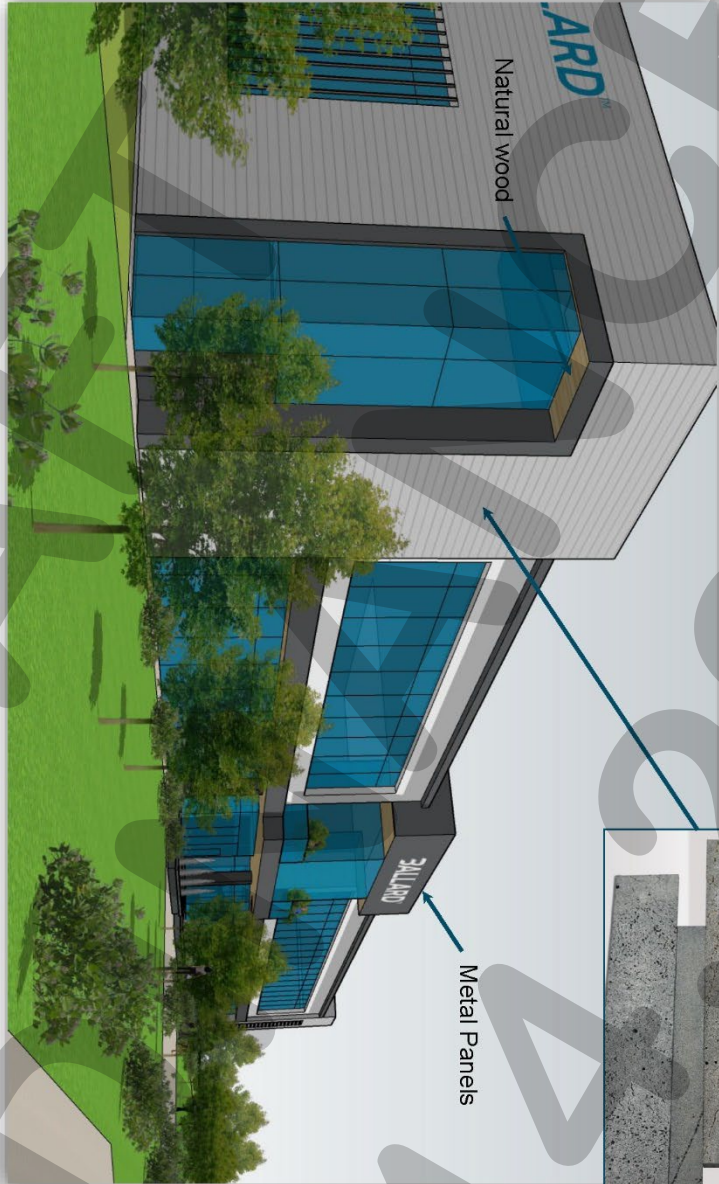
**Expansion Including Option Land**



The building is designed to be expanded in phases or sub phases for capacity expansion. Whilst likely that MEA and BPP phases are built at the same time they could be independent. Module, office and warehouse additions onto the MEA are envisaged but may not occur. A separate R&D building may be erected on the option land

Exhibit 'D'  
 Concept Building Elevations

Concept Architecture



Natural Stone

Platinum PLANC™  
 Large Format Stone Veneer

PRODUCT DETAILS BELOW: This is the stone and color that inspired the Planc series with a trending color and the unique surface texture that you'll only find with natural stone. Order your sample kit today!

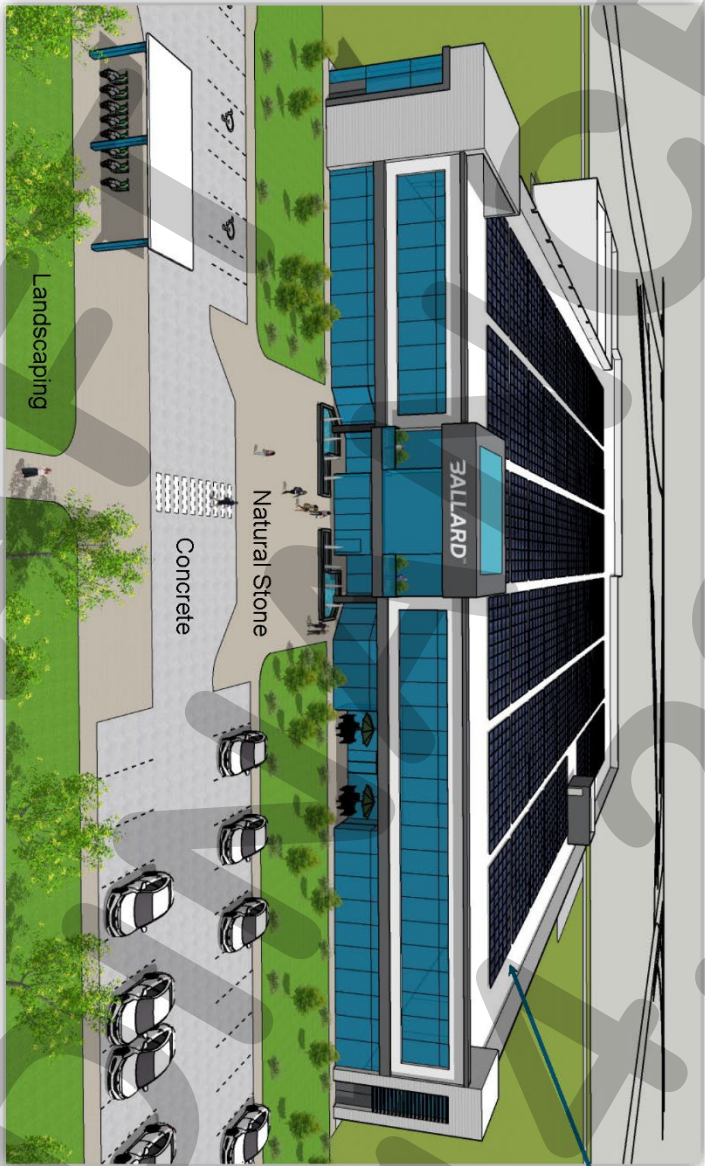


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Exhibit 'D'  
Concept Building Elevations

Concept Architecture



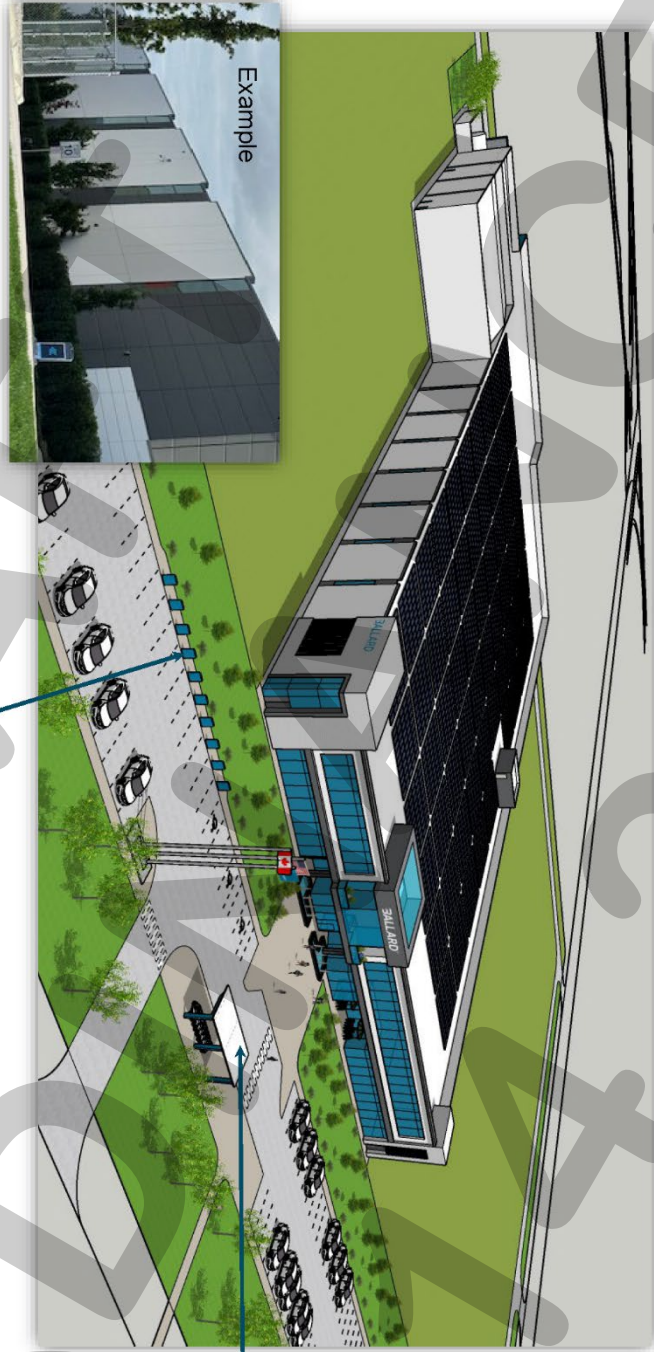
14

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Exhibit 'D'  
Concept Building Elevations

Concept Architecture



Example

EV charging

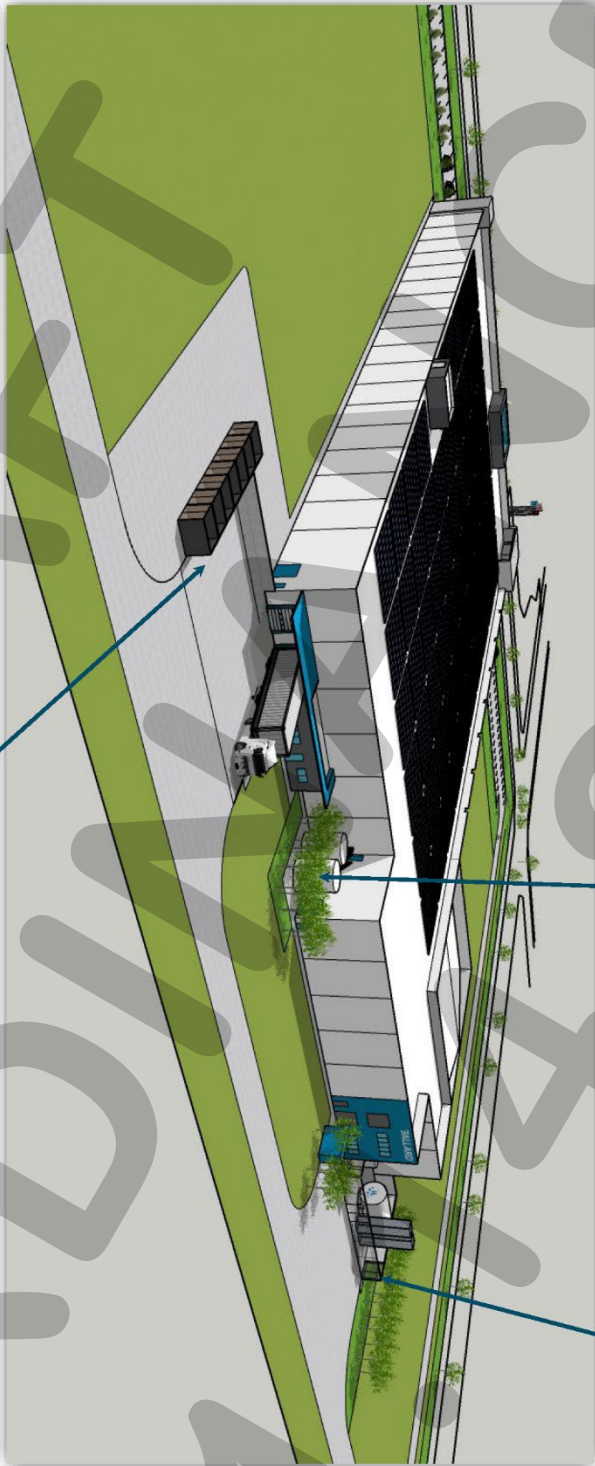
LEED requires  
bike parking

**BALLARD**<sup>™</sup>

Exhibit 'D'  
Concept Building Elevations

16

Concept Architecture



Recycling area

Heat Pump Tanks

Liquid Hydrogen  
and Nitrogen  
shielded with trees

BALLARD™





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** November 14, 2023

**APPLICANT:** Keith Green

**CASE NUMBER:** Z2023-050; *Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit at 605 E. Washington Street*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Keith Green for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* on a 0.22-acre parcel of land identified as Block 43A of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall prior to 1900 based on the October 1900 Sanborn Maps. At some point prior to October 1900, the subject property was platted with the B.F. Boydston Addition, and is currently identified as Block 43A of the B.F. Boydston Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to a Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. According to Rockwall Central Appraisal District (RCAD), there is a 2,884 SF single-family home that was constructed circa 1895. Additionally, there is a deck that was added in 2006, as well as, two (2) storage buildings (150 SF & 40 SF) that were constructed on the subject property in 2012. There was a side addition that is also listed; however, the date is unknown as to when this alteration took place. On October 19, 2023, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [i.e. Case No. H2023-016] to allow for the construction on the *Guest Quarters/Secondary Living Unit* on the subject property, which is classified as a *High-Contributing Property* according to the 2017 *Historic Resource Survey*. The subject property is also situated within the Old Town Rockwall (OTR) Historic District.

### PURPOSE

The applicant -- *Keith Green* -- is requesting approval of a Specific Use Permit (SUP) for the purpose of constructing a 350 SF *Guest Quarters/Secondary Living Unit* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is located at 605 E. Washington Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are five (5) parcels of land within the Old Town Rockwall Historic District (i.e. 602, 604, 606, 608, 610 E. Rusk Street and 102 S Clark Street) developed with single-family homes that are zoned Single-Family 7 (SF-7) District. Beyond this is E. Rusk Street, which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) parcels of land (i.e. 601, 603, 605, and 609 E. Rusk Street) developed with single-family homes that are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject is E. Washington Street, which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) properties (i.e. 602, 606, 608 E Washington Street and 202 S. Clark

Street) developed with single-family homes that are zoned Single-Family 7 (SF-7) District. South of this is Clark Street Park (*i.e. Lot 16 of the Dawson Addition*) which is a public park that is owned by the City of Rockwall.

East: Directly east of the subject property is a 0.3120-acre parcel of land with a ~2,383 SF single-family home that was constructed in 1899 situated on it. This property is zoned Single-Family 7 (SF-7) District. Beyond this is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 18.407-acre parcel of land owned by the Rockwall Independent School District (RISD) that is contiguous with Howard Dobbs Elementary School.

West: Directly west of the subject property is a 0.25-acre parcel of land with a ~1,620 single-family home (*i.e. 601 E. Washington Street*) that was constructed in 1910 situated on it. This property is zoned Single-Family 7 (SF-7) District. Beyond this is S. Tyler Street, which is indicated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.23-acre parcel of land with a ~1,969 single-family home (*i.e. 505 E. Washington Street*) that was constructed in 1910 situated on it. This property is zoned Single-Family 7 (SF-7) District.

## **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to construct a new accessory building that will match the existing single-family home. The proposed structure will be a total of 350 SF or 14-feet by 25-feet. The building will be clad in *Hardie Board* and have composite shingle roof. The proposed accessory structure will be situated on a pier-and-beam foundation and will have a height of approximately thirteen (13) feet, seven (7) inches. The applicant has indicated that the structure will have a half-bath making this a *Guest Quarters/Secondary Living Unit*. The applicant has also indicated that electricity will be ran to the structure. Staff should note that there is an existing eight (8) foot by 14-foot (or 112 SF) accessory building and a separate playhouse on the subject property. The proposed *Guest Quarters/Secondary Living Unit* will be taking the place of the playhouse, which will be removed prior to construction. If the applicant's request is approved then there will be a total of two (2) structures on the subject property.

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit* is defined as "(a)n accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as separate domicile." According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* requires a Specific Use Permit (SUP) in a Single-Family 7 (SF-7) District and -- according to Subsection 02.03 -- is subject to the following *Conditional Land Use Standards*: [1] the structure must be ancillary to a single-family home, [2] the square footage of the structure shall not exceed 30% of the square footage of the primary structure, and [3] the structure may not be sold or conveyed separately from the single-family home without meeting the zoning requirements for the district. In addition to these requirements, a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is subject to the dimensional requirements contained in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, and the parking requirements of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). As stated above, *Guest Quarters/Secondary Living Unit* are permitted to be 30.00% of the square footage of the primary structure. In this case, the applicant is permitted *by-right* an 862.20 SF *Guest Quarters/Secondary Living Unit* (*i.e. 2,884 SF x 30.00% = 862.20 SF*). With that being said, the applicant is only requesting a 350 SF *Guest Quarters/Secondary Living Unit*, which represents 8.24% of the primary structure. This is approximately 21.76% less than what is allowed *by-right*.

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size. If a property has an existing accessory building greater than 144 SF, no additional accessory buildings are permitted. In this case, there is an existing 112 SF accessory building and the proposed accessory building will be 350 SF. In addition, this section of the code goes on to state that accessory structures shall not exceed fifteen (15) feet in height. In this case, the proposed total overall height of the *Guest Quarters/Secondary Living Unit* is thirteen (13) feet seven, (7) inches. Based on this, the proposed site plan and the building elevations, the proposed building meets all of the requirements for a *Guest Quarters/Secondary Living Unit* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC).

If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed structure. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On October 24, 2023, staff mailed 82 property owner notifications to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response from our online Zoning and Specific Use Permit Input Form in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a *Guest Quarters/Secondary Living Unit* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The construction of the *Guest Quarters/Secondary Living Unit* on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
  - (c) The *Guest Quarters/Secondary Living Unit* shall not exceed a maximum size of 350 SF.
  - (d) The maximum height of the *Guest Quarters/Secondary Living Unit* shall not exceed a total height of 15-feet as measured to highest point of the pitched roof.
  - (e) The *Guest Quarters/Secondary Living Unit* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **HISTORIC PRESERVATION ADVISORY BOARD (HPAB)**

On October 19, 2023, the Historic Preservation Advisory Board (HPAB) approved a motion to recommend approval for a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* and grant a Certificate of Appropriateness (COA) for the proposed structure by a vote of 6-0, with Commissioner Freed absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **605 E WASHINGTON ST ROCKWALL, TX 75087**

SUBDIVISION **BF BOYDSTUN ADDITION**

LOT \_\_\_\_\_

BLOCK **43A**

GENERAL LOCATION **OLD TOWN HISTORIC DISTRICT**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF-7**

CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE \_\_\_\_\_

ACREAGE **.22**

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON **KEITH GREEN**

CONTACT PERSON \_\_\_\_\_

ADDRESS **605 E WASHINGTON ST**

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP **ROCKWALL, TX 75087**

CITY, STATE & ZIP \_\_\_\_\_

PHONE **972-978-9197**

PHONE \_\_\_\_\_

E-MAIL **GREEN.KEITH@GMAIL.COM**

E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

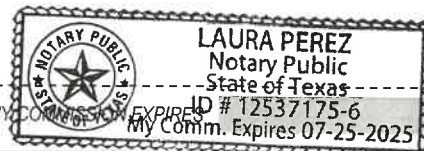
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **20** DAY OF **October**, 20**23**.

OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_





# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



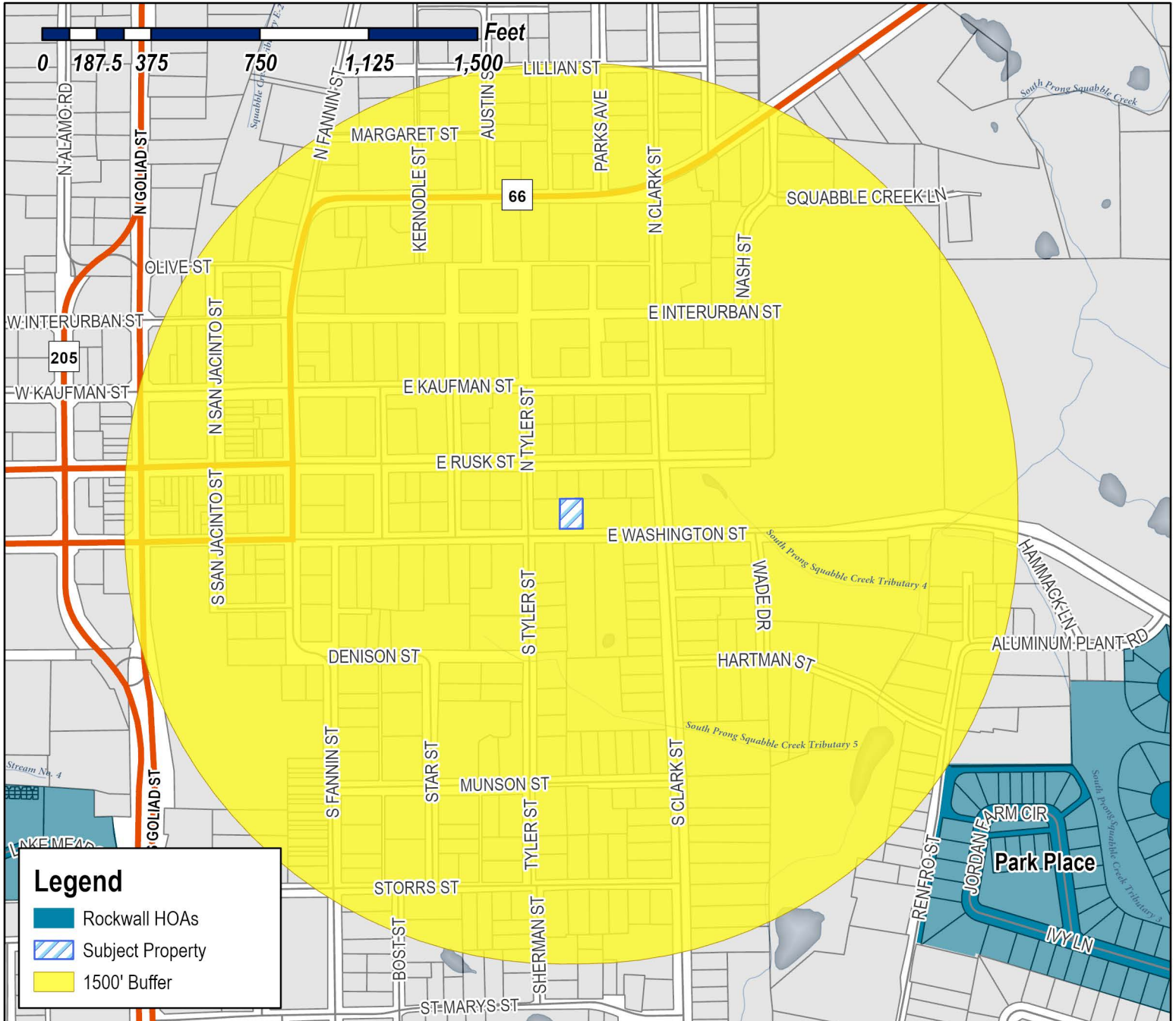




# City of Rockwall

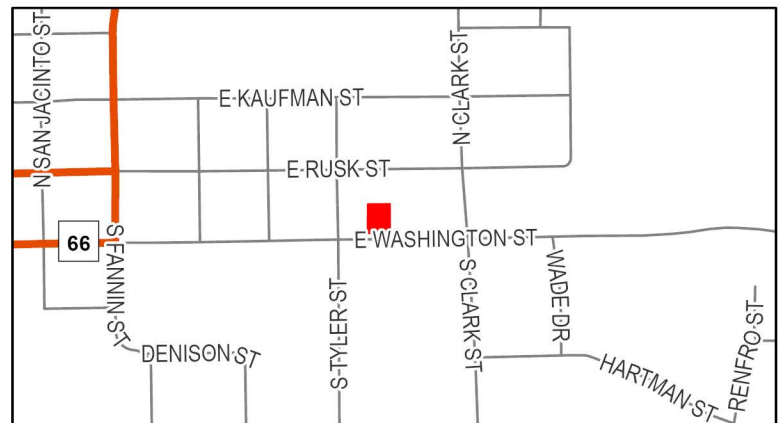
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**Case Number:** Z2023-050  
**Case Name:** SUP for Guest Quarter/Secondary  
**Case Type:** Living Unit  
**Zoning:** Zoning  
**Case Address:** Single-Family 7 (SF-7) District  
 605 E. Washington Street

**Date Saved:** 10/20/2023  
 For Questions on this Case Call (972) 771-7745

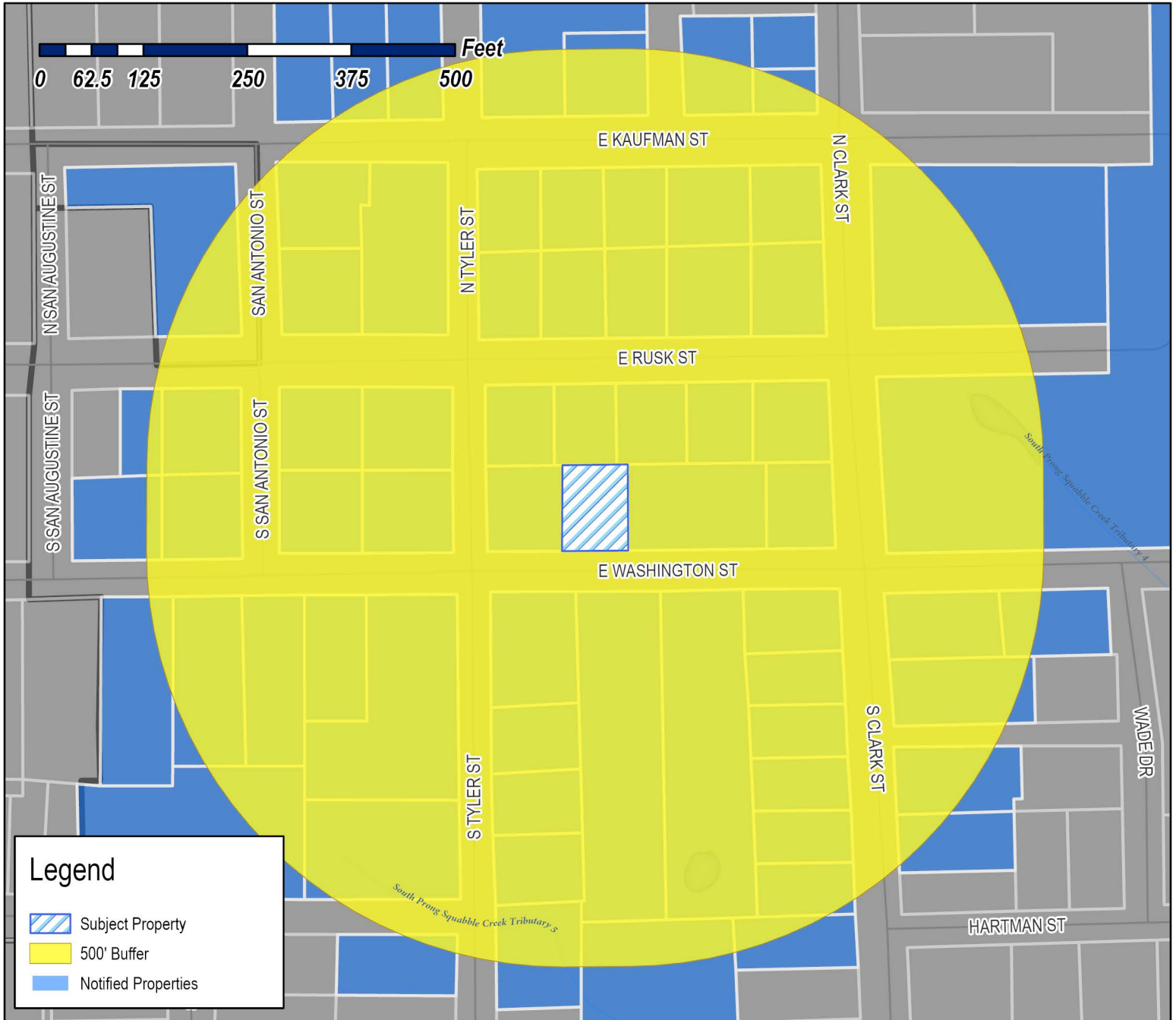




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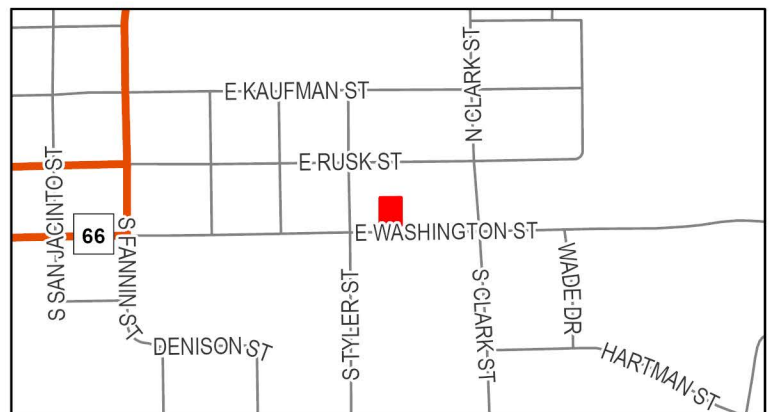
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**Case Number:** Z2023-050  
**Case Name:** SUP for Guest Quarters/Secondary Living Unit  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 605 E. Washington Street

**Date Saved:** 10/20/2023

For Questions on this Case Call: (972) 771-7746



QUINTON BILLY & AUTUMN  
102 N TYLER ST  
ROCKWALL, TX 75087

RESIDENT  
102 S CLARK ST  
ROCKWALL, TX 75087

GATES ROBERT V & CHRISTI C  
104 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
106 S CLARK ST  
ROCKWALL, TX 75087

HOOKER ROBERT AND KELLIE  
10653 COUNTY ROAD 1141  
TYLER, TX 75709

KUPPER LEROY J ET UX  
108 ELM CREST DR  
ROCKWALL, TX 75087

HARPER LYDIA  
1200 CLEVELAND STREET APT 327  
DENTON, TX 76201

MORGAN MARY FRANCES COLEY  
180 SAN ANTONIO STREET  
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
201 N CLARK ST  
ROCKWALL, TX 75087

CAMPBELL CASEY C  
201 S CLARK STREET  
ROCKWALL, TX 75087

RICH LISA  
202 S CLARK ST  
ROCKWALL, TX 75087

EDWARDS MORGAN BROOKE  
203 N CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
204 S CLARK ST  
ROCKWALL, TX 75087

FOX JONATHAN R AND SYDNEY  
205 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
206 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
208 S CLARK ST  
ROCKWALL, TX 75087

LEFERE KEVIN M AND  
AMANDA HENRY  
209 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
210 TYLER ST  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

RESIDENT  
210 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
211 TYLER ST  
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID  
211 S CLARK ST  
ROCKWALL, TX 75087

ZAKEM KYSIE JO  
212 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
213 TYLER ST  
ROCKWALL, TX 75087

RESIDENT  
214 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
215 TYLER ST  
ROCKWALL, TX 75087

BALL JUSTIN  
2155 CLUBVIEW DR  
ROCKWALL, TX 75087

MUNSON PARNTERS 1 LLC  
2241 AUBURN AVE  
DALLAS, TX 75214

GLASS JERRY  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

RESIDENT  
302 TYLER ST  
ROCKWALL, TX 75087

FLINCHUM RITA  
305 TYLER ST  
ROCKWALL, TX 75087

RESIDENT  
311 DENISON ST  
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA  
3111 ANNETTE CT  
GARLAND, TX 75044

MUNSON PARTNERS 1 LLC  
3435 HWY 276  
ROCKWALL, TX 75032

WELCH DAVID T & TERRY E  
401 E WASHINGTON STREET  
ROCKWALL, TX 75087

KILPATRICK KENDRA  
402 E WASHINGTON ST  
ROCKWALL, TX 75087

HANNA KIMBERLIE UPLEGER  
4020 WINCREST DR  
ROCKWALL, TX 75032

RESIDENT  
404 E RUSK  
ROCKWALL, TX 75087

COLSON BETTY  
404 E WASHINGTON  
ROCKWALL, TX 75087

SALVADOR MARY PEARL  
405 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
406 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
406 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
406 E WASHINGTON  
ROCKWALL, TX 75087

BARTON SHANNON G  
501 E. KAUFMAN  
ROCKWALL, TX 75087

TAMEZ PEDRO ET EX  
502 E RUSK ST  
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R  
503 E KAUFMAN  
ROCKWALL, TX 75087

ARCHER KERRY ANNE  
503 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
503 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
505 E KAUFMAN  
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX  
505 E WASHINGTON ST  
ROCKWALL, TX 75087

PYRON MARSHA G  
505 PETERSON ST  
ROYSE CITY, TX 75189

BIRKENBACK JOSSEPH M & OLGA M  
506 E RUSK ST  
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W  
507 E RUSK ST  
ROCKWALL, TX 75087

BETHEL TEMPLE BAPTIST  
520 E WASHINGTON STREET  
ROCKWALL, TX 75087

CAIN CHAD  
5705 ALLEN LN  
ROWLETT, TX 75088

TRES PUERTAS LLC  
5800 E CAMPUS CIRCLE #114A  
IRVING, TX 75063

RESIDENT  
601 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
601 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
601 E WASHINGTON  
ROCKWALL, TX 75087

ROBINSON NELDA  
602 E RUSK ST  
ROCKWALL, TX 75087

BRUCE JAMES E JR & SHERYL  
602 E WASHINGTON ST  
ROCKWALL, TX 75087

RESIDENT  
603 E RUSK  
ROCKWALL, TX 75087

GALVAN CARMAN  
604 E KAUFMAN ST  
ROCKWALL, TX 75087

HORNER ANDREA J  
604 E. RUSK ST  
ROCKWALL, TX 75087

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
605 E RUSK  
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE  
605 E WASHINGTON STREET  
ROCKWALL, TX 75087

CARSON HEATHER  
606 E WASHINGTON ST  
ROCKWALL, TX 75087

WILLIAMS JERRY LANE  
608 E RUSK ST  
ROCKWALL, TX 75087

WALLACE DUSTIN & KATHERINE  
608 EAST WASHINGTON  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET  
609 EAST WASHINGTON STREET  
ROCKWALL, TX 75087

CLARK JENNIFER A  
610 E KAUFMAN ST  
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN  
610 E RUSK ST  
ROCKWALL, TX 75087

INTEGRITY ALL CASH HOME BUYERS LLC  
7340 BAKER BLVD #392  
RICHLAND HILLS, TX 76118

RESIDENT  
801 E WASHINGTON  
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO  
815 T L TOWNSEND STE 100  
ROCKWALL, TX 75087

SOUTHWESTERN BELL TELEPHONE CO  
ATTN: PROPERTY TAX DEPT 1010 PINE, 9E-L-01  
ST. LOUIS, MO 63101

SMILEY KAREN APRIL  
INDEPENDENT ADMINISTRATOR - ESTATE OF  
ROBERT THOMAS WIKTORCH  
P.O. BOX 3061  
WARMINSTER, PA 18974

ONCOR ELECTRIC DELIVERY COMPANY  
PO BOX 139100  
DALLAS, TX 75313

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-050: SUP for Guest Quarters/ Secondary Living Unit**

Hold a public hearing to discuss and consider a request by Keith Green for the approval of a Specific Use Permit (SUP) for Guest Quarters/Secondary Living Unit on a 0.22-acre parcel of land identified as Block 43A of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2023-050: SUP for Guest Quarters/ Secondary Living Unit**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

**Case Number \***

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2023-050

Please place a check mark on the appropriate line below: \*

- I am in favor of the request.
- I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The plans for this new living unit are tasteful and will only improve the value of this home, which is good for all of the neighbors too.

**Respondent Information**

Please provide your information.

**First Name \***

Kate

**Last Name \***

Wallace

**Address \***

608 E Washington St

**City \***

Rockwall

**State \***

Tx

**Zip Code \***

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

# A NEW BACKYARD SHED FOR KEITH AND HOLLY GREEN

605 E. WASHINGTON ST.  
ROCKWALL 75087

NEW SHED  
KEITH AND HOLLY GREEN  
605 E. WASHINGTON ST.  
ROCKWALL TX 75087

### ISSUE LOG

DATE	DESCRIPTION	ISSUE
09/11/23	FOR BIDDING AND PERMIT	

### REVISION LOG

DATE	DESCRIPTION	REV. NO.

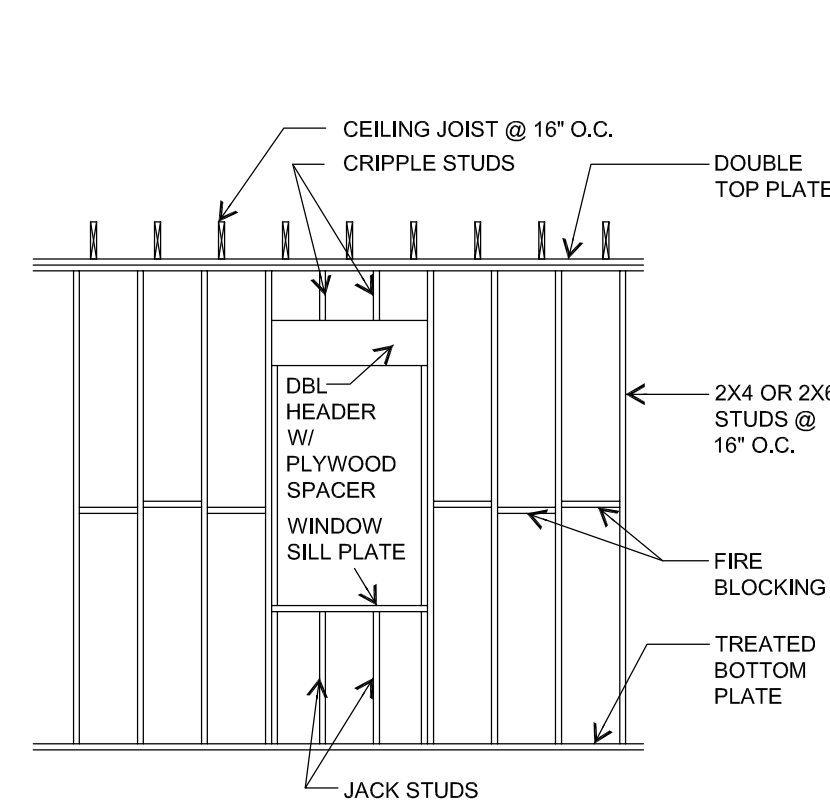
### ISSUED FOR:

- PRELIMINARY - NOT FOR CONSTRUCTION
- BIDDING / PERMIT
- REVISION / ADDENDUM
- FOR CONSTRUCTION

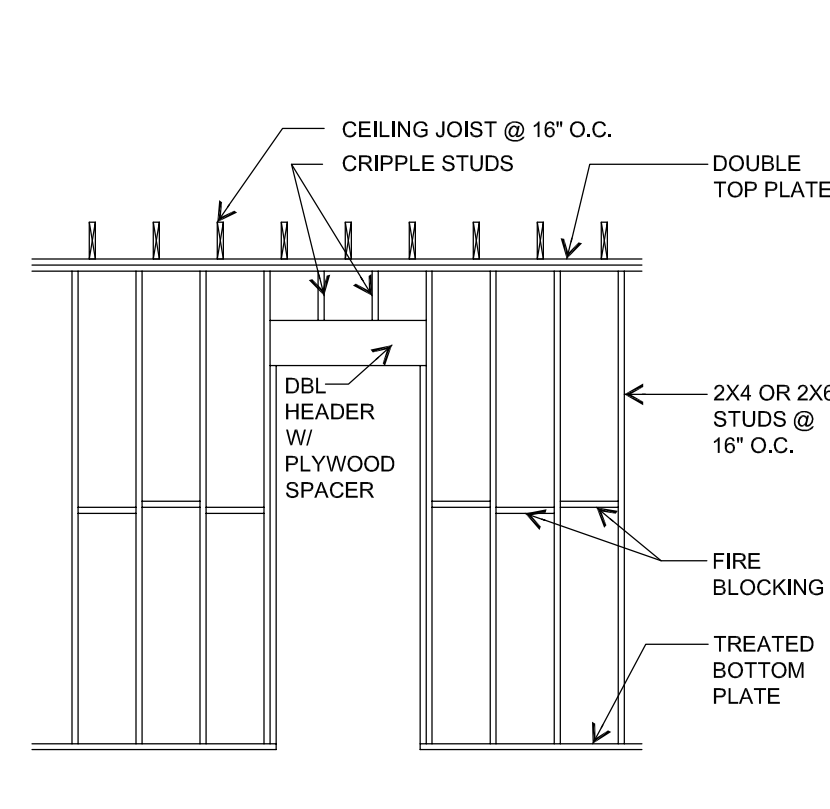


ARCH. PROJ. #	SCALE
09/06/23	REF. DRAWING

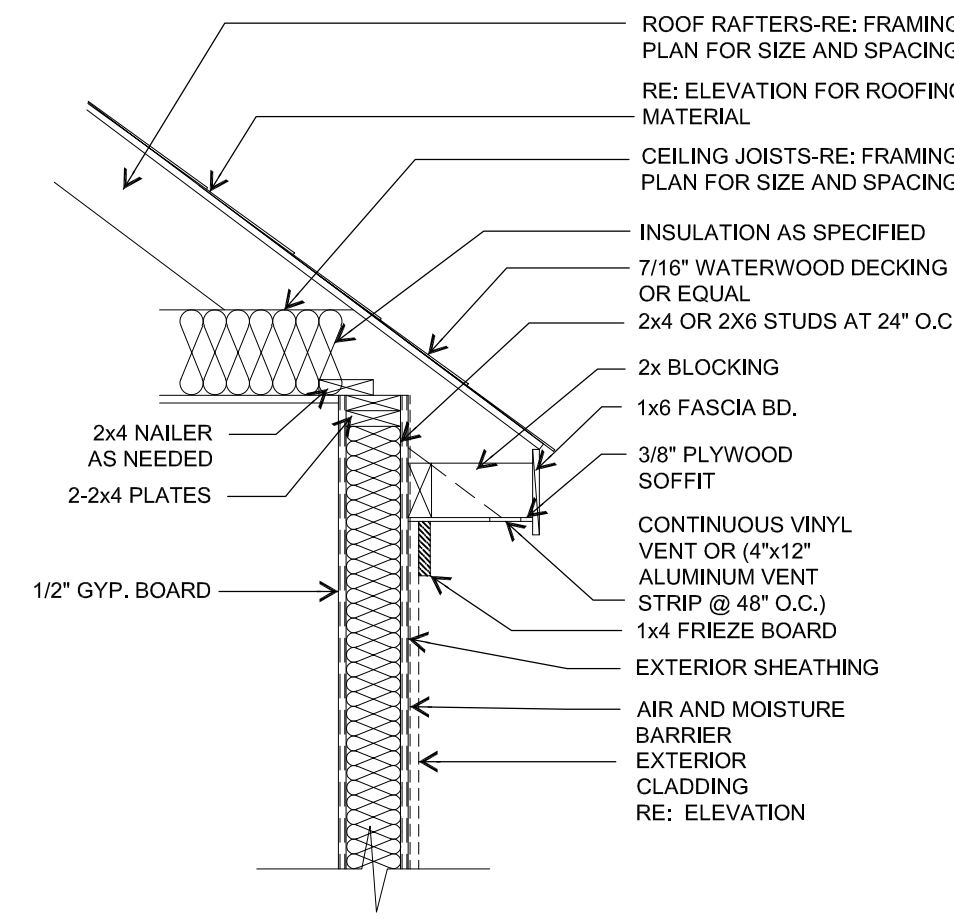
SHEET NO.  
**A1.0**  
SHED NOTES, PLANS, ELEVATIONS



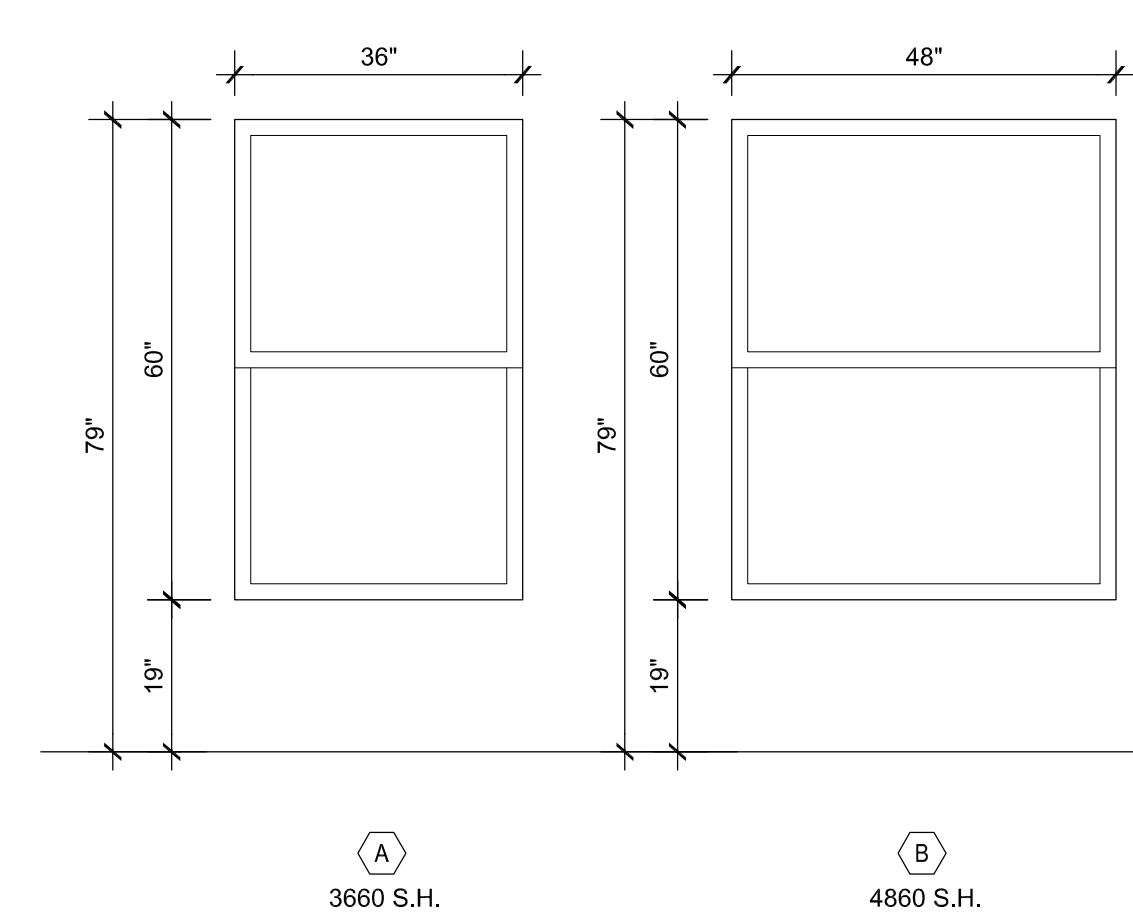
12 TYP. WINDOW FRAMING  
SCALE: 1/4" = 1'-0"



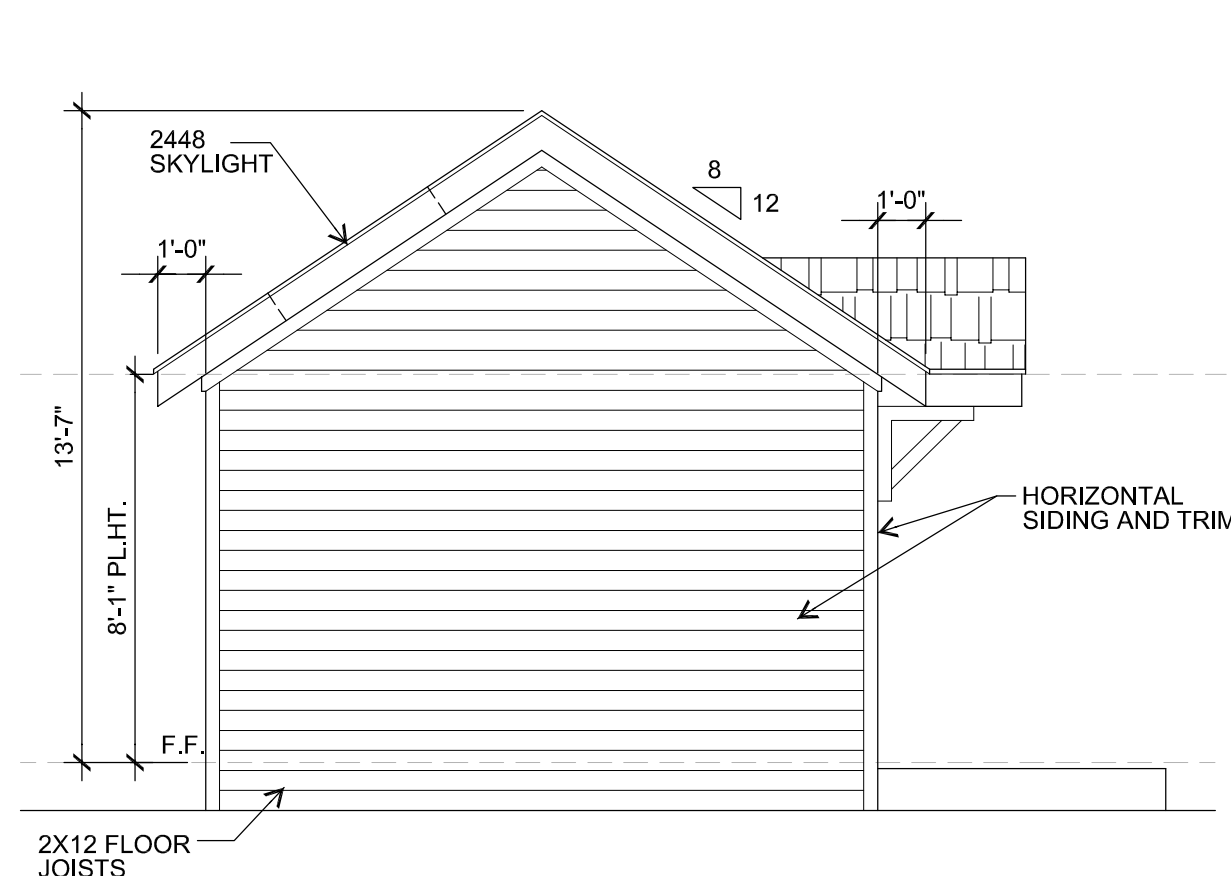
11 TYP. DOOR FRAMING  
SCALE: 1/4" = 1'-0"



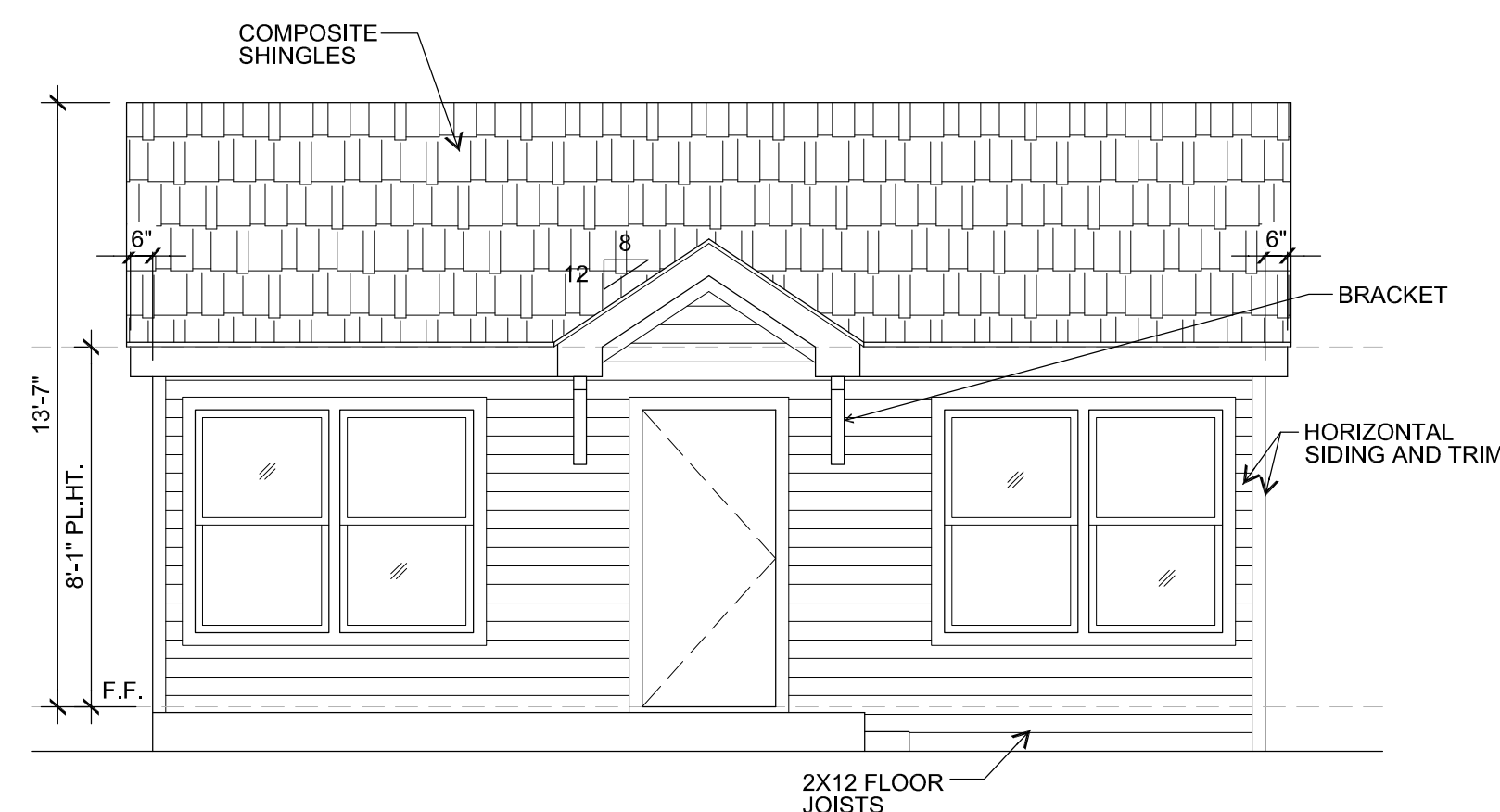
10 TYP. SOFFIT DETAIL  
SCALE: 1/4" = 1'-0"



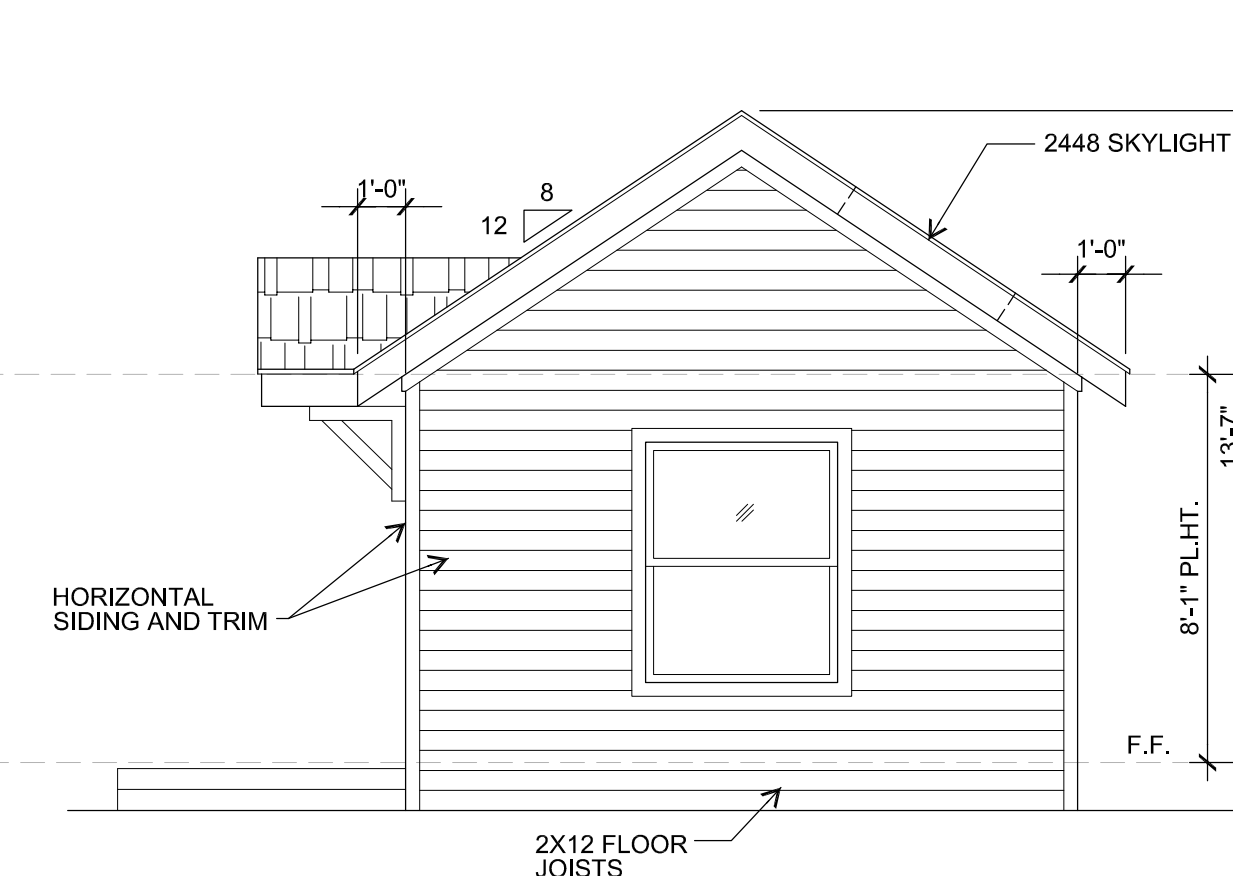
9 WINDOW TYPES  
NO SCALE



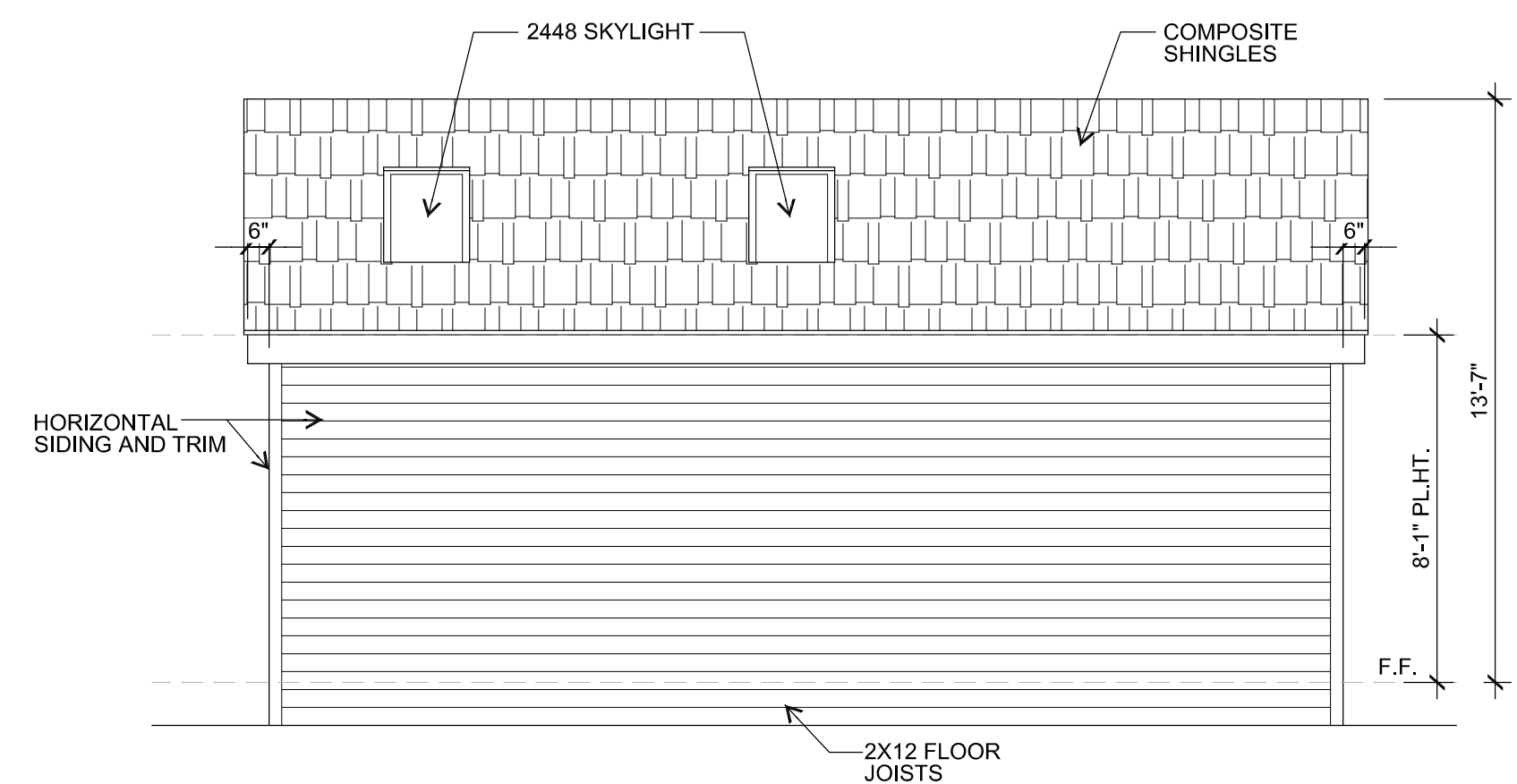
8 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



7 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



6 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



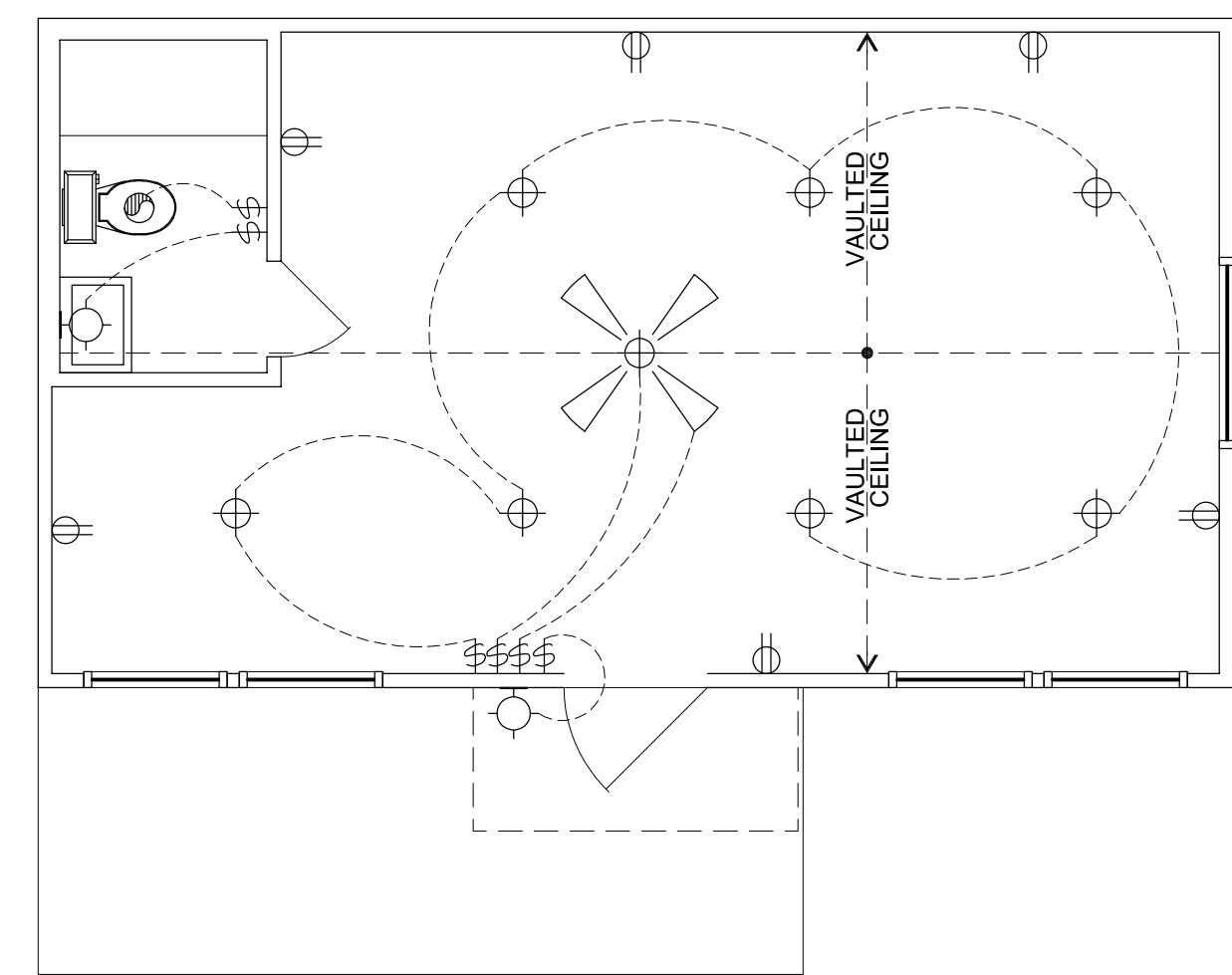
5 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

**ELECTRICAL NOTES:**

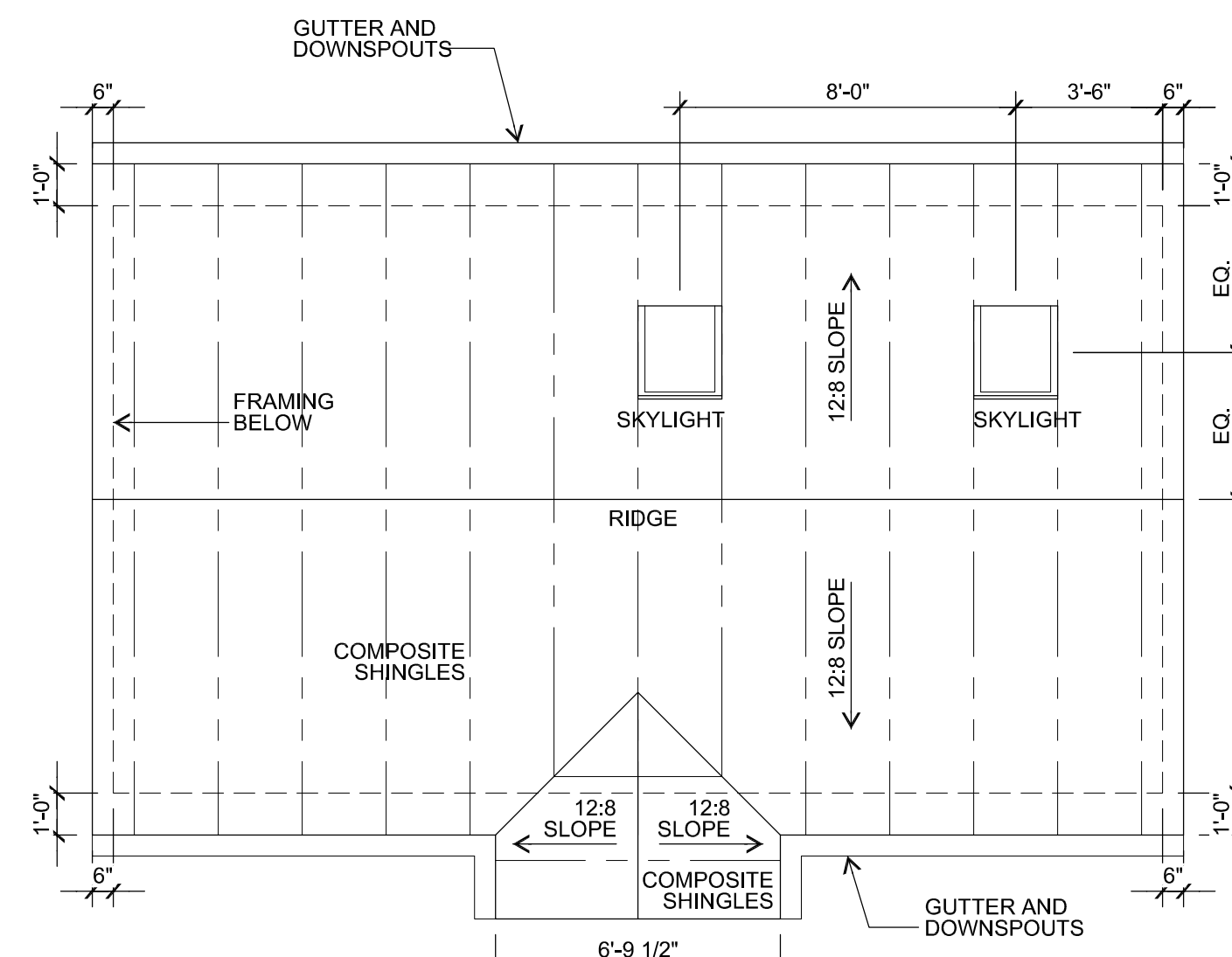
- CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
- RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12" UNLESS NOTED OTHERWISE OR PER ANY SPECIFIC CODES.
- ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI) AND AS NOTED ON THE DRAWINGS.
- SWITCH PLATES TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH TYPICAL.
- ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
- PROVIDE 150 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
- PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.

SYMBOL	DESCRIPTION
⊞	SINGLE POLE SWITCH
⊕	110V OUTLET
⊕	RECESSED CAN FIXTURE
⊕	SCONCE
⊕	CEILING FAN WITH LIGHT KIT
⊕	EXHAUST FAN

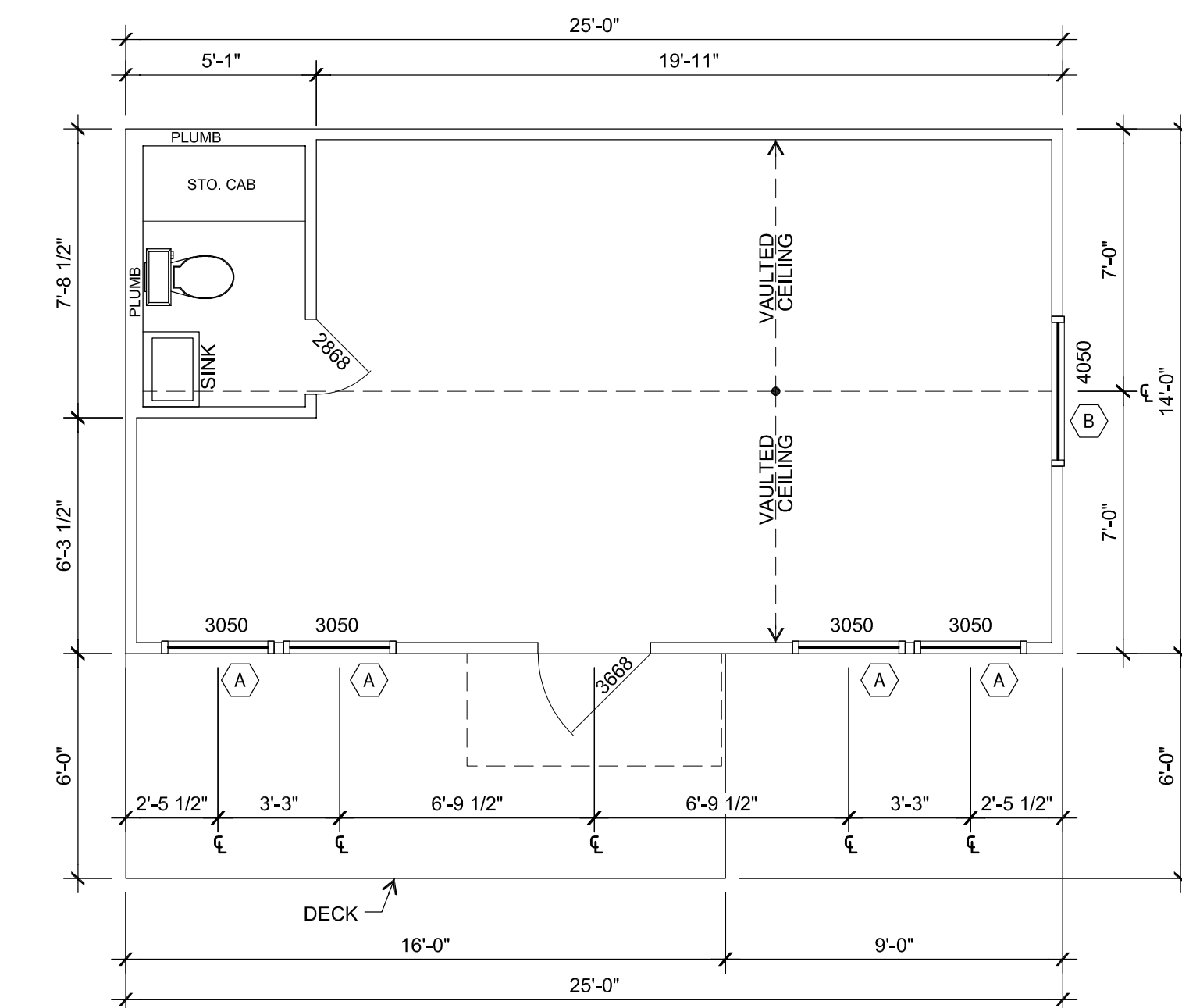
NOTE: ALL OUTLETS IN BATHROOMS TO BE G.F.I.



3 POWER PLAN  
SCALE: 1/4" = 1'-0"



2 ROOF PLAN  
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	AREAS
350	FLOOR PLAN



CLIFFORD & JEANNETTE CORNELIUS  
TO  
HELEN ROBINSON  
VOL. 1482, PG. 36

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTON SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of a tract as described in a Substitute Trustee's deed from Barbara L. Maxwell to Fannie Mae also known as Federal National Mortgage Association, dated November 1, 2005 and being recorded in Volume 4274, Page 210 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 6024" set for corner in the North right-of-way line of E. Washington Street (50' R.O.W.) at the Southwest corner of said Fannie Mae tract and the Southeast corner of a 0.46 acre tract of land as described in a Deed to Jerry Glass and wife, Jo Kay Glass, as recorded in Volume 128, Page 446 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 55 min. 31 sec. E. (Controlling bearing line) along the East line of said 0.46 acre tract, a distance of 101.28 feet to a 1/2" iron rod found for corner;

THENCE S. 87 deg. 41 min. 30 sec. E. a distance of 92.01 feet to a 1/2" iron rod found for corner at the Northwest corner of a tract of land as described in a Substitute deed from Julie A. Gray to Thomas P. Sullivan and Tammy Sullivan, as recorded in Volume 1134, Page 236 of the Real Property Records of Rockwall County, Texas;

THENCE S. 60 deg. 07 min. 36 sec. W. along the West line of said Sullivan tract, a distance of 101.19 feet to a 3/8" iron rod found for corner in the North line of E. Washington Street;

THENCE N. 87 deg. 47 min. 02 sec. W. along said right-of-way line, a distance of 95.70 feet to the POINT OF BEGINNING and containing 0.22 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE RECORDED DEED IN VOL. 4274, PG. 210, R.P.R.R.C.T.
- 3) ALL 1/2" IRs ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 6024"

SURVEYOR'S CERTIFICATE

I, Harold D. Feby, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, COUNTRYWIDE HOME LOANS, and CHARLES S. & APRIL WURSTER at 805 E. WASHINGTON STREET, ROCKWALL, Rockwall County, Texas, in the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1982 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 15th day of September, 2008.

*Harold D. Feby, III*  
Harold D. Feby III, R.P.L.S. No. 5034



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# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Historic Preservation Advisory Board

**DATE:** October 19, 2023

**APPLICANT:** Keith Green

**CASE NUMBER:** H2023-016; *Certificate of Appropriateness (COA) for 605 E. Washington Street*

### SUMMARY

Hold a public hearing to discuss and consider a request by Keith Green for the approval of a Certificate of Appropriateness (COA) for a *Guest Quarters/Secondary Living Unit* on a *High Contributing Property* being a 0.22-acre tract of land identified as Block 43A of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and take any action necessary.

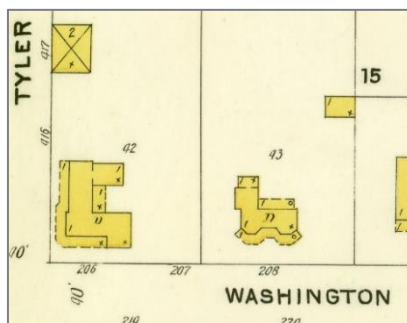
### BACKGROUND

According to the 2017 *Historic Resource Survey*, the subject property is classified as a *High-Contributing Property*. The 2,884 SF single-family home -- situated on the subject property at 605 E. Washington Street -- was constructed circa 1895 with *Folk Victorian* stylistic influences. The subject property is a part of the Old Town Rockwall (OTR) Historic District, and was annexed prior to 1900 based on the October 1900 Sanborn Maps. According to Rockwall Central Appraisal District (RCAD), there is a deck that was added in 2006 as well as two (2) storage buildings (150 SF & 40 SF) that were constructed on the subject property in 2012. Also, the 2017 *Historic Resource Survey* states that the porch has been altered and the doors replaced on the existing single-family home. There was a side addition that is also listed; however, the date is unknown as to when this alteration took place. The figures below -- from the *Sanborn Maps* -- show a slight change in footprint from 1911 to 1934. According to previous *Historic Resource Surveys*, this home was constructed by Professor Alan C. Ater, and has been home to such Rockwallians as E. C. Heaths, L. B. Walker, and Mary Smith.

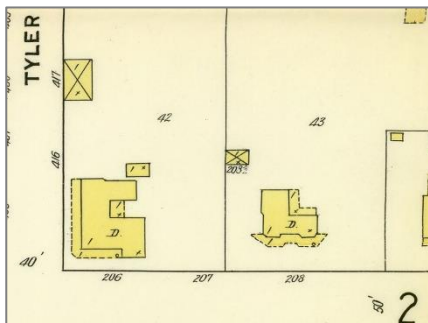


SUBJECT PROPERTY: NOVEMBER 3, 2014

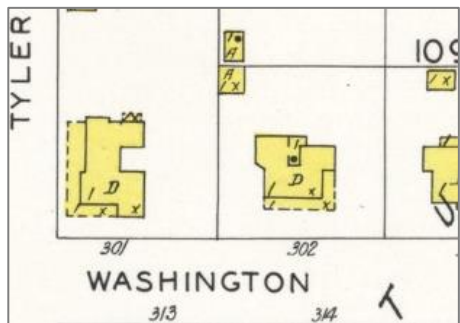
1905 SANBORN MAP



1911 SANBORN MAP



1934 SANBORN MAP



## **PURPOSE**

The applicant is requesting approval of a Certificate of Appropriateness (COA) for a 350 SF *Guest Quarters/Secondary Living Unit* on the subject property.

## **ADJACENT LAND USES AND ACCESS**

The subject property is located at 605 E. Washington Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are five (5) parcels of land within the Old Town Rockwall Historic District (*i.e.* 602, 604, 606, 608, 610 E. Rusk Street and 102 S Clark Street). According to the 2017 *Historic Resource Survey*, all of these properties are classified as *Medium Contributing*. Beyond this is E. Rusk Street, which is identified as a A4D (*i.e.* major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land located within the Old Town Rockwall Historic District. According to the 2017 *Historic Resource Survey*, two (2) properties (*i.e.* 601 & 609 E. Rusk Street) are considered to be *Medium Contributing* and two (2) properties (*i.e.* 603 & 605 E. Rusk Street) are classified as *Low Contributing*. Staff should note that the vacant property at the northwest corner of the intersection of E. Rusk Street and S. Clark Street was recently classified as *Low-Contributing* when the *Old Pump House* was removed from the property.

South: Directly south of the subject is E. Washington Street, which is identified as a A4D (*i.e.* major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) properties located within the Old Town Rockwall Historic District (*i.e.* 602, 606, 608 E Washington Street and 202 S. Clark Street). According to the 2017 *Historic Resource Survey*, two (2) properties (*i.e.* 606 & 608 E. Washington Street) are considered *Medium Contributing*, one (1) property (*i.e.* 602 E. Washington Street) is classified as *Low Contributing*, and one (1) property (*i.e.* 202 S. Clark Street) is considered *Non-Contributing*.

East: Directly east of the subject property is a 0.3120-acre parcel of land with a ~2,383 SF single-family home that was constructed in 1899 situated on it. This structure is classified as *Medium Contributing*. Beyond this is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 18.407-acre parcel of land owned by the Rockwall Independent School District (RISD) that is contiguous with Howard Dobbs Elementary School.

West: Directly west of the subject property is a 0.25-acre parcel of land with a ~1,620 single-family home (*i.e.* 601 E. Washington Street) that was constructed in 1910 situated on it. This structure is classified as *Medium Contributing*. Beyond this is S. Tyler Street, which is indicated as a R2 (*i.e.* residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.23-acre parcel of land with a ~1,969 single-family home (*i.e.* 505 E. Washington Street) that was constructed in 1910 situated on it. This structure is classified as *High Contributing*.

## **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to construct a new accessory building that will match the existing single-family home. The proposed structure will be a total of 350 SF or 14-feet by 25-feet. The building will be clad in *Hardie Board* and have composite shingle roof. The proposed accessory structure will be situated on a pier-and-beam foundation and will have a height of approximately thirteen (13) feet, seven (7) inches. The applicant has indicated that the structure will have a half-bath making this a *Guest Quarters/Secondary Living Unit*. The applicant has also indicated that electricity will be ran to the structure. Staff should note that there is an existing eight (8) foot by 14-foot (or 112 SF) accessory building and a separate playhouse on the subject property. The proposed *Guest Quarters/Secondary Living Unit* will be taking the place of the playhouse, which will be removed prior to construction. If the applicant's request is approved then there will be a total of two (2) structures on the subject property.

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Subsection 06.03(F), *Certificate of Appropriateness (COA) for Alteration or New Construction*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he provisions of this ordinance [*Historic Overlay (HOV) District*] shall apply only to those properties ... which meet the following criteria: [1] either be a designed historical landmark or be wholly or partially located within a designated historic district, and [2] either be a contributing property as defined by *Subsection B* or be located within 200-feet of a contributing property." In this case, the subject property meets all of the criteria for a property that would require a Certificate of Appropriateness (COA). Specifically, it is situated wholly within the Old Town Rockwall (OTR) Historic District, and is designated as a *High Contributing Property*.

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit* is defined as "(a)n accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as separate domicile." According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* requires a Specific Use Permit (SUP) in a Single-Family 7 (SF-7) District and -- according to Subsection 02.03 -- is subject to the following *Conditional Land Use Standards*: [1] the structure must be ancillary to a single-family home, [2] the square footage of the structure shall not exceed 30% of the square footage of the primary structure, and [3] the structure may not be sold or conveyed separately from the single-family home without meeting the zoning requirements for the district. In addition to these requirements, a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is subject to the dimensional requirements contained in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, and the parking requirements of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). If the applicant's request for a Certificate of Appropriateness is approved then the applicant will have to apply for approval of a Specific Use Permit (SUP) for the *Guest Quarters/Secondary Living Unit*.

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size. If a property has an existing accessory building greater than 144 SF, no additional accessory buildings are permitted. In this case, there is an existing 112 SF accessory building and the proposed accessory building will be 350 SF. In addition, this section of the code goes on to state that accessory structures shall not exceed fifteen (15) feet in height. In this case, the proposed total overall height of the *Guest Quarters/Secondary Living Unit* is thirteen (13) feet seven, (7) inches. Based on this, the proposed site plan and the building elevations, the building meets all of the requirements for a *Guest Quarters/Secondary Living Unit* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) with the exception of the proposed number of accessory buildings, which will be a discretionary decision for the Planning and Zoning Commission at the time the applicant submits for a Specific Use Permit (SUP).

According to Subsection 06.03(G)(5), *Standards of Approval*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "the Historic Preservation Advisory Board (HPAB) must approve the application for a Certificate of Appropriateness if it determines that ... the application will not adversely affect the character of the site; and the proposed work is consistent with the regulations contained in this section [*i.e.*] and proposed preservation criteria ..." While the proposed structure does not appear to impair the historical integrity of the subject property nor negatively impact the adjacent properties, approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB). Should the Historic Preservation Advisory Board approve the COA, a recommendation would be forwarded to the Planning and Zoning Commission for the approval of an exception to allow the accessory structure on the subject property.

## **NOTIFICATIONS**

On October 5, 2023, staff mailed 31 property owner notifications to property owners and occupants within 200-feet of the subject property. At the time this report was drafted, staff had not received any notices returned regarding the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a *Certificate of Appropriateness (COA)*, staff would propose the following conditions of approval:

- (1) The applicant will need to submit a request for a *Specific Use Permit (SUP)* for an accessory structure to the Planning and Zoning Department prior to the construction of the building.
- (2) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

DATE RECEIVED: \_\_\_\_\_

RECEIVED BY: \_\_\_\_\_

### APPLICATION:

- CERTIFICATE OF APPROPRIATENESS (COA)
- LOCAL LANDMARK EVALUATION & DESIGNATION
- BUILDING PERMIT WAIVER & REDUCTION PROGRAM
- SMALL MATCHING GRANT APPLICATION

### SPECIAL DISTRICTS [SELECT APPLICABLE]:

- OLD TOWN ROCKWALL HISTORIC (OTR) DISTRICT
- PLANNED DEVELOPMENT DISTRICT 50 (PD-50)
- SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT
- DOWNTOWN (DT) DISTRICT

### CONTRIBUTING STATUS [SELECT APPLICABLE]:

- LANDMARKED PROPERTY
- HIGH CONTRIBUTING PROPERTY
- MEDIUM CONTRIBUTING PROPERTY
- LOW CONTRIBUTING PROPERTY
- NON-CONTRIBUTING PROPERTY

### CURRENT LAND USE OF THE SUBJECT PROPERTY:

- RESIDENTIAL
- COMMERCIAL

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS \_\_\_\_\_

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

IS THE OWNER OF THE PROPERTY THE PRIMARY CONTACT?  YES  NO

APPLICANT(S) IS/ARE:  OWNER  TENANT  NON-PROFIT  RESIDENT

CHECK THIS BOX IF OWNER AND APPLICANT ARE THE SAME.

OTHER, SPECIFY: \_\_\_\_\_

OWNER(S) NAME \_\_\_\_\_

APPLICANT(S) NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]:  EXTERIOR ALTERATION  NEW CONSTRUCTION  ADDITION  DEMOLITION  
 RELOCATIONS  OTHER, SPECIFY: \_\_\_\_\_

ESTIMATED COST OF CONSTRUCTION/DEMOLITION OF THE PROJECT (IF APPLICABLE): \$ \_\_\_\_\_

**PROJECT DESCRIPTION.** IN THE SPACE PROVIDED BELOW OR ON A SEPARATE SHEET OF PAPER, DESCRIBE IN DETAIL THE WORK THAT WILL BE PERFORMED ON SITE. FOR LOCAL LANDMARK EVALUATION & DESIGNATION REQUESTS INDICATE ANY ADDITIONAL INFORMATION YOU MAY HAVE CONCERNING THE PROPERTY, HISTORY, SIGNIFICANCE, PRESENT CONDITIONS, STATUS, CURRENT OR PAST USE(S), ETC. STAFF RECOMMENDS THAT PHOTOGRAPHS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY ARE SUBMITTED WITH THIS APPLICATION.

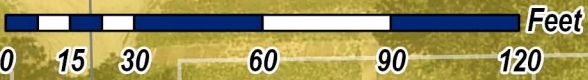
\_\_\_\_\_  
 \_\_\_\_\_  
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 \_\_\_\_\_

## OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

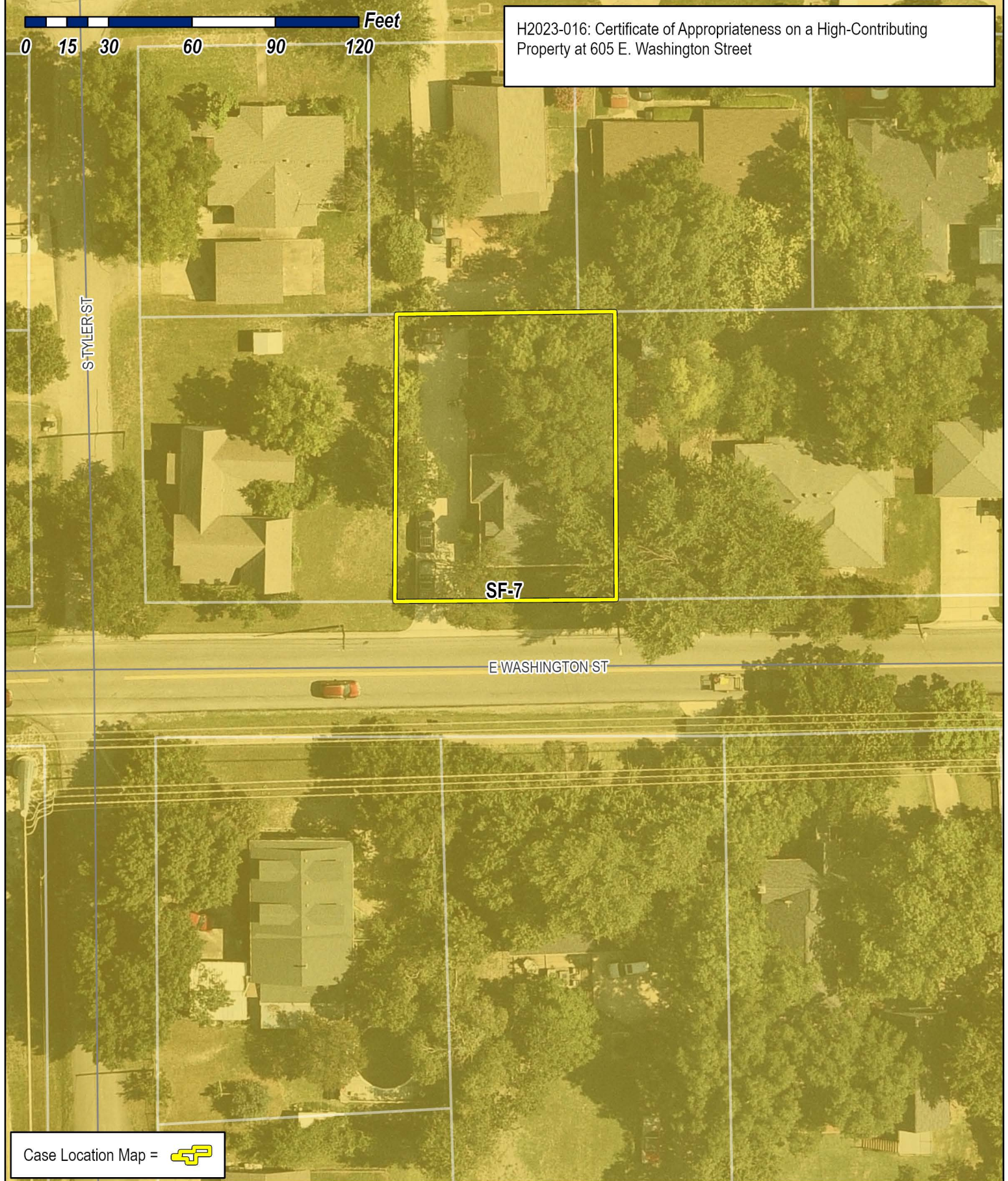
I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. FURTHERMORE, I UNDERSTAND THAT IT IS NECESSARY FOR ME OR A REPRESENTATIVE TO BE PRESENT AT A PUBLIC HEARING FOR THIS CASE TO BE APPROVED.

OWNER'S SIGNATURE \_\_\_\_\_

APPLICANT'S SIGNATURE \_\_\_\_\_



H2023-016: Certificate of Appropriateness on a High-Contributing Property at 605 E. Washington Street



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



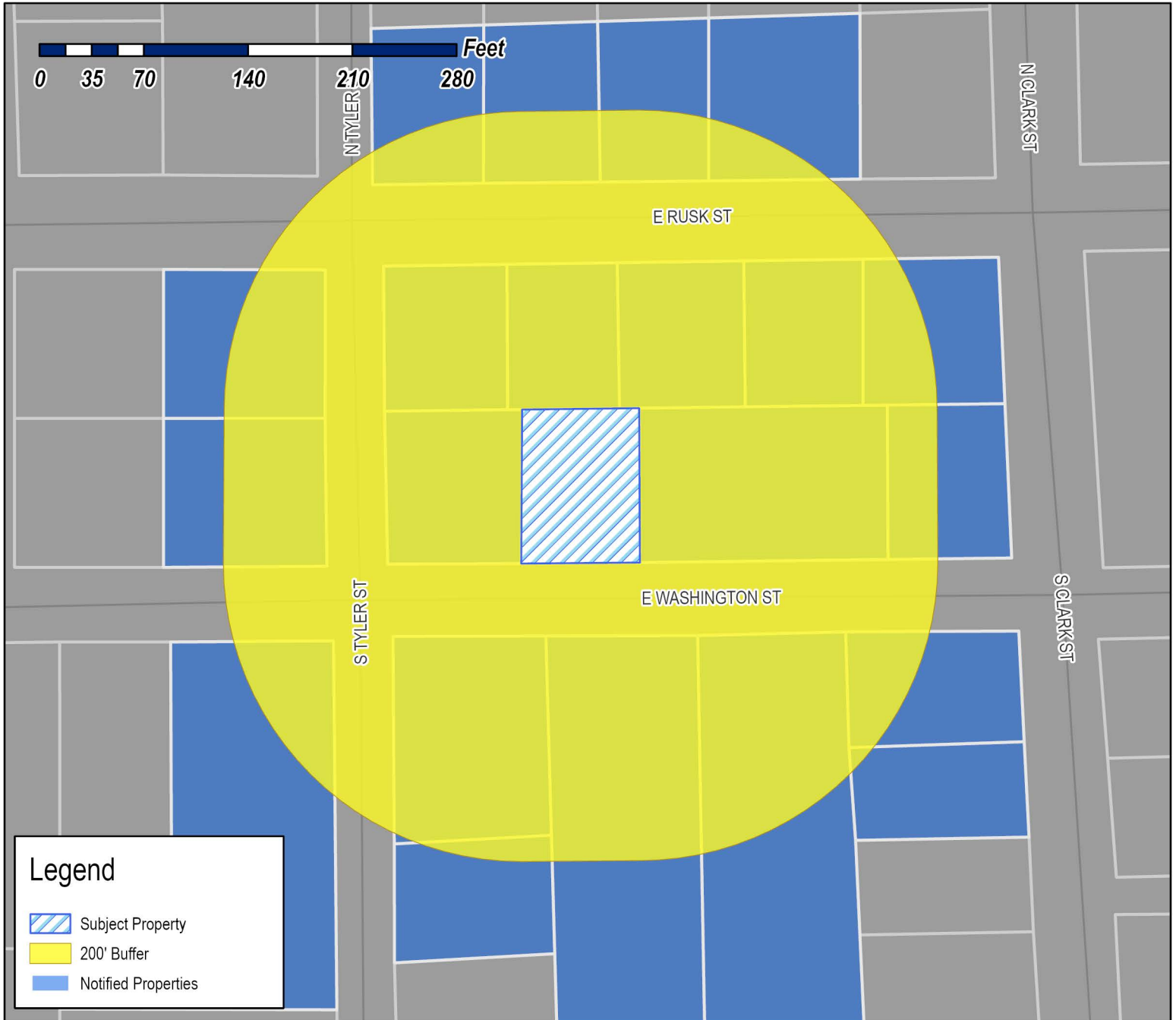




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

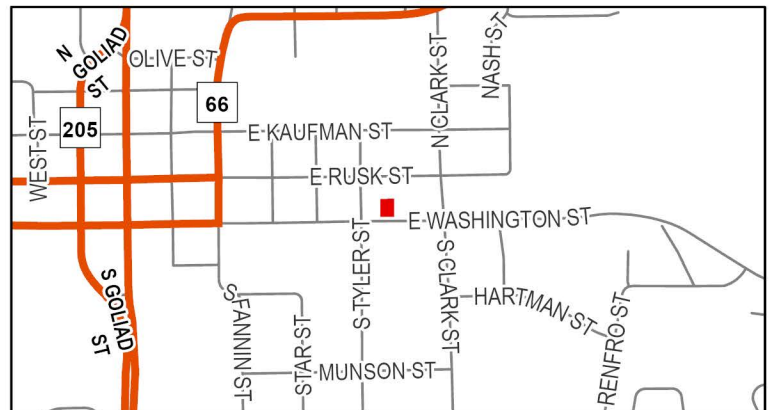
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**Legend**

- Subject Property
- 200' Buffer
- Notified Properties

**Case Number:** H2023-014  
**Case Name:** COA for High Contributing Property  
**Case Type:** Historic  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 605 E. Washington Street



**Date Saved:** 10/3/2023

For Questions on this Case Call: (972) 771-7746

SMILEY KAREN APRIL  
605 E RUSK  
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX  
505 E WASHINGTON  
ROCKWALL, TX 75087

BIRKENBACK JOSSEPH M & OLGA M  
506 E RUSK ST  
ROCKWALL, TX 75087

BRUCE JAMES E JR & SHERYL  
602 EWASHINGTON  
ROCKWALL, TX 75087

CARSON HEATHER  
606 E WASHINGTON  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
211 TYLER ST  
ROCKWALL, TX 75087

RICH LISA  
202 S CLARK ST  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
204 S CLARK ST  
ROCKWALL, TX 75087

WALLACE DUSTIN & KATHERINE  
608 WASHINGTON  
ROCKWALL, TX 75087

INTEGRITY ALL CASH HOME BUYERS LLC  
603 E RUSK  
ROCKWALL, TX 75087

GLASS JERRY  
601 E WASHINGTON  
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE  
605 E WASHINGTON  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK  
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET  
609 E WASHINGTON  
ROCKWALL, TX 75087

BETHEL TEMPLE BAPTIST  
210 TYLER ST  
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO  
106 S CLARK ST  
ROCKWALL, TX 75087

WILLIAMS JERRY LANE  
608 E RUSK  
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN  
610 E RUSK  
ROCKWALL, TX 75087

ROBINSON NELDA  
602 E RUSK  
ROCKWALL, TX 75087

HORNER ANDREA J  
604 E RUSK  
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L  
102 S CLARK ST  
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN  
601 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
P.O. BOX 3061  
WARMINSTER, PA 18974

RESIDENT  
210 GLENN AVENUE  
ROCKWALL, TX 75087

RESIDENT  
3435 HWY 276  
ROCKWALL, TX 75087

RESIDENT  
7340 BAKER BLVD  
#392  
RICHLAND HILLS, TX 76118

RESIDENT  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

RESIDENT  
520 E WASHINGTON STREET  
ROCKWALL, TX 75087

RESIDENT  
815 T L TOWNSEND  
STE 100  
ROCKWALL, TX 75087

RESIDENT  
2 MANOR COURT  
HEATH, TX 758032

RESIDENT  
102 N TYLER ST  
ROCKWALL, TX 758087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Historic Preservation Advisory Board will consider the following application:

**Case No. H2023-016: Certificate of Appropriateness for 605 E. Washington Street**

*Hold a public hearing to discuss and consider a request by Keith Green for the approval of a Certificate of Appropriateness (COA) for an accessory building on a High Contributing Property being a 0.22-acre tract of land identified as Block 43A of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Historic Preservation Advisory Board will hold a public hearing on Thursday, October 19, 2023 at 6:00 PM. This hearing will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Thursday, October 19, 2023 at 4:00 PM to ensure they are included in the information provided to the Historic Preservation Advisory Board.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

--- PLEASE RETURN THE BELOW FORM ---

**Case No. H2023-016: Certificate of Appropriateness for 605 E. Washington Street**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

*Tex. Loc. Gov. Code, Sec. 211.006 (d)* If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CLIFFORD & JEANNETTE CORNELIUS  
TO  
HELEN ROBINSON  
VOL. 1482, PG. 36

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTON SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of a tract as described in a Substitute Trustee's deed from Barbara L. Maxwell to Fannie Mae also known as Federal National Mortgage Association, dated November 1, 2005 and being recorded in Volume 4274, Page 210 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 6024" set for corner in the North right-of-way line of E. Washington Street (50' R.O.W.) at the Southwest corner of said Fannie Mae tract and the Southeast corner of a 0.46 acre tract of land as described in a Deed to Jerry Glass and wife, Jo Kay Glass, as recorded in Volume 128, Page 446 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 55 min. 31 sec. E. (Controlling bearing line) along the East line of said 0.46 acre tract, a distance of 101.28 feet to a 1/2" iron rod found for corner;

THENCE S. 87 deg. 41 min. 30 sec. E. a distance of 92.01 feet to a 1/2" iron rod found for corner at the Northwest corner of a tract of land as described in a Substitute deed from Julie A. Gray to Thomas P. Sullivan and Tamara Sullivan, as recorded in Volume 1134, Page 236 of the Real Property Records of Rockwall County, Texas;

THENCE S. 60 deg. 07 min. 36 sec. W. along the West line of said Sullivan tract, a distance of 101.19 feet to a 3/4" iron rod found for corner in the North line of E. Washington Street;

THENCE N. 87 deg. 47 min. 02 sec. W. along said right-of-way line, a distance of 95.70 feet to the POINT OF BEGINNING and containing 0.22 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE RECORDED DEED IN VOL. 4274, PG. 210, R.P.R.R.C.T.
- 3) ALL 1/2" IRs ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 6024"

SURVEYOR'S CERTIFICATE

I, Harold D. Feby, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, COUNTRYWIDE HOME LOANS, and CHARLES S. & APRIL WURSTER at 805 E. WASHINGTON STREET, ROCKWALL, Rockwall County, Texas, in the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1982 and subsequent revisions, and the same was surveyed under my supervision on the ground this 15th day of September, 2008.

*Harold D. Feby, III*  
Harold D. Feby III, R.P.L.S. No. 5034

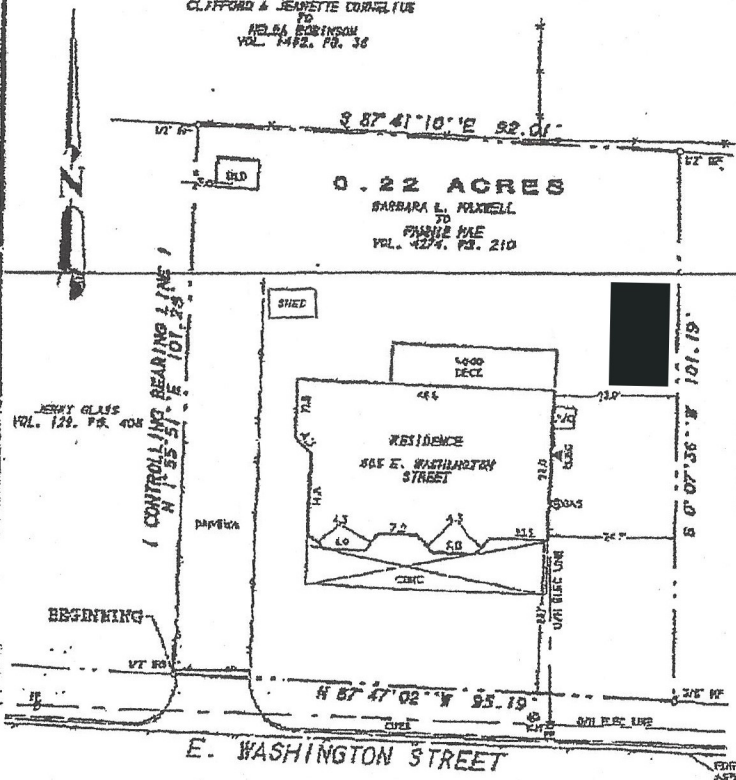


STRIKES LEGEND			
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98	99	100	101

**R.S.C.I.**

ROCKWALL SURVEYING CO., INC. LAND SURVEYING

1814 E. FM 881 ROYSE CITY, TX 75080 972-772-5094 PHONE 972-772-0446 FAX



JULIE A. GRAY  
MICHAEL P. & TAMARA SULLIVAN  
VOL. 1134, PG. 236

REPRODUCTION OF PLAT

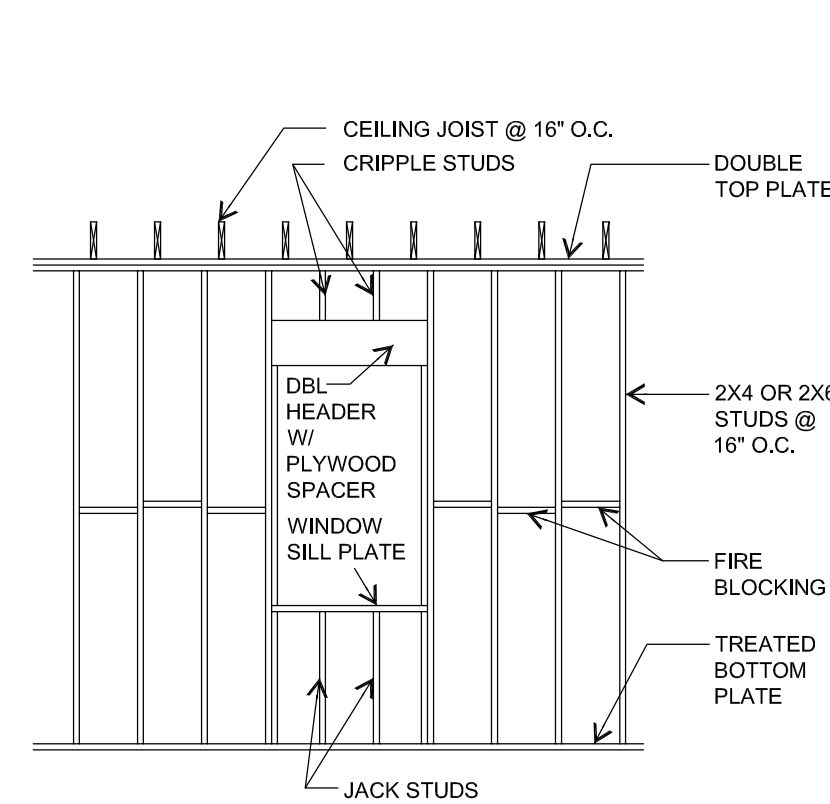
DATE \_\_\_\_\_

DATE \_\_\_\_\_

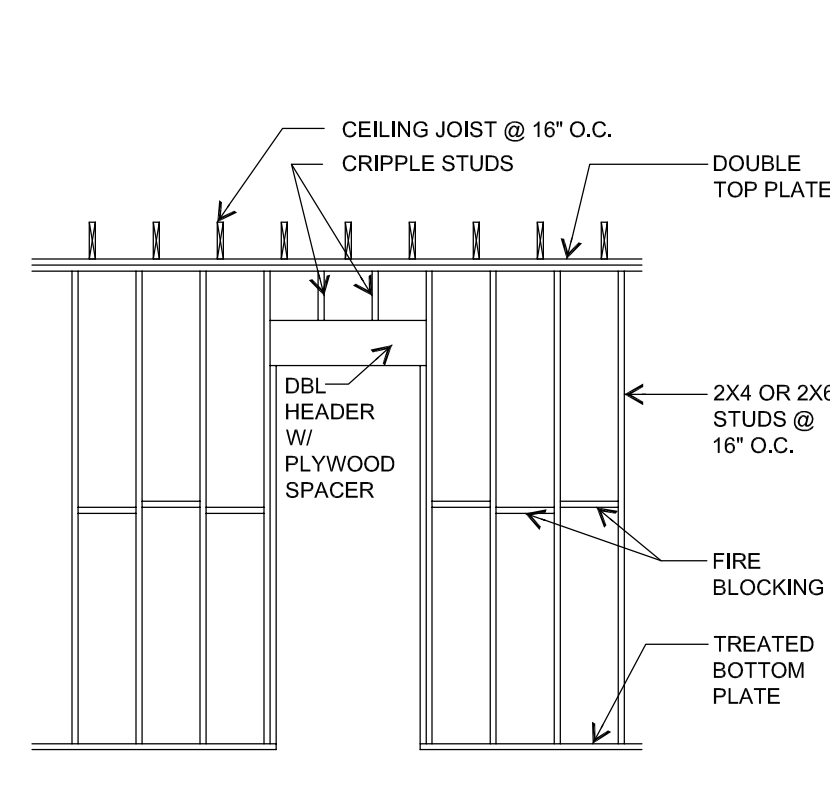
PLAT DATE: SEPTEMBER 15, 2008  
SCALE: 1" = 20' FILE: 1654724  
COUNTY: ROCKWALL OFF: 172591320

# A NEW BACKYARD SHED FOR KEITH AND HOLLY GREEN

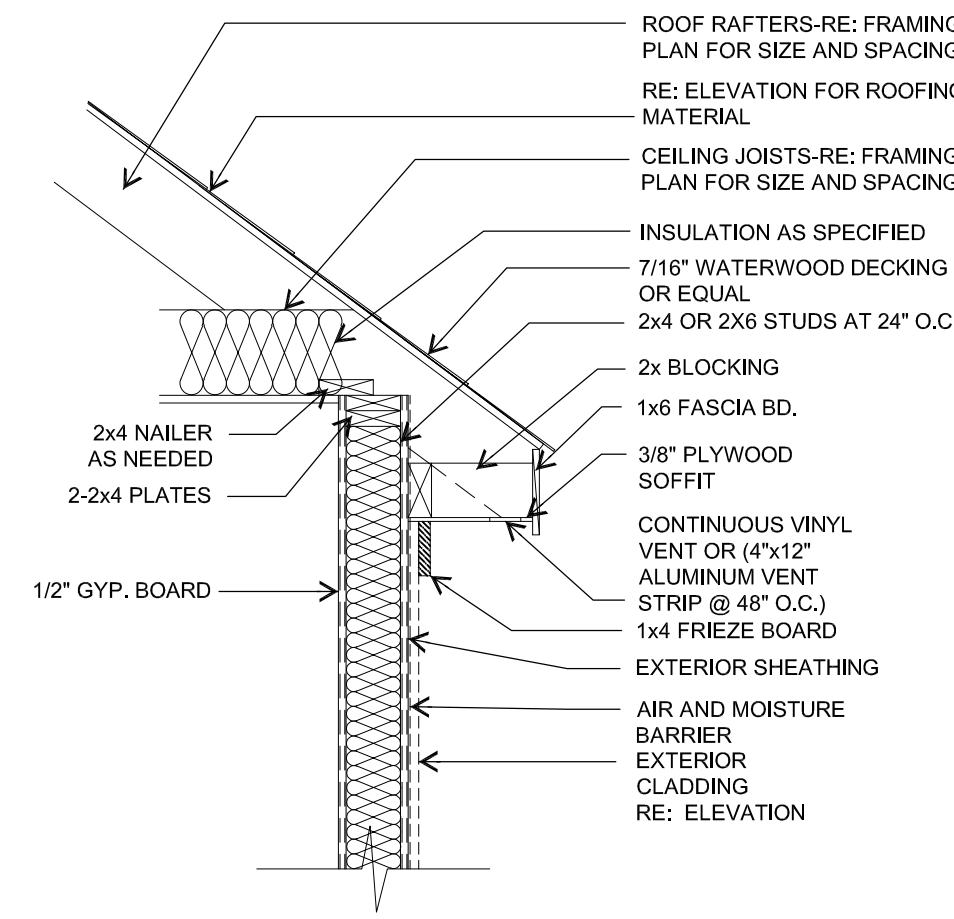
605 E. WASHINGTON ST.  
ROCKWALL 75087



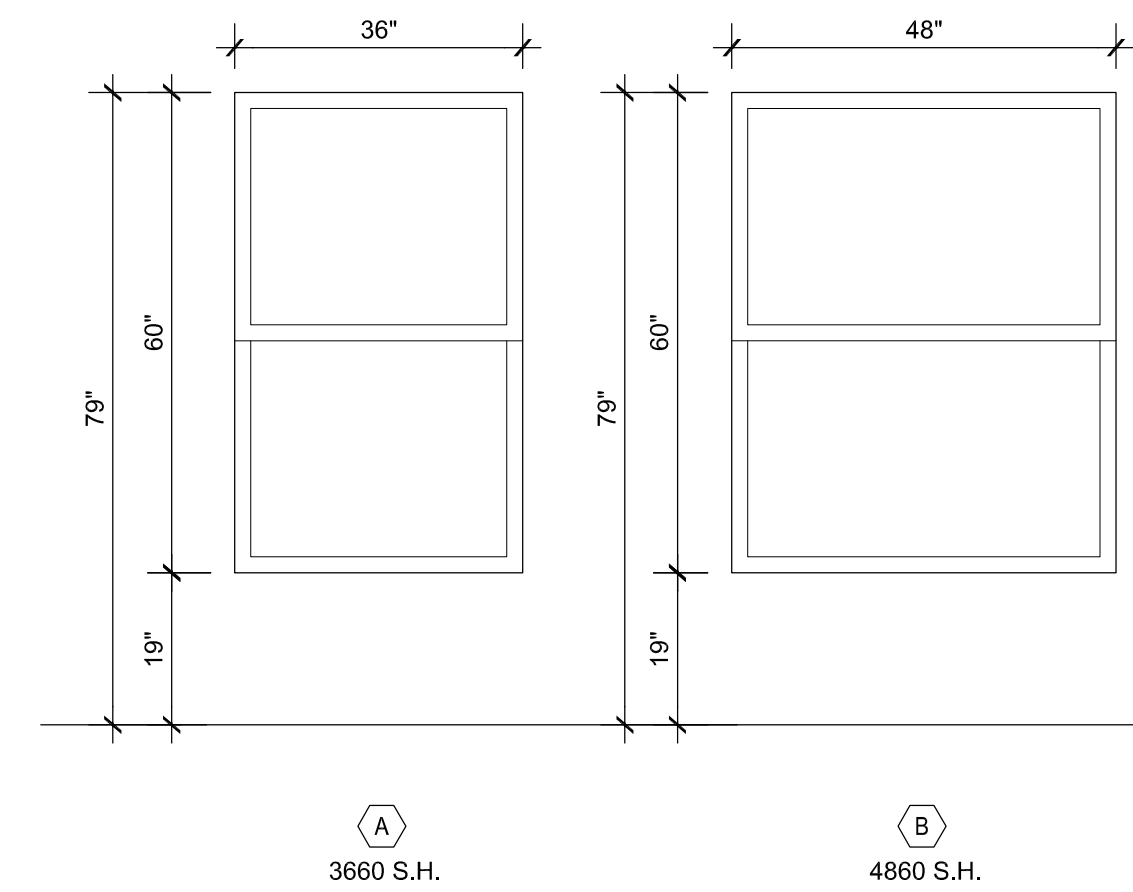
12 TYP. WINDOW FRAMING  
SCALE: 1/4" = 1'-0"



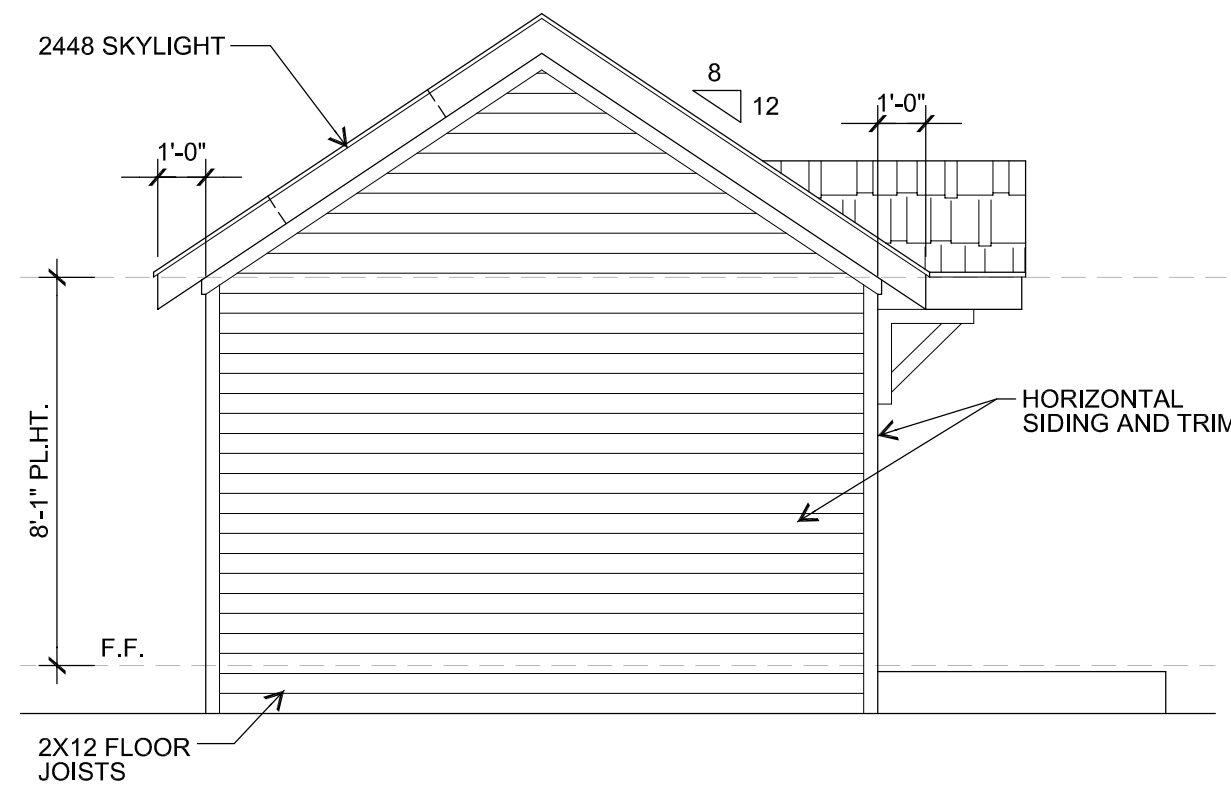
11 TYP. DOOR FRAMING  
SCALE: 1/4" = 1'-0"



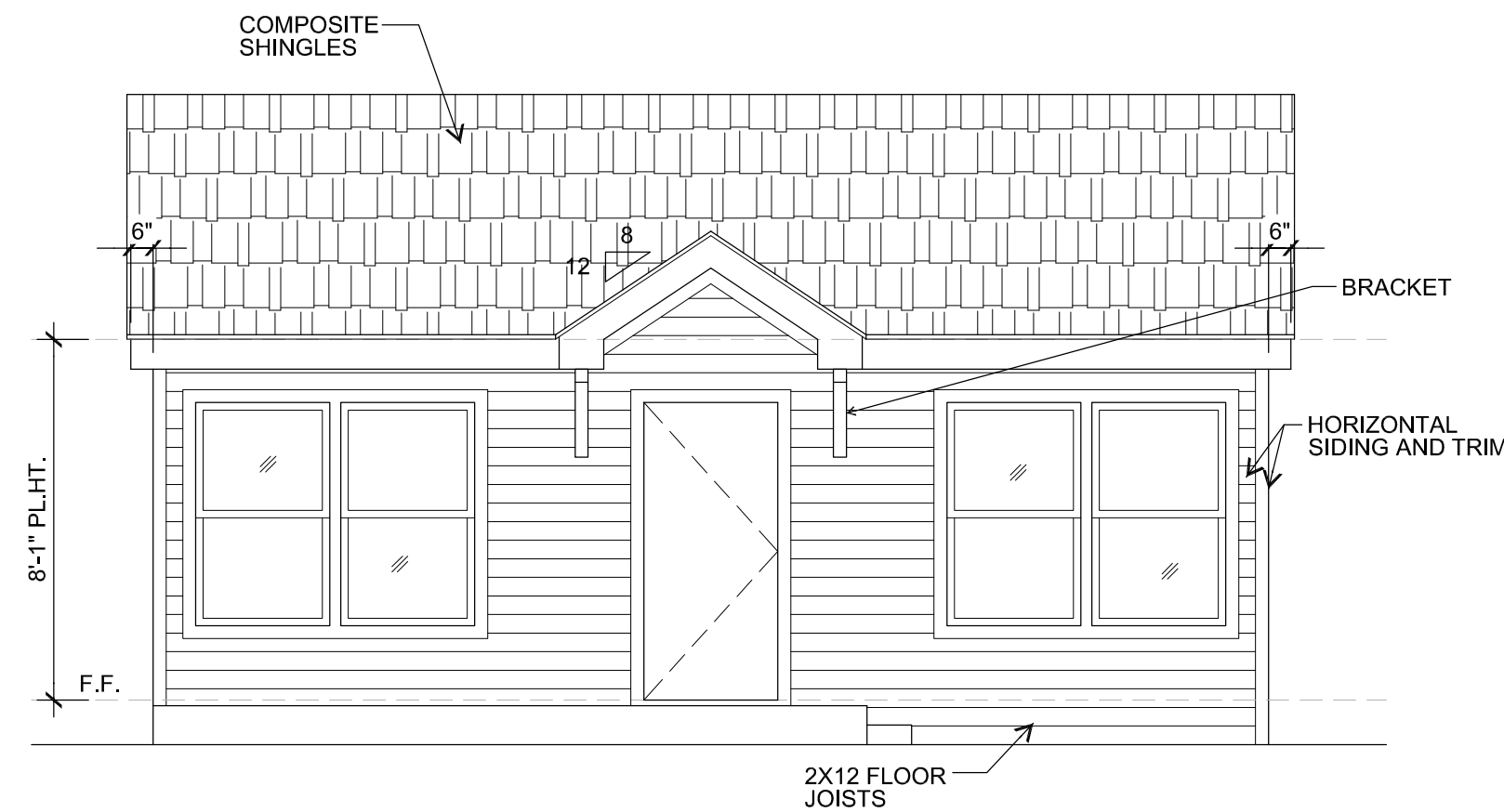
10 TYP. SOFFIT DETAIL  
SCALE: 1/4" = 1'-0"



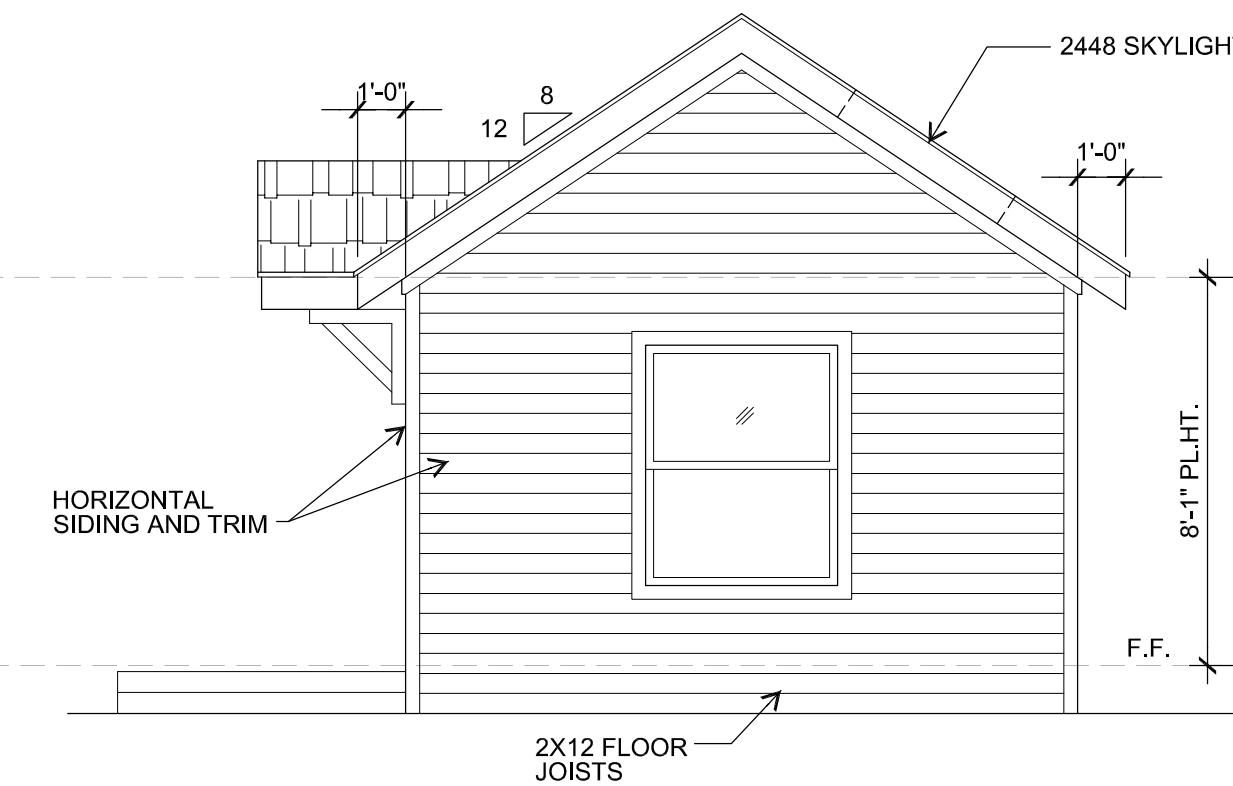
9 WINDOW TYPES  
NO SCALE



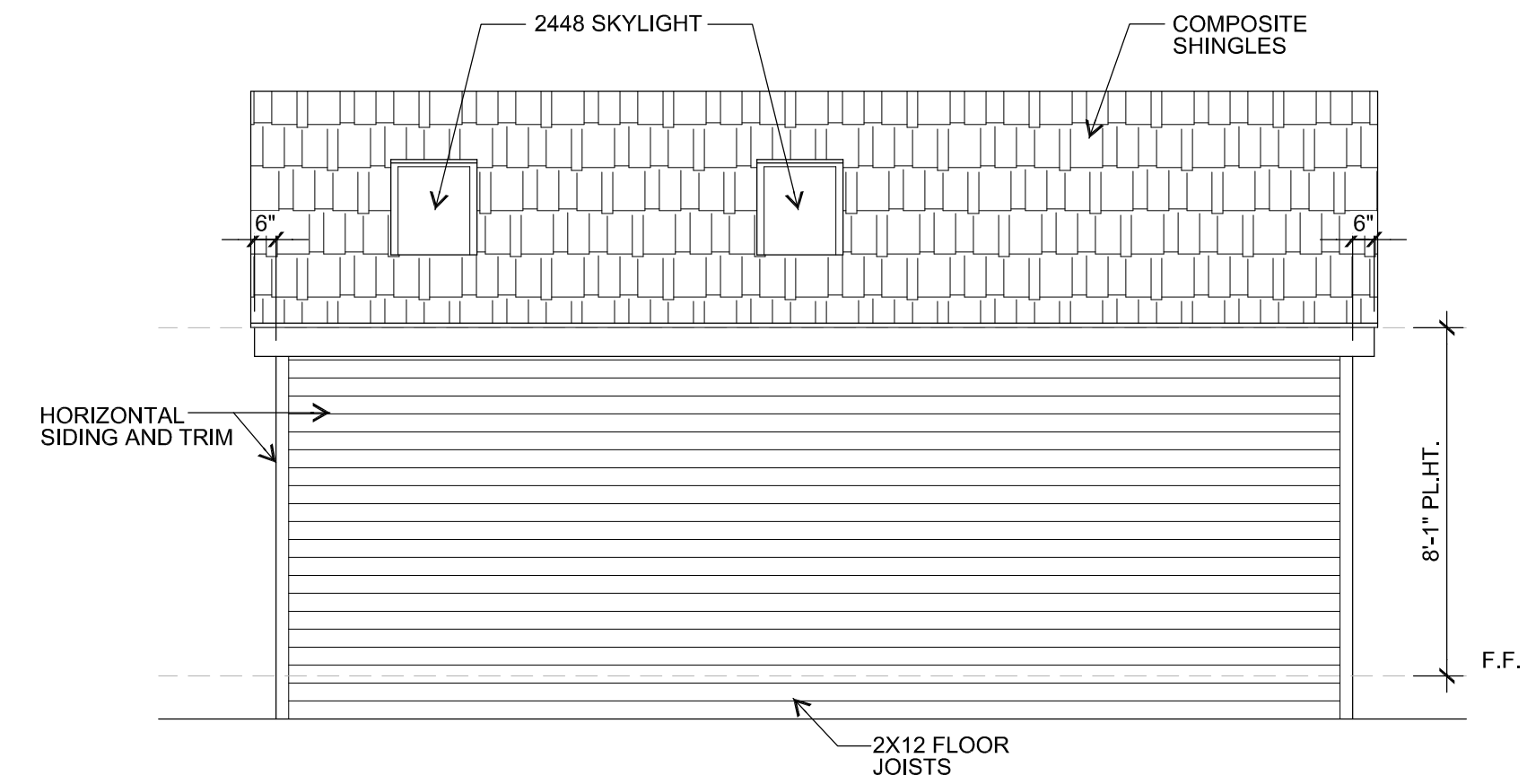
8 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



7 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



6 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

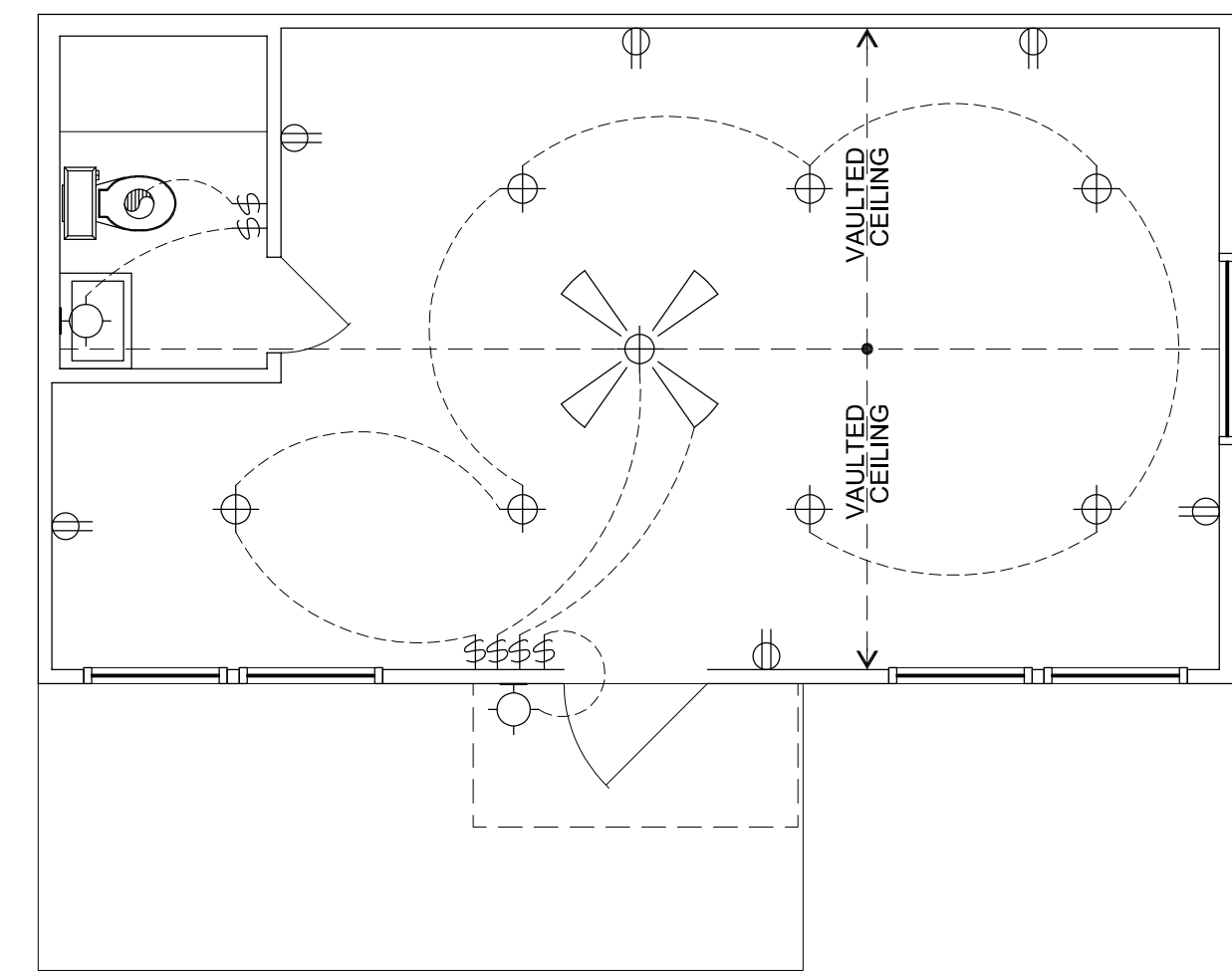


5 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

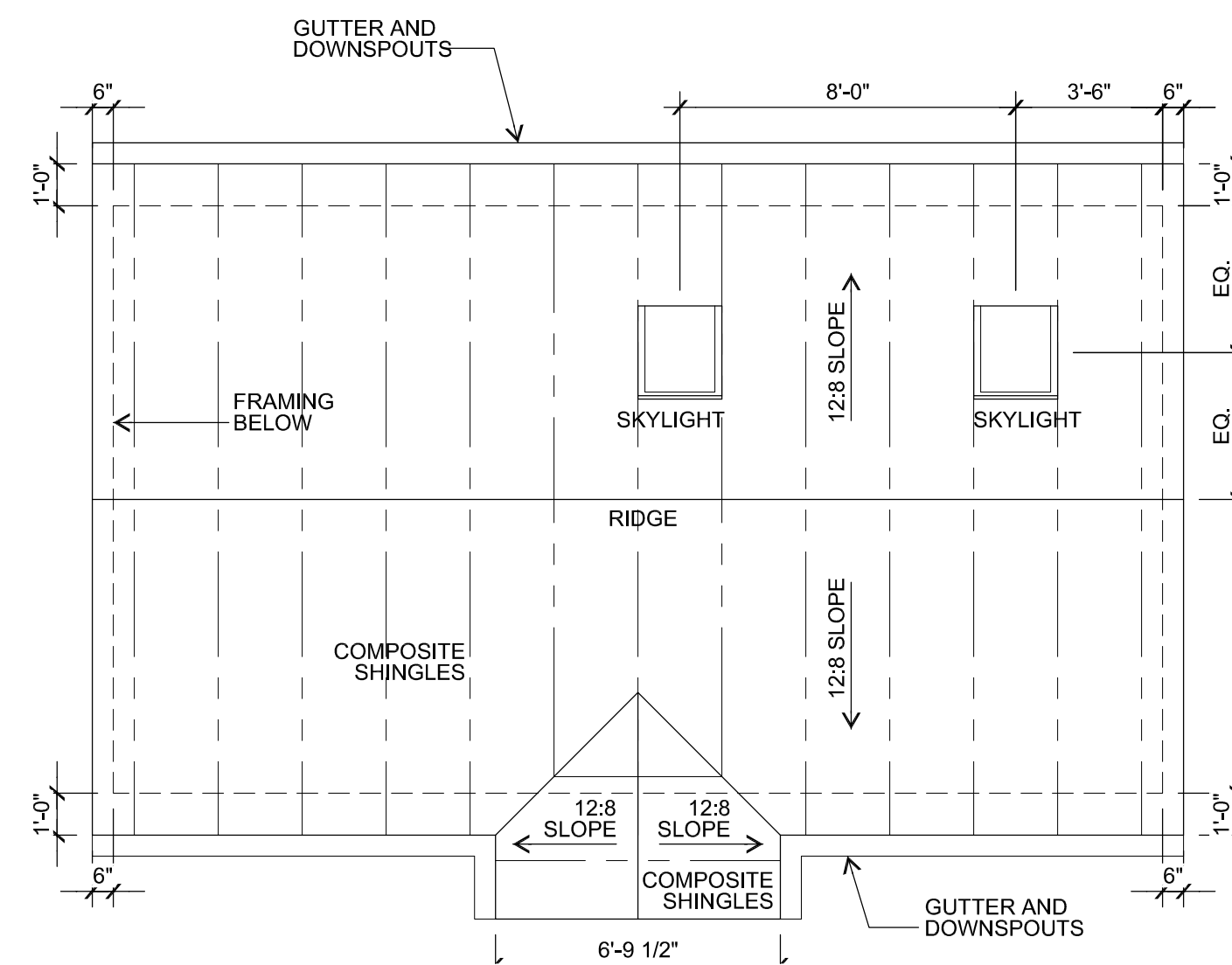
- ELECTRICAL NOTES:**
- 1.) CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
  - 2.) RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12' UNLESS NOTED OTHERWISE OR PER ANY SPECIFIC CODES.
  - 3.) ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI) AND AS NOTED ON THE DRAWINGS.
  - 4.) SWITCH PLATES TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH TYPICAL.
  - 5.) ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
  - 6.) PROVIDE 150 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
  - 7.) PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.

ELECTRICAL SCHEDULE	
SYMBOL	DESCRIPTION
⊄	SINGLE POLE SWITCH
⊕	110V OUTLET
⊕	RECESSED CAN FIXTURE
⊕	SCONCE
⊕	CEILING FAN WITH LIGHT KIT
⊕	EXHAUST FAN

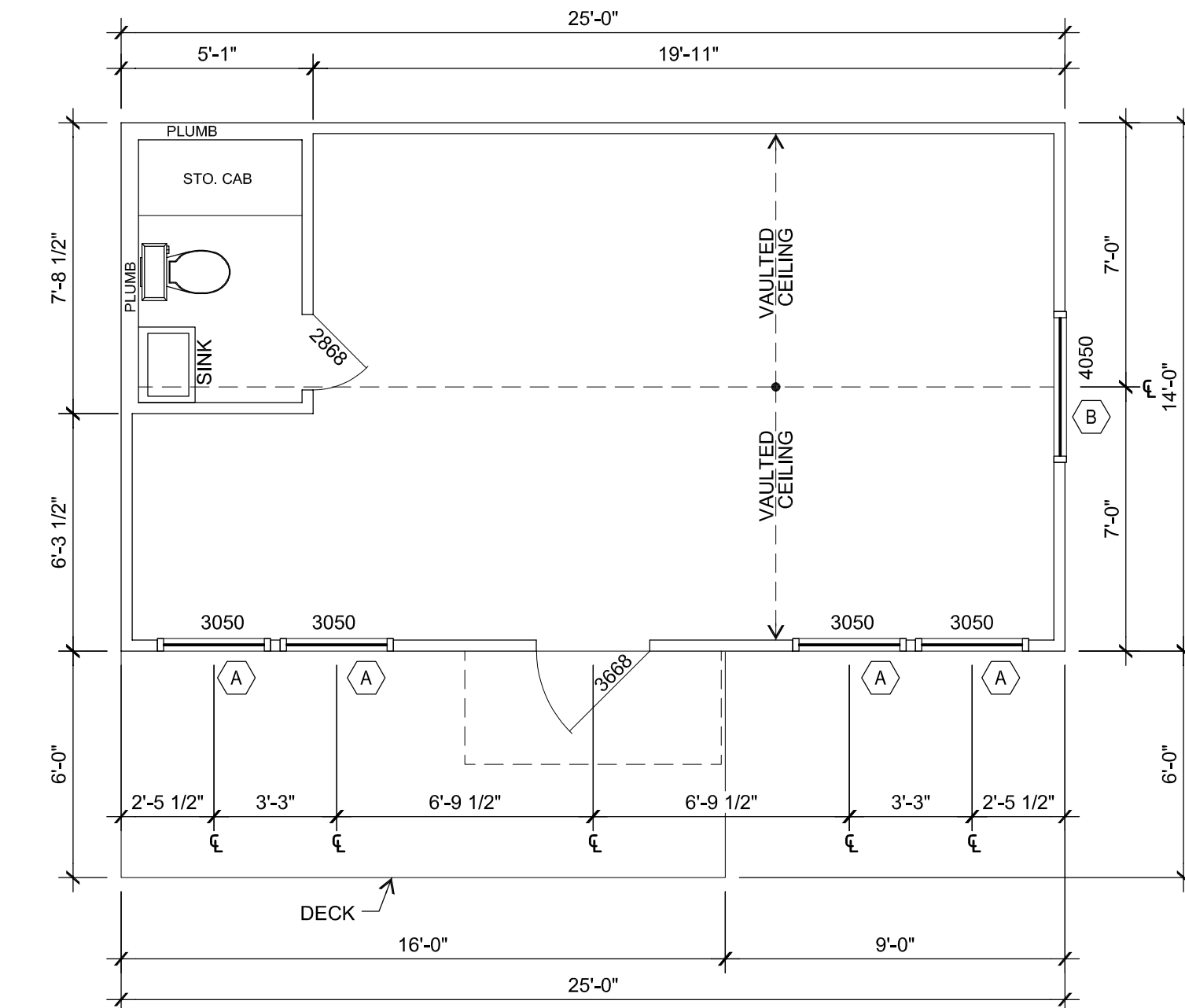
NOTE: ALL OUTLETS IN BATHROOMS TO BE G.F.I.



3 POWER PLAN  
SCALE: 1/4" = 1'-0"



2 ROOF PLAN  
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	AREAS
350	FLOOR PLAN

NEW SHED  
KEITH AND HOLLY GREEN  
605 E. WASHINGTON ST.  
ROCKWALL TX 75087

ISSUE LOG		
DATE	DESCRIPTION	ISSUE
09/11/23	FOR BIDDING AND PERMIT	

REVISION LOG		
DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

PRELIMINARY - NOT FOR CONSTRUCTION

BIDDING / PERMIT

REVISION / ADDENDUM

FOR CONSTRUCTION



ARCH. PROJ. #:	SCALE:
09/06/23	REF. DRAWING
SHEET NO.	
<b>A1.0</b>	
SHED NOTES, PLANS, ELEVATIONS	











605

ADT



605

OCT 18 2006



605

OCT 18 2006



NOV 11 2004

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR GUEST QUARTERS/SECONDARY LIVING UNIT ON A 0.22-ACRE PARCEL OF LAND, IDENTIFIED AS BLOCK 43A OF THE B.F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS The City Council of the City of Rockwall, Texas, is the governing body for the City of Rockwall, Texas; and the City Council has the authority to adopt and amend the Unified Development Code (UDC) of the City of Rockwall, Texas; and more specifically described and depicted in Exhibit 'A' of this Ordinance; and more specifically described and depicted in Exhibit 'A' of this Ordinance; and more specifically described and depicted in Exhibit 'A' of this Ordinance;

WHEREAS The City Council of the City of Rockwall, Texas, is the governing body for the City of Rockwall, Texas; and the City Council has the authority to adopt and amend the Unified Development Code (UDC) of the City of Rockwall, Texas; and more specifically described and depicted in Exhibit 'A' of this Ordinance; and more specifically described and depicted in Exhibit 'A' of this Ordinance;

NOW, THEREFORE BE IT ORDAINED That the City Council of the City of Rockwall, Texas, do hereby ordain, enact, and pass the following Ordinance:

SECTION 1. The Unified Development Code (UDC) Ordinance No. 20-02 of the City of Rockwall, Texas, is hereby amended to read as follows: Section 04-20-02, Permissible Uses of the UDC Ordinance No. 20-02 of the City of Rockwall, Texas, to include Guest Quarters/Secondary Living Unit on the Subject Property.

SECTION 2. The Special Use Permit (SUP) shall be granted in accordance with the Single-Family 7 (SF-7) District Standards of the UDC Ordinance No. 20-02 of the City of Rockwall, Texas, as heretofore amended and may be amended in the future.



SECTION 7. The Ordinance is hereby adopted and the City Council is hereby authorized to execute the same.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 4<sup>th</sup> DAY OF DECEMBER, 2023.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

Rescinded November 20, 2023

Rescinded December 4, 2023



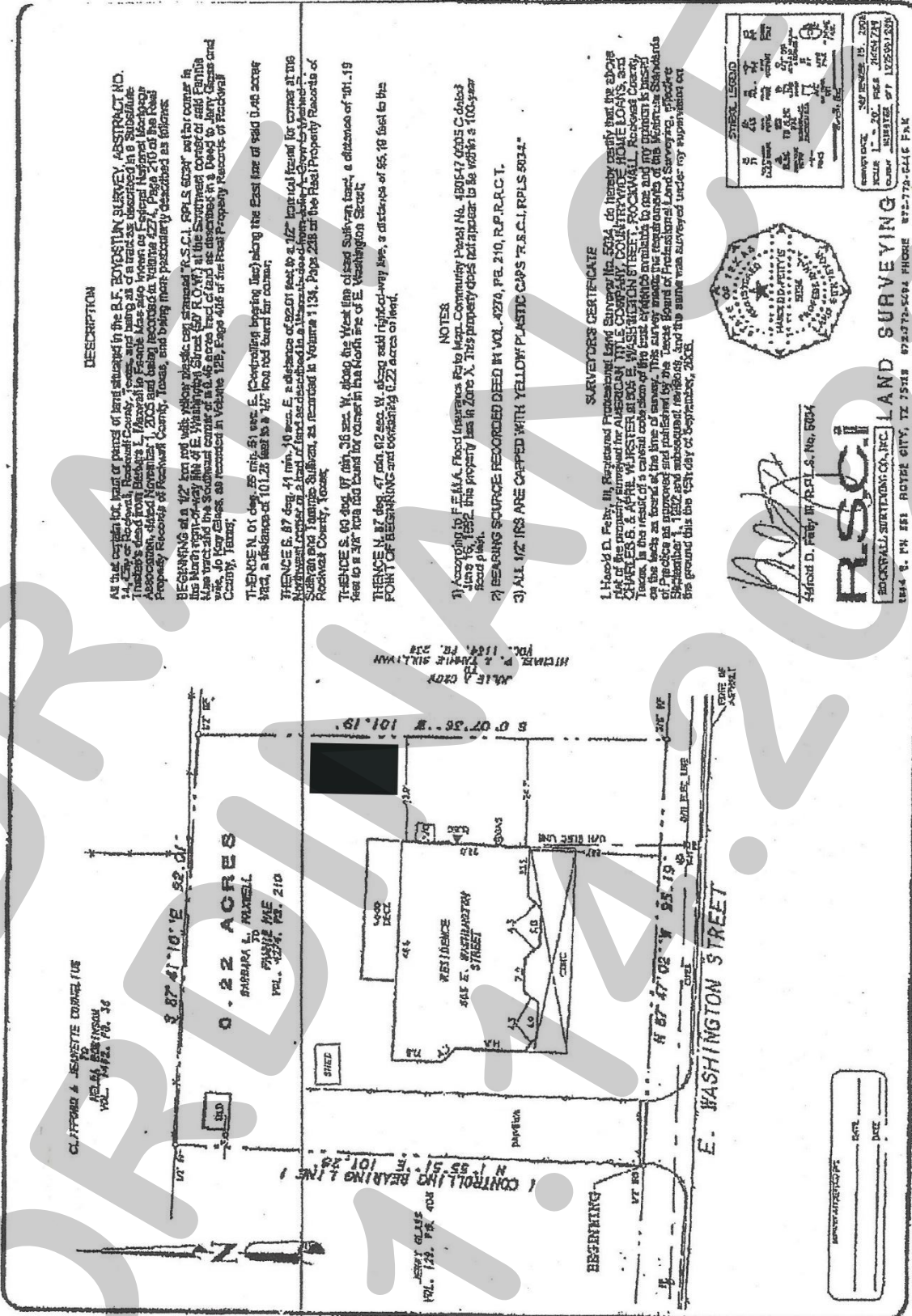
**Exhibit 'A':**  
*Location Map*

Address: 605 E. Washington Street

Legal Description: Block 43A of the B.F. Boydston Addition



Exhibit 'B':  
Concept Plan



DESCRIPTION

All the corners for, lines or points of land situated in the B.F. ROYSTER SURVEY, ABSTRACT NO. 1, Township 10 North, Range 10 West, 24th and 25th Meridian, Texas, and being 28.00 acres, more or less, as described in a Subdivision Plat filed for record in the Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEARING of a 1/2" iron rod with yellow plastic cap, situated "R.S.C.I. RPLS" corner of said Parilla the bearing of the Southeast corner of a 0.46 acre tract of land as described in a deed to Jerry Glass and wife, 40 Ely Acres, as recorded in Volume 128, Page 408 of the Public Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 25 min. 51 sec. E. Controlling bearing line along the East line of said 0.46 acre tract, a distance of 101.26 feet to a 1/2" iron rod found four corners;

THENCE S. 87 deg. 41 min. 10 sec. E. a distance of 92.01 feet to a 1/2" iron rod found for corner of the Northwest corner of a tract of land as described in a Subdivision Plat filed for record in the Public Property Records of Rockwall County, Texas, as recorded in Volume 134, Page 288 of the Public Property Records of Rockwall County, Texas;

THENCE S. 60 deg. 07 min. 26 sec. W. along the West line of said Subdivision tract, a distance of 101.19 feet to a 3/4" iron rod found for corner in the North line of E. Washington Street;

THENCE N. 87 deg. 47 min. 02 sec. W. along said right-of-way line, a distance of 55.19 feet to the POINT OF BEGINNING and containing 0.22 acres of land.

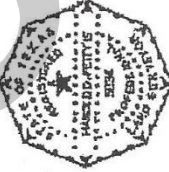
NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Plan No. 420547 0005 C dated June 18, 1995, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE RECORDED DEED IN VOL. 4270, PG. 210, R.P.R.C.T.
- 3) ALL 1/2" IRIS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYORS CERTIFICATE

I, Harold D. Peby, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat was prepared and reduced to scale from field notes taken by me, my assistants, and myself, on the 24th day of August, 1995, at Rockwall, Texas, in the result of a casual observation of the land shown on this plat, and that the same is in accordance with the Texas Board of Professional Land Surveyors, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on this ground this 24th day of August, 1995.

STAKE LEGEND	
1/2" IRON ROD	1/2" IRON ROD
1/2" IRON ROD WITH YELLOW PLASTIC CAP	1/2" IRON ROD WITH YELLOW PLASTIC CAP
1/2" IRON ROD WITH YELLOW PLASTIC CAP	1/2" IRON ROD WITH YELLOW PLASTIC CAP
1/2" IRON ROD WITH YELLOW PLASTIC CAP	1/2" IRON ROD WITH YELLOW PLASTIC CAP
1/2" IRON ROD WITH YELLOW PLASTIC CAP	1/2" IRON ROD WITH YELLOW PLASTIC CAP
1/2" IRON ROD WITH YELLOW PLASTIC CAP	1/2" IRON ROD WITH YELLOW PLASTIC CAP



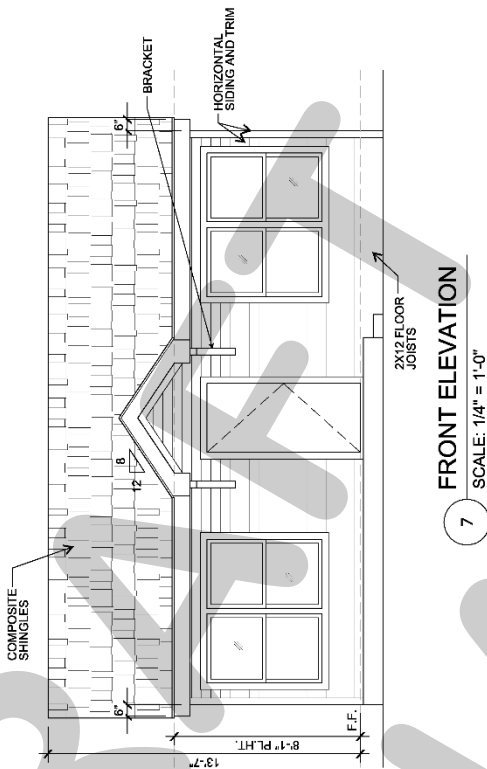
Harold D. Peby, III, R.P.L.S. No. 5034

**R.S.C.I.**  
ROCKWALL SURVEYING CO., INC. LAND SURVEYING

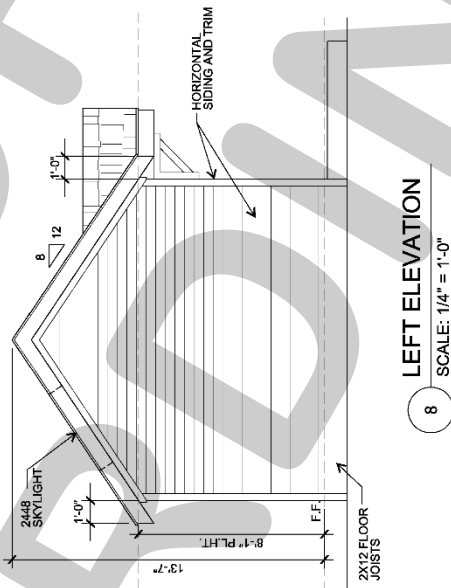
1844 S. PA. 181, SUITE 511, TX 75078-5034, PHONE 972-779-2116 FAX

DATE	
TIME	

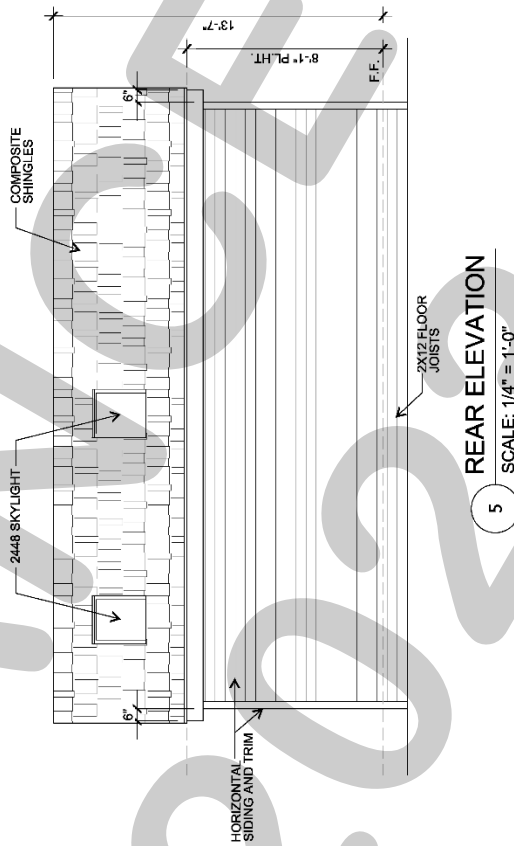
**Exhibit 'C':**  
**Building Elevations**



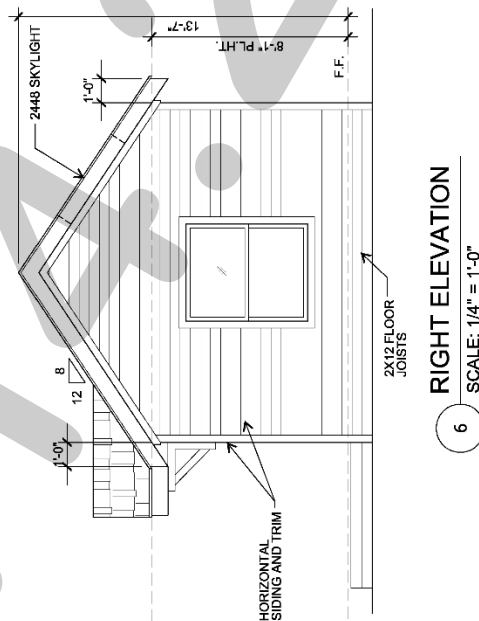
**7 FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**8 LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**5 REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**6 RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

00-00 SUP 00 E/W 000000 Sr 00 P 0000  
 Ord 0000 N 00-XX SUP 0 S-XX



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**DATE:** November 14, 2023

**APPLICANT:** Jeff Carroll; *Carroll Architects, Inc.*

**CASE NUMBER:** Z2023-051; *Zoning Change from Agricultural (AG) District to a Light Industrial (LI) District for 1775 Airport Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Frank Conselman of Conselman Equities for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated in the Airport Overlay (AP OV) District, addressed as 1775 Airport Road, and take any action necessary.

### BACKGROUND

The subject property was annexed on September 2, 1975 by *Ordinance No. 75-12 [i.e. Case No. A1975-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District and has remained zoned Agricultural (AG) District since being annexed. According to Rockwall Central Appraisal District, there is an 1,891 SF single-family residential home that was constructed on the property in 1950; however, it appears the home is in disrepair and is currently vacant. On May 2, 2022, the City Council approved an *Alternative Tree Mitigation Settlement Agreement (i.e. Case No. MIS2022-007)* allowing all the trees to be removed from the subject property in exchange for a payment of \$7,800.00 into the City's *Tree Fund*.

### PURPOSE

On October 20, 2023, the applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1775 Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 12.00-acre vacant tract of land (*i.e. Tract 21 of the D. Harr Survey, Abstract No. 102*), which is zoned Agricultural (AG) District. Beyond this is a 42.66-acre tract of land (*i.e. Tract 7 of the D. Harr Survey, Abstract No. 102*), which is zoned Agricultural (AG) District. Currently situated on this tract of land is a single-family home and two (2) accessory buildings. North of this is E. SH-66, which is classified as a P6D (*i.e. principal arterial, six (6) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of Airport Road is one (1) vacant tract of land (*i.e. Tract 2-01 of the D. Harr Survey, Abstract No. 102*), which is zoned Light Industrial (LI) District. Beyond this is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*.

East: Directly east of the subject property is one (1) tract of land (*i.e. Tract 22 of the D. Harr Survey, Abstract No. 102*) that is owned by the City of Rockwall. This is the current location of the City's *Regional Firearms Training Center*. Beyond

this is a 64.514-acre tract of land (i.e. *Tract 15 of the D. Harr Survey, Abstract No. 102*) that forms part of a 74.514-acre tract of land. This property is also owned by the City of Rockwall and has the City's *Animal Adoption Center* located on it. Both of these properties are zoned Agricultural (AG) District. East of this is the Airport Acres Subdivision, which was established in 1984 and consists of 20 single-family residential lots on 9.07-acres.

West: Directly west of the subject property is a 47.89-acre parcel of land (i.e. *Lot 1 of the Rockwall Municipal Airport*) that makes up the Rockwall Municipal Airport and is zoned Agricultural (AG) District. Beyond this is part of a 31.393-acre tract of vacant land (i.e. *Tract 3 of the N. Butler Survey, Abstract No. 20*), which is zoned Agricultural (AG) District. West of this is S. John King Boulevard, which is identified as a P6D (i.e. *a principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

### **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting to rezone the 6.60-acre parcel of land from an Agricultural (AG) District to a Light Industrial (LI) District. It should be noted, that if this zoning change is approved, any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Light Industrial (LI) District and is situated within the Airport Overlay (AP OV) District.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses ... [and] is intended for industrial parks and larger, cleaner types of industries." In this case, the properties adjacent to the subject property are zoned Light Industrial (LI) District and Agricultural (AG) District. Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Light Industrial (LI) District, which are summarized as follows:

*TABLE 1: LIGHT INDUSTRIAL (LI) DISTRICT DEVELOPMENT STANDARDS*

<i>Minimum Lot Area</i>	12,500 SF
<i>Minimum Lot Width</i>	100'
<i>Minimum Lot Depth</i>	125'
<i>Minimum Front Yard Setback</i> <sup>(1)</sup>	25'
<i>Minimum Side Yard Setback</i> <sup>(2) &amp; (3)</sup>	15' + ½ Height Over 36'
<i>Minimum Rear Yard Setback</i> <sup>(2) &amp; (3)</sup>	10'
<i>Minimum Between Buildings</i> <sup>(2) &amp; (3)</sup>	15' + ½ Height Over 36'
<i>Maximum Building Height</i> <sup>(4)</sup>	60'
<i>Maximum Building Size</i>	N/A
<i>Maximum Lot Coverage</i>	60%
<i>Minimum Landscaping</i>	15%

General Notes:

<sup>1:</sup> From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.

<sup>2:</sup> Not to exceed 50-feet.

<sup>3:</sup> ½ Height Over 36-feet with a fire rated wall.

<sup>4:</sup> Building height may be increased up to 120-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Central District* and is designated for *Technology/Employment Center* land uses. The *Central District* is defined as being "...composed of a wide range of uses that vary from single-family to industrial... [and] (t)he *Central District* also incorporates a high volume of industrial land uses adjacent to the Union Pacific/Dallas Garland and Northeastern Railroad line that bisects the district." Based on this the proposed zoning change conforms to the *Technology/Employment Center* land use designation and with the *District Strategies* of the *Central District*.

## **NOTIFICATIONS**

On October 24, 2023, staff notified 14 property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices in regard to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **22023-1051**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1775 AIRPORT ROAD ROCKWALL, TX 75087**

SUBDIVISION **DAVID HARR SURVEY, A-102** LOT BLOCK

GENERAL LOCATION **NEC AIRPORT RD ? ROCKWALL MUNICIPAL AIRPORT**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **AG** CURRENT USE **AG**

PROPOSED ZONING **LIGHT INDUSTRIAL LI** PROPOSED USE **OFFICE/WHSE**

ACREAGE **6.6** LOTS [CURRENT] **2** LOTS [PROPOSED] **1**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Conselman Equities**  APPLICANT **CARROLL ARCHITECTS, INC**

CONTACT PERSON **FRANK CONSELMAN**

CONTACT PERSON **JEFF CARROLL**

ADDRESS **3925 RUGER DR.**

ADDRESS **750 E. INTERSTATE 30  
Ste: 110**

CITY, STATE & ZIP **ROYSE CITY TX 75189**

CITY, STATE & ZIP **ROCKWALL, TX 75087**

PHONE **469.323.1937**

PHONE **214.632.1862**

E-MAIL **FRANK@TEXASPRODUCTS.COM**

E-MAIL **JC@CARROLLARCH.COM**

## NOTARY VERIFICATION [REQUIRED]

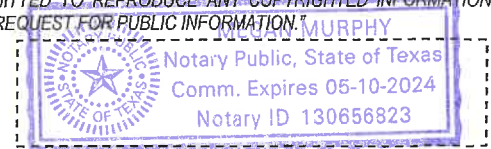
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [Signature] [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING.

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20<sup>th</sup> DAY OF OCTOBER, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

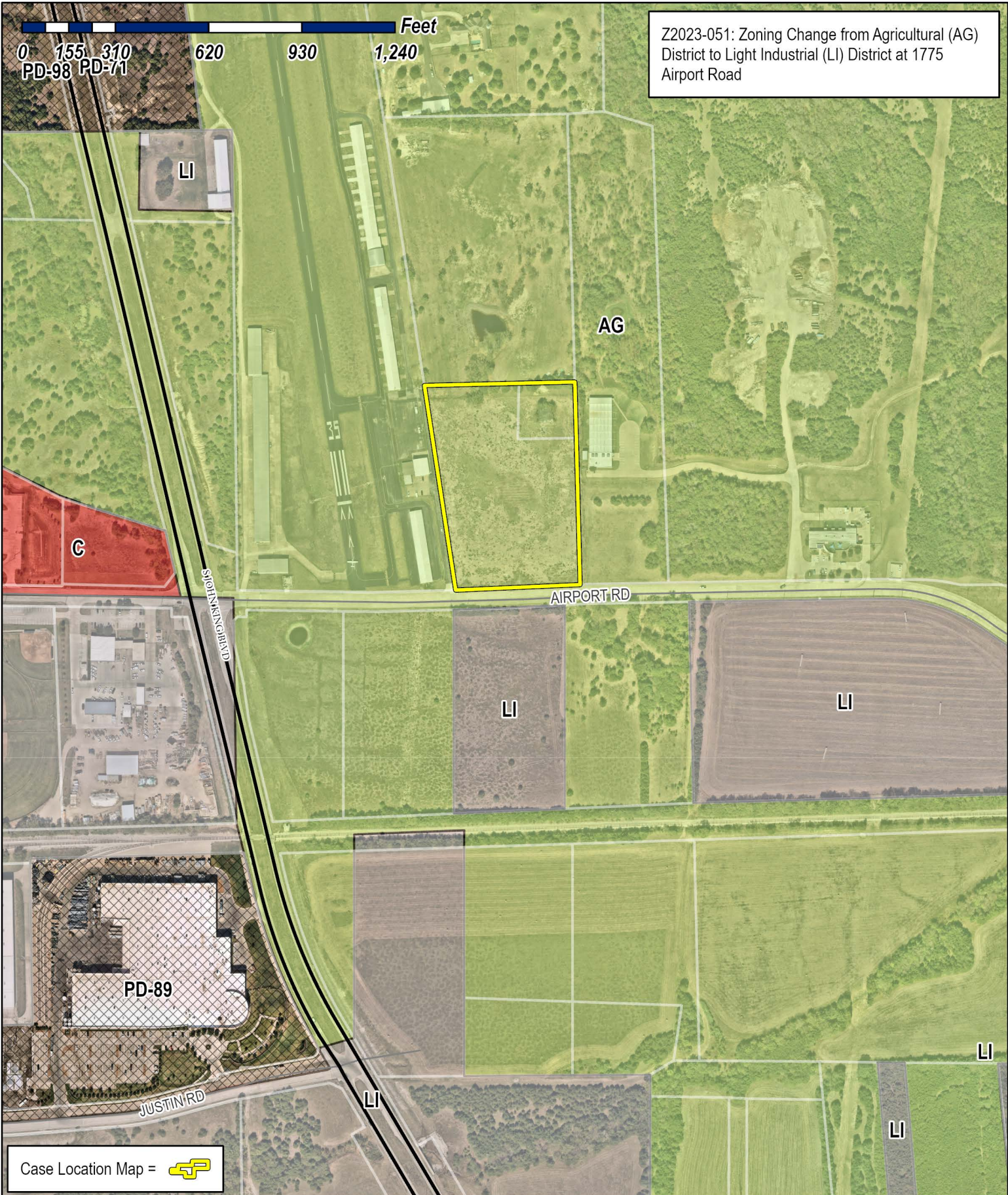
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20<sup>th</sup> DAY OF October, 2023.

OWNER'S SIGNATURE **Frank Conselman**


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES **5.10.24**



Z2023-051: Zoning Change from Agricultural (AG) District to Light Industrial (LI) District at 1775 Airport Road

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



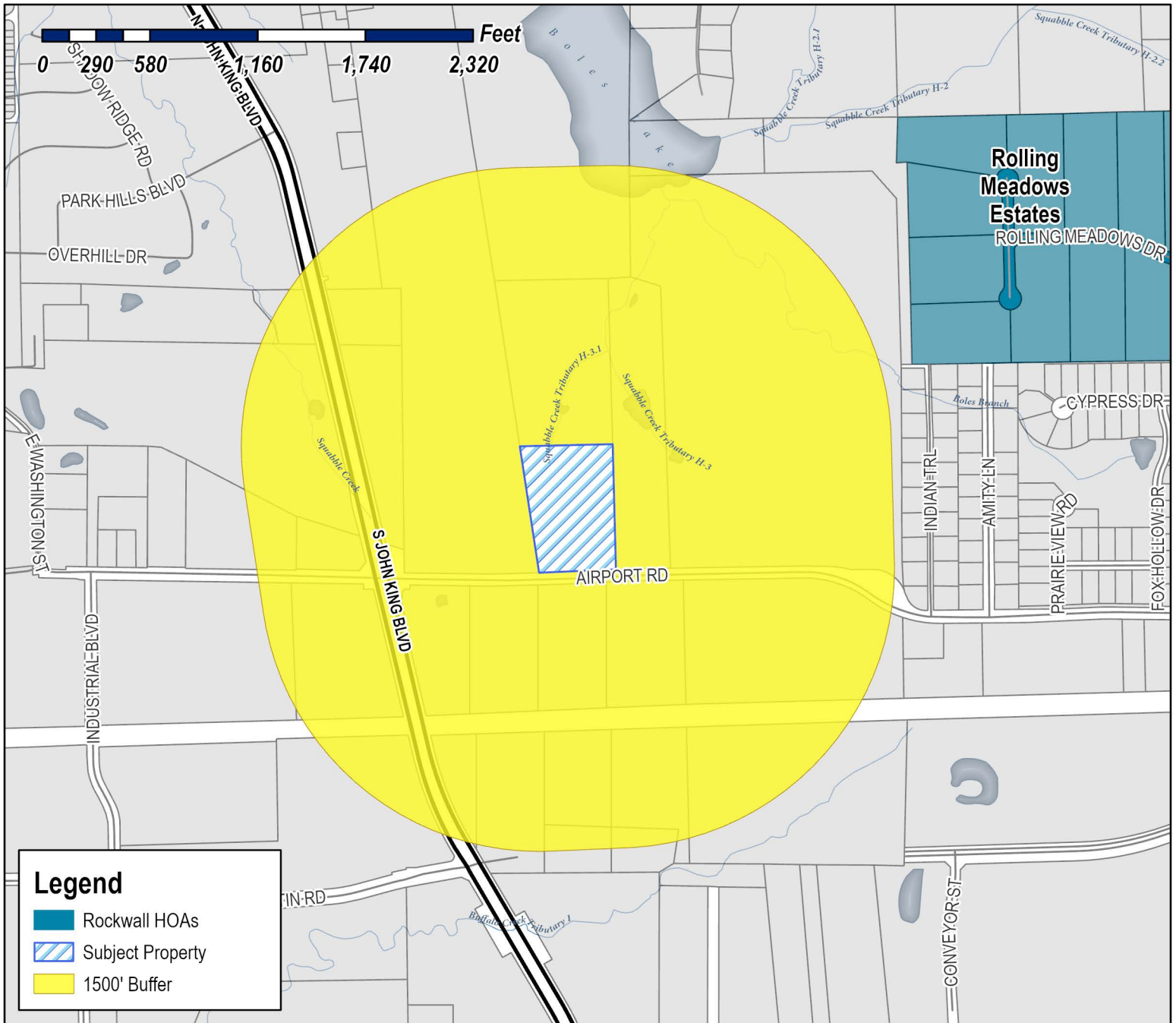




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-051  
**Case Name:** Zoning Change from AG to LI  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1775 Airport Road

**Date Saved:** 10/20/2023  
 For Questions on this Case Call (972) 771-7745

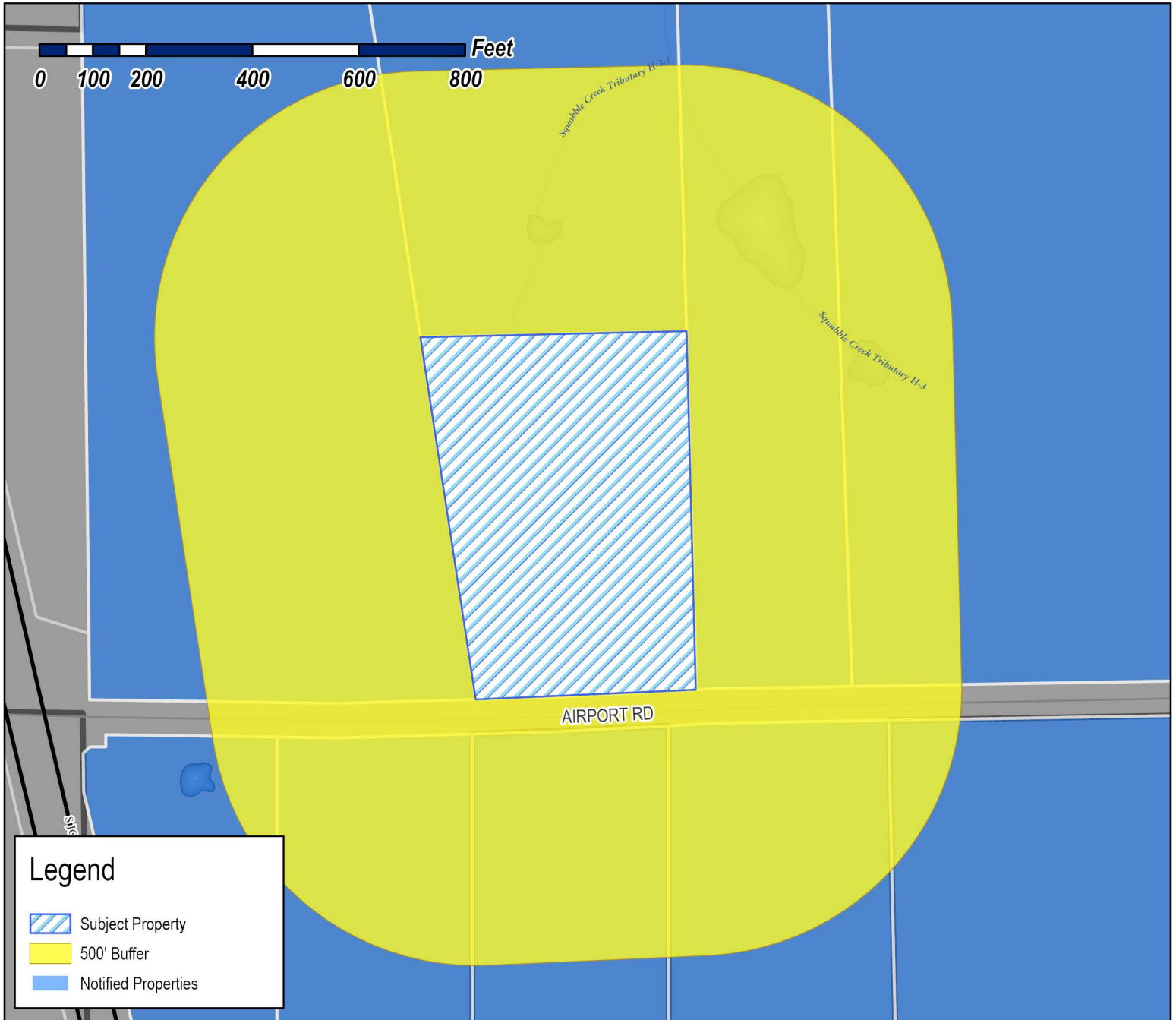






# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Legend**

-  Subject Property
-  500' Buffer
-  Notified Properties

**Case Number:** Z2023-051  
**Case Name:** Zoning Change from AG to LI  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 1775 Airport Road



**Date Saved:** 10/20/2023  
 For Questions on this Case Call: (972) 771-7746

SARO PARTNERS LLC  
1450 T L TOWNSEND  
ROCKWALL, TX 75032

PEOPLES MICHAEL L JR AND  
SHERYL NEWMAN PEOPLES  
1700 STATE HIGHWAY 66  
ROCKWALL, TX 75087

RESIDENT  
1701 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
1765 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
1775 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
1780 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
1815 AIRPORT RD  
ROCKWALL, TX 75087

RESIDENT  
1824 AIRPORT RD  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
205 W RUSK ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

PLATFORM ROCKWALL LP  
ATTN JUSTIN T DAY  
4131 SPICEWOOD SPRINGS RD SUITE E4  
AUSTIN, TX 78759

FLEXSPACE BUSINESS PARKS LLC  
835 TILLMAN DR  
ALLEN, TX 75013

ADD REAL ESTATE LTD  
PO BOX 679  
KELLER, TX 76248

MEALS ON WHEELS SENIOR SERVICES OF  
ROCKWALL COUNTY  
PO BOX 910  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-051: Zoning Change from AG to LI**

Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Frank Conselman of Conselman Equities for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated in the Airport Overlay (AP OV) District, addressed as 1775 Airport Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-051: Zoning Change from AG to LI**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



750 Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

October 20, 2023

Ryan Miller  
Director of Planning  
City of Rockwall, Texas  
385 S. Goliad  
Rockwall, Texas 75087

Re: Narrative for Rezoning 6.6 Ac Lot  
1775 Airport Rd  
Rockwall, TX

Ryan,

We are proposing to rezone this property from Agriculture to Light Industrial. This follows the Comprehensive Zoning Plan for the City of Rockwall. This new development is for a corporate headquarters needing typical industrial, manufacturing, warehouse with offices and truck shipping and receiving. We are anticipating two drive approach access points along the main road.

Thank you for your consideration and reviewing our request and ask for your approval.

Sincerely,

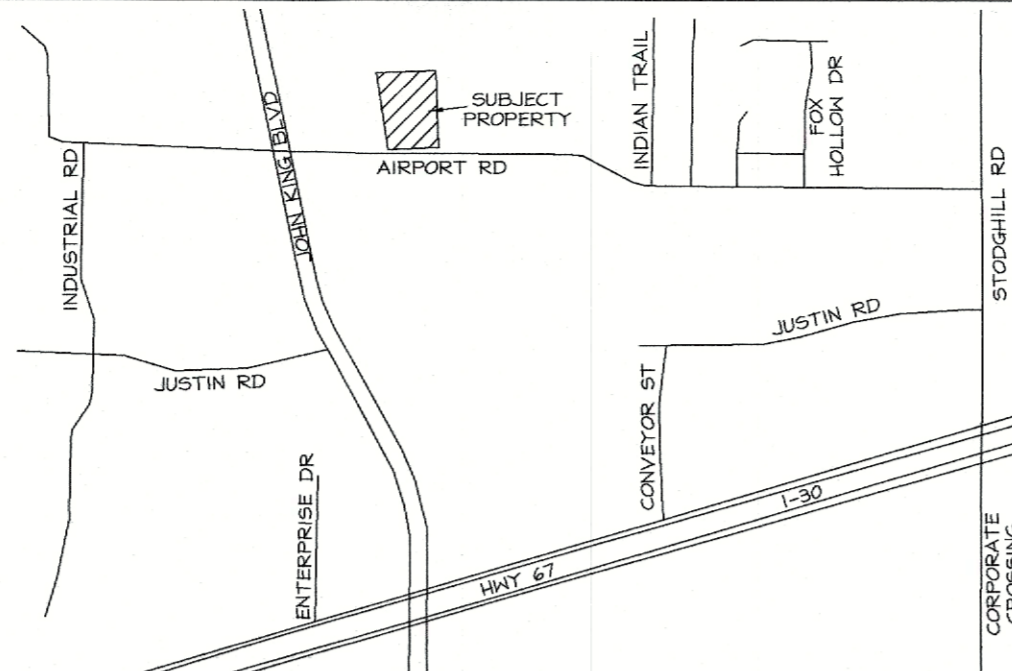
A handwritten signature in black ink that reads 'Jeff Carroll'. The signature is written in a cursive, flowing style.

Jeff Carroll, Architect  
Carroll Architects, Inc.

# LEGEND

- CM CONTROLLING MONUMENT
  - 1/2" IRON ROD FOUND (HOLDER)
  - ⊗ "X" FOUND IN CONCRETE
  - ⊙ WATER VALVE
  - ⊕ ELECTRIC METER
  - ⊞ TELE. PEDESTAL
  - POWER POLE
  - ⊖ WATER METER
  - ⊙ TELE. MANHOLE
  - ↑ SIGN
  - ⊕ STORM DRAIN
  - ⊙ SANITARY SEWER
  - ⊕ FH FIRE HYDRANT
- X — BARBED WIRE FENCE
  - / / — ASPHALT
  - OHP — OVERHEAD ELECTRIC
  - ▭ COVERED PORCH, OVERHANG
  - ▭ CONCRETE
  - ▭ BUILDING
  - ▭ WOOD DECK

VICINITY MAP  
NO SCALE



# LEGAL DESCRIPTION

Being a 6.68 acre tract or parcel of land situated in the David Harr Survey, Abstract No. 102, Rockwall County, Texas, and being all of that certain called 6.686 acre tract of land conveyed from Jo Ann Athey, Guardian, to ADD Real Estate, Ltd, by Warranty Deed, as recorded in File No. 2021000020616, Official Public Records, Rockwall County, Texas, (Bearings are based on NAD 83 (2011), Texas North Central 4202, as observed by GPS. Area and distances shown hereon are at grid), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found capped (Owens) at the Northeast corner of said 6.686 acre tract, at the Southeast corner of a called 12,000 acre tract of land conveyed to Michael L. Peoples Jr., et al, by deed as recorded in File No. 2019000013271, Official Public Records, Rockwall County, Texas, and in the West line of a called 10.14 acre tract of land conveyed to the City of Rockwall, by deed as recorded in Volume 4358, Page 101, Official Public Records, Rockwall County, Texas, from which a 3/4" iron rod found at the Northeast corner of said 12,000 acre tract and at the Northwest corner of said 10.14 acre tract bears North 01 degrees 43 minutes 03 seconds West, a distance of 939.45 feet;

THENCE South 01 degrees 43 minutes 03 seconds East, with the East line of said 6.686 acre tract and with the West line of said 10.14 acre tract, a distance of 631.01 feet to a 1/2" iron rod found capped (Holder) at the Southeast corner of said 6.686 acre tract and in the North margin of Airport Road;

THENCE with the South line of said 6.686 acre tract and along the North margin of Airport Road, the following courses and distances: South 87 degrees 52 minutes 18 seconds West, a distance of 52.08 feet to a 1/2" iron rod found capped (Holder); South 86 degrees 51 minutes 14 seconds West, a distance of 222.44 feet to a 1/2" iron rod found capped (Holder); South 88 degrees 26 minutes 29 seconds West, a distance of 146.12 feet to an "X" found in concrete at the Southwest corner of said 6.686 acre tract;

THENCE North 08 degrees 34 minutes 50 seconds West, with the West line of said 6.686 acre tract and with the East line of Lot 1, Rockwall Municipal Airport Addition, according to the plat thereof as recorded in Cabinet B, Slide 47, Plat Records, Rockwall County, Texas, a distance of 640.68 feet to a 1/2" iron rod found capped (Holder) at the Northwest corner of said 6.686 acre tract and at the Southwest corner of said 12,000 acre tract;

THENCE North 88 degrees 13 minutes 57 seconds East, with the North line of said 6.686 acre tract and with the South line of said 12,000 acre tract, a distance of 497.12 feet to the POINT OF BEGINNING and CONTAINING 6.68 acres of land.

## SURVEYOR'S NOTES

- 1) Bearings are based on NAD83 (2011), Texas North Central Zone No. 4202, as observed by GPS. Area and distances shown hereon are at grid.
- 2) The property described and depicted hereon is the same property as described in Fidelity National Title Insurance Company Commitment No. FT-44122-9001222301867-LE, with an Effective date of August 30, 2023, and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- 3) The legal description, shown hereon, creates a mathematically closed figure.
- 4) There is no observed evidence of current earth moving work, building construction or building additions and is listed as follows and shown hereon, at the conclusion of field work.
- 5) There are no observed evidence of changes to the street right of way, to this surveyor's knowledge.
- 6) There is no observed evidence of recent street or sidewalk construction or repairs, at the conclusion of field work.
- 7) There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill except as noted below and shown hereon, at the conclusion of field work.
- 8) There is no observed evidence of the property being, or having been, used for cemetery, burial ground or grave site purposes, at the conclusion of field work.
- 9) All above ground evidence of utilities, drainage structures, structural support and ingress and egress for or from adjoining properties is shown hereon.
- 10) There are no designated parking spaces.

## SCHEDULE B ITEMS

1. There are no restrictive covenants listed in title commitment.
10. e. Easement(s) and rights incidental thereto, as granted in a document: Granted to: Dr. Harold B. Younger and Robert H. Burks; Purpose: As provided in said document; Recording Date: October 13, 1964; Recording No: in Volume 70, Page 627, Deed Records, Rockwall County, Texas. -TOO VAGUE TO LOCATE-
10. f. Easement(s) and rights incidental thereto, as granted in a document: Granted to: City of Rockwall; Purpose: As provided in said document; Recording Date: November 16, 1964; Recording No: in Volume 71, Page 140, Deed Records, Rockwall County, Texas -TOO VAGUE TO LOCATE-
10. g. Easement(s) and rights incidental thereto, as granted in a document: Granted to: Blackland Water Supply Corporation; Purpose: As provided in said document; Recording Date: May 20, 1966; Recording No: in Volume 75, Page 592, Deed Records, Rockwall County, Texas -PROPERTY SUBJECT TO, BLANKET EASEMENT-
10. h. Easement(s) and rights incidental thereto, as granted in a document: Granted to: Southwestern Bell Telephone Company; Purpose: As provided in said document; Recording Date: November 23, 1966; Recording No: in Volume 77, Page 474, Deed Records, Rockwall County, Texas -PROPERTY NOT SUBJECT TO-
10. i. Easement(s) and rights incidental thereto, as granted in a document: Granted to: Southwestern Bell Telephone Company; Purpose: As provided in said document; Recording Date: November 21, 1973; Recording No: in Volume III, Page 476, Deed Records, Rockwall County, Texas -AFFECTS AS SHOWN HEREON-
10. j. Easement(s) and rights incidental thereto, as granted in a document: Granted to: Southwestern Bell Telephone Company; Purpose: As provided in said document; Recording Date: April 11, 1973; Recording No: in Volume 107, Page 820, Deed Records, Rockwall County, Texas -AFFECTS AS SHOWN HEREON-

## SURVEYOR'S CERTIFICATE

To ADD Real Estate, Ltd., a Texas limited partnership, Sellers, Conselman Equities, LLC, buyers and Fidelity National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 8, 13, 16, 17, and 18 of Table A thereof. The field work was completed on September 27, 2023.

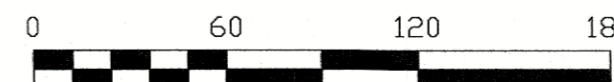
Date of Plat or Map: October 2, 2023

BY: *Tina Ballard*  
TINA BALLARD  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 6746



## FLOOD STATEMENT

The property is shown as being located in Zone X and Zone A, by Flood Insurance Rate Map No. 48397C0045L, dated 9/26/2008. It is shown as being located in a special flood hazard area inundated by 100-Year flood.



## ALTA/NSPS LAND TITLE SURVEY

**6.68 ACRES**  
**DAVID HARR SURVEY, A-102**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

1775 AIRPORT ROAD  
ROCKWALL, TEXAS

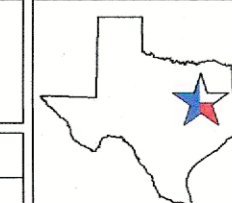
DATE: 10/02/2023

SCALE: 1" = 60'

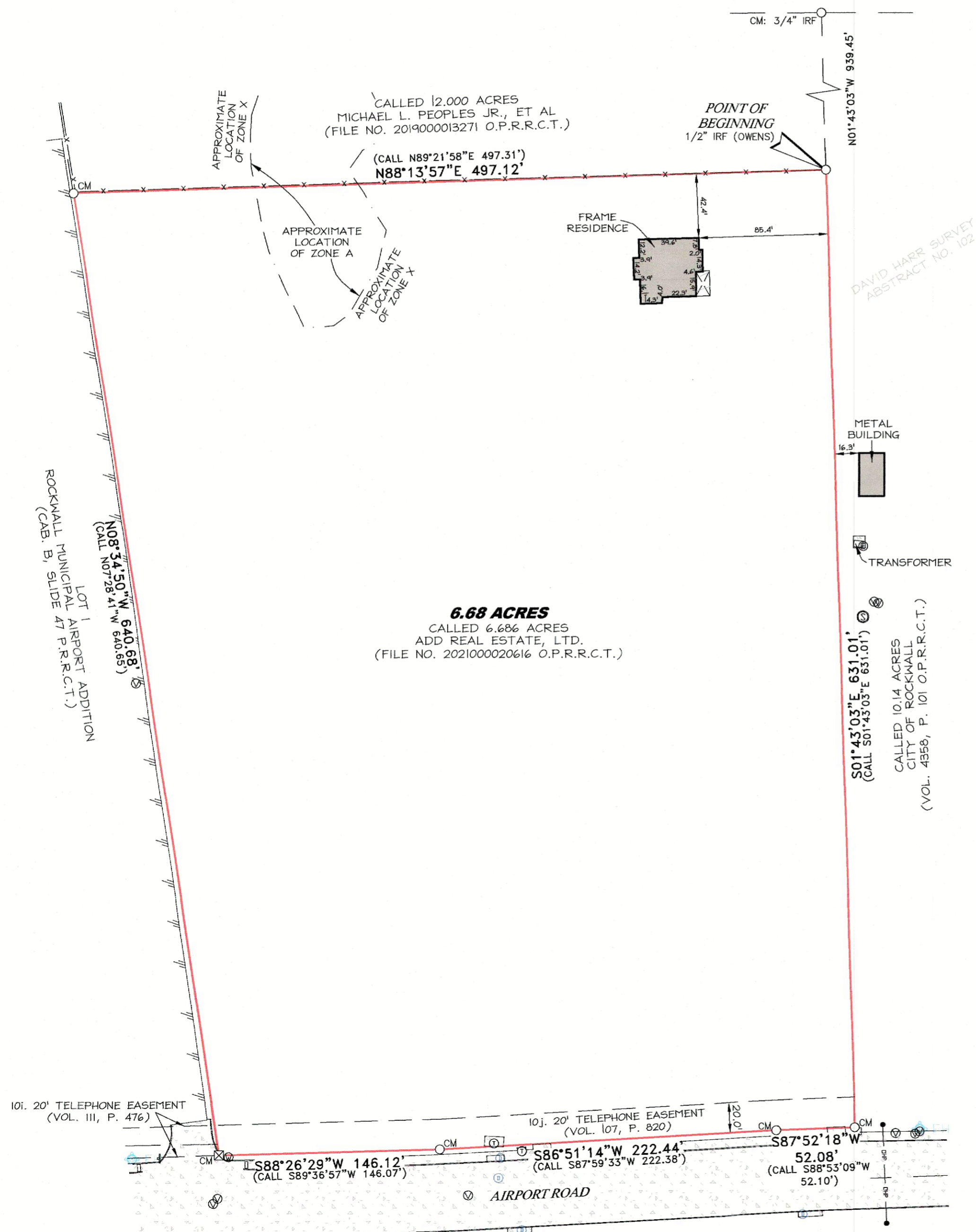
JOB NO.: 2023-1370

CLIENT: FIDELITY NATIONAL TITLE

TECHNICIAN: AMN



**BY-LINE SURVEYING LLC**  
P.O. Box 834  
Emory, Tx 75440  
Ph: (903) 473-5150  
Firm No: 10194233  
www.bylinesurveying.com



# 01 CENTRAL DISTRICT

## DISTRICT STRATEGIES

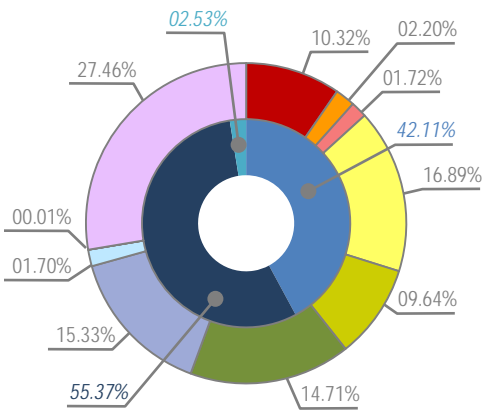
### DISTRICT DESCRIPTION

The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

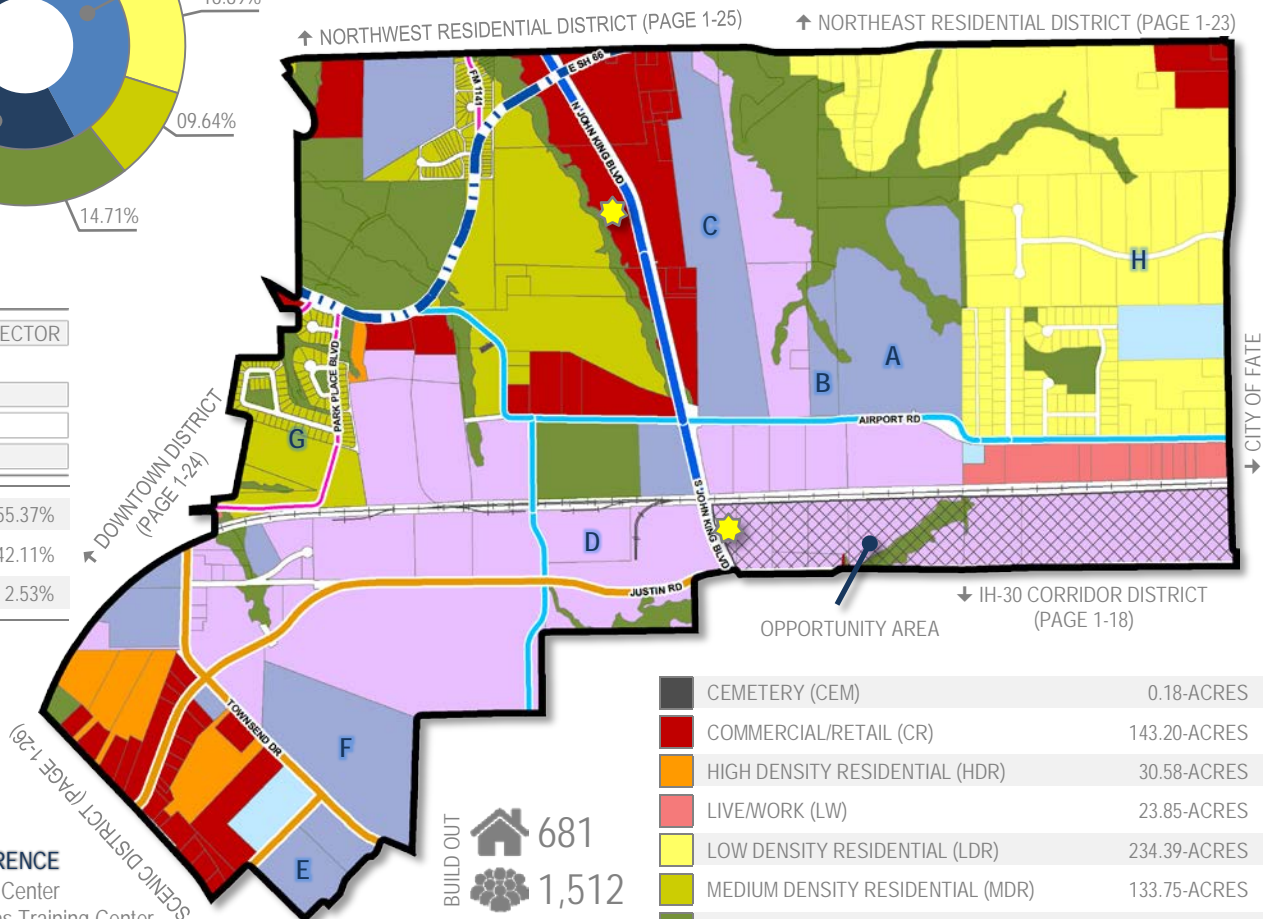
 John King Boulevard Trail Plan  
Rest Stop/Trailblazer Pylon

The *Central District* still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this district:

- 1 Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should *not* be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (i.e. *Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. *larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (i.e. *are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses.
- 4 Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



Color	Category	Percentage
Black	COMMERCIAL	55.37%
Blue	RESIDENTIAL	42.11%
Light Blue	MIXED USE	2.53%
Light Green	MINOR COLLECTOR	
Light Blue	M4U	
Light Green	M4D	
Light Blue	P6D	
Light Green	TXDOT 4D	



### POINTS OF REFERENCE

- A. Animal Adoption Center
- B. Regional Firearms Training Center
- C. Ralph Hall Municipal Airport
- D. Leon Tuttle Athletic Complex
- E. Rockwall County Courthouse
- F. Utley Middle School
- G. Park Place Subdivision
- H. Rolling Meadows Subdivision

**BUILD OUT**

- House icon: 681
- Flower icon: 1,512

**% OF ROCKWALL**

- House icon: 1.10%
- Flower icon: 3.91%
- Flower icon: 0.82%

**CURRENT**

- House icon: 220
- Flower icon: 71
- Flower icon: 488

Black	CEMETERY (CEM)	0.18-ACRES
Red	COMMERCIAL/RETAIL (CR)	143.20-ACRES
Orange	HIGH DENSITY RESIDENTIAL (HDR)	30.58-ACRES
Light Red	LIVE/WORK (LW)	23.85-ACRES
Yellow	LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
Light Green	MEDIUM DENSITY RESIDENTIAL (MDR)	133.75-ACRES
Dark Green	PARKS AND OPEN SPACE (OS)	204.05-ACRES
Light Blue	PUBLIC (P)	212.77-ACRES
Light Blue	QUASI-PUBLIC (QP)	23.65-ACRES
Light Green	SPECIAL COMMERCIAL CORRIDOR (SC)	0.08-ACRES
Light Purple	TECHNOLOGY/EMPLOYMENT CENTER (TEC)	381.07-ACRES

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

# PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	LIGHT INDUSTRIAL (LI) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		P
Animal Shelter or Loafing Shed	(6)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		P
Convalescent Care Facility/Nursing Home	(6)		S
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Crematorium	(8)		S
Daycare with Seven (7) or More Children	(9)	(4)	S
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		S
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Regional Post Office	(19)		P
Prison/Custodial Institution	(20)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Rescue Mission or Shelter for the Homeless	(24)		P
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		P
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P



**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

# PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	LIGHT INDUSTRIAL (LI) DISTRICT
Financial Institution without Drive-Through	<a href="#">(1)</a>		P
Office Building less than 5,000 SF	<a href="#">(2)</a>		P
Office Building 5,000 SF or Greater	<a href="#">(2)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	<b>2.02(E)</b>	<b>2.03(E)</b>	
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		P
Golf Driving Range	<a href="#">(6)</a>		P
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	P
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Private Sports Arena, Stadium, and/or Track	<a href="#">(11)</a>		P
Public Park or Playground	<a href="#">(12)</a>		P
Sexually Oriented Businesses <a href="#">[Art. XI; CH. 12; Municipal Code]</a>	<a href="#">(13)</a>	<a href="#">(7)</a>	S
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		P
Theater	<a href="#">(15)</a>		P
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	<b>2.02(F)</b>	<b>2.03(F)</b>	
Portable Beverage Service Facility	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Brew Pub	<a href="#">(5)</a>		P
Business School	<a href="#">(6)</a>		P
Catering Service	<a href="#">(7)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(8)</a>	<a href="#">(2)</a>	P
Copy Center	<a href="#">(9)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(10)</a>	<a href="#">(3)</a>	P
Incidental Display	<a href="#">(11)</a>	<a href="#">(4)</a>	P
Food Trucks/Trailers	<a href="#">(12)</a>	<a href="#">(5)</a>	P
Garden Supply/Plant Nursery	<a href="#">(13)</a>		P
General Personal Service	<a href="#">(14)</a>	<a href="#">(6)</a>	S
General Retail Store	<a href="#">(15)</a>		S
Hair Salon and/or Manicurist	<a href="#">(16)</a>		S
Laundromat with Dropoff/Pickup Services	<a href="#">(17)</a>		P
Self Service Laundromat	<a href="#">(18)</a>		P
Private Museum or Art Gallery	<a href="#">(20)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(21)</a>		S
Pawn Shop	<a href="#">(22)</a>		P
Permanent Cosmetics	<a href="#">(23)</a>	<a href="#">(7)</a>	A

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

# PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	LIGHT INDUSTRIAL (LI) DISTRICT
Temporary Real Estate Sales Office	<a href="#">(25)</a>		P
Rental Store without Outside Storage and/or Display	<a href="#">(26)</a>	<a href="#">(8)</a>	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(27)</a>	<a href="#">(9)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(28)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(27)</a>	<a href="#">(10)</a>	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(28)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(29)</a>		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(29)</a>		P
Secondhand Dealer	<a href="#">(30)</a>		P
Art, Photography, or Music Studio	<a href="#">(31)</a>		P
Taxidermist Shop	<a href="#">(34)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	<b>2.02(G)</b>	<b>2.03(G)</b>	
Bail Bond Service	<a href="#">(1)</a>		P
Building and Landscape Material with Outside Storage	<a href="#">(2)</a>	<a href="#">(1)</a>	P
Building and Landscape Material with Limited Outside Storage	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Building Maintenance, Service, and Sales with Outside Storage	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">(3)</a>		P
Commercial Cleaners	<a href="#">(4)</a>		P
Custom and Craft Work	<a href="#">(5)</a>		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Feed Store or Ranch Supply	<a href="#">(7)</a>		S
Furniture Upholstery/Refinishing and Resale	<a href="#">(8)</a>	<a href="#">(4)</a>	P
Gunsmith Repair and Sales	<a href="#">(9)</a>		P
Rental, Sales and Service of Heavy Machinery and Equipment	<a href="#">(10)</a>	<a href="#">(5)</a>	S
Locksmith	<a href="#">(11)</a>		P
Machine Shop	<a href="#">(12)</a>		P
Medical or Scientific Research Lab	<a href="#">(13)</a>		P
Research and Technology or Light Assembly	<a href="#">(15)</a>		P
Trade School	<a href="#">(17)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	<b>2.02(H)</b>	<b>2.03(H)</b>	
Major Auto Repair Garage	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Minor Auto repair garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Automobile Rental	<a href="#">(3)</a>		S
New or Used Boat and Trailer Dealership	<a href="#">(4)</a>	<a href="#">(3)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	<a href="#">(6)</a>	<a href="#">(5)</a>	S
New Motor Vehicle Dealership-for Cars and Light Trucks	<a href="#">(7)</a>	<a href="#">(6)</a>	S

**LEGEND:**

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X	Land Use Prohibited by Overlay District
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# PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	LIGHT INDUSTRIAL (LI) DISTRICT
Used Motor Vehicle Dealership for Cars and Light Trucks}	<a href="#">(7)</a>	<a href="#">(7)</a>	A
Commercial Parking	<a href="#">(8)</a>		P
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Recreational Vehicle (RV) Sales and Service	<a href="#">(10)</a>		S
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
Towing and Impound Yard	<a href="#">(12)</a>	<a href="#">(9)</a>	S
Towing Service without Storage	<a href="#">(13)</a>	<a href="#">(10)</a>	P
Truck Rental	<a href="#">(14)</a>		S
Truck Stop with Gasoline Sales and Accessory Services	<a href="#">(15)</a>	<a href="#">(11)</a>	S
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	2.02(I)	2.03(I)	
Asphalt or Concrete Batch Plant	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Bottle Works for Milk or Soft Drinks	<a href="#">(3)</a>		P
Brewery or Distillery	<a href="#">(4)</a>	<a href="#">(3)</a>	P
Carpet and Rug Cleaning	<a href="#">(5)</a>		P
Environmentally Hazardous Materials	<a href="#">(6)</a>	<a href="#">(4)</a>	S
Food Processing with No Animal Slaughtering	<a href="#">(7)</a>		P
Light Assembly and Fabrication	<a href="#">(8)</a>		P
Heavy Manufacturing	<a href="#">(9)</a>		S
Light Manufacturing	<a href="#">(10)</a>		P
Metal Plating or Electroplating	<a href="#">(11)</a>		S
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S
Printing and Publishing	<a href="#">(13)</a>		P
Salvage or Reclamation of Products Indoors	<a href="#">(14)</a>		P
Salvage or Reclamation of Products Outdoors	<a href="#">(15)</a>		S
Sheet Metal Shop	<a href="#">(16)</a>		P
Tool, Dye, Gauge and/or Machine Shop	<a href="#">(17)</a>		P
Welding Repair	<a href="#">(18)</a>		P
Winery	<a href="#">(19)</a>	<a href="#">(6)</a>	P
<b>WHOLESALE, DISTRIBUTION AND STORAGE LAND USES</b>	2.02(J)	2.03(J)	
Cold Storage Plant	<a href="#">(1)</a>		P
Heavy Construction/Trade Yard	<a href="#">(2)</a>		P
Mini-Warehouse	<a href="#">(4)</a>	<a href="#">(1)</a>	P
Outside Storage and/or Outside Display	<a href="#">(5)</a>	<a href="#">(2)</a>	P
Recycling Collection Center	<a href="#">(6)</a>		P
Warehouse/Distribution Center	<a href="#">(7)</a>		P
Wholesale Showroom Facility	<a href="#">(8)</a>		P
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	2.02(K)	2.03(K)	
Airport, Heliport or Landing Field	<a href="#">(1)</a>		S
Antenna, as an Accessory	<a href="#">(2)</a>	<a href="#">(1)</a>	P

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## PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13,</a> <a href="#">Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04,</a> <a href="#">Permissible Uses</a> ]	LIGHT INDUSTRIAL (LI) DISTRICT
Commercial Antenna	<a href="#">(3)</a>	<a href="#">(2)</a>	S
Antenna, for an Amateur Radio	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Antenna Dish	<a href="#">(5)</a>	<a href="#">(4)</a>	A
Commercial Freestanding Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	P
Mounted Commercial Antenna	<a href="#">(7)</a>	<a href="#">(6)</a>	P
Bus Charter Service and Service Facility	<a href="#">(8)</a>		P
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		P
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
Trucking Company	<a href="#">(19)</a>		P
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		P
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		P
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S
Wireless Communication Tower	<a href="#">(24)</a>		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO LIGHT INDUSTRIAL (LI) DISTRICT FOR A 6.60-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 21 & 21-01 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBITS 'A' & 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS the City Council has received a request from the Applicant for a Zoning Change from Agricultural (AG) District to Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, and being more specifically described and depicted in Exhibit 'A' of this Ordinance and the Subject Property and the City Council has determined that such a change is in the best interests of the City of Rockwall, Texas;

WHEREAS the City Council has reviewed the Unified Development Code (UDC) Ordinance No. 20-02 and the City Council has determined that the City of Rockwall, Texas, is in need of an ordinance that will amend the UDC Ordinance No. 20-02 to provide for a change in zoning from Agricultural (AG) District to Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, and being more specifically described and depicted in Exhibit 'A' of this Ordinance and the Subject Property and the City Council has determined that such a change is in the best interests of the City of Rockwall, Texas;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) Ordinance No. 20-02 be amended to provide for a change in zoning from Agricultural (AG) District to Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, and being more specifically described and depicted in Exhibit 'A' of this Ordinance and the Subject Property and the City Council has determined that such a change is in the best interests of the City of Rockwall, Texas;

SECTION 2. That the Subject Property be zoned as Light Industrial (LI) District and the City Council has determined that such a change is in the best interests of the City of Rockwall, Texas, and the City Council has determined that such a change is in the best interests of the City of Rockwall, Texas, and the City Council has determined that such a change is in the best interests of the City of Rockwall, Texas, and the City Council has determined that such a change is in the best interests of the City of Rockwall, Texas;

**SECTION 3.** That the City Council of the City of Rockwall, Texas, hereby ordains and enacts the following ordinance:

**SECTION 4.** A person who is convicted of the offense of [illegible] shall be fined not more than [illegible] or imprisoned not more than [illegible], or both, and shall be liable for the costs of prosecution. *Two Thousand Dollars (\$2,000.00)* shall be the maximum fine for this offense.

**SECTION 5.** It is the intent of the City Council of the City of Rockwall, Texas, in enacting this ordinance, to amend Chapter [illegible], Article [illegible], Section [illegible], of the City Charter of the City of Rockwall, Texas, to read as follows: [illegible]

**SECTION 6.** That the City Council of the City of Rockwall, Texas, hereby ordains and enacts the following ordinance: [illegible]

**SECTION 7.** That the City Council of the City of Rockwall, Texas, hereby ordains and enacts the following ordinance: [illegible]

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4<sup>th</sup> DAY OF DECEMBER, 2023.**

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
Krishna T. [illegible] City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank G. [illegible] City Attorney

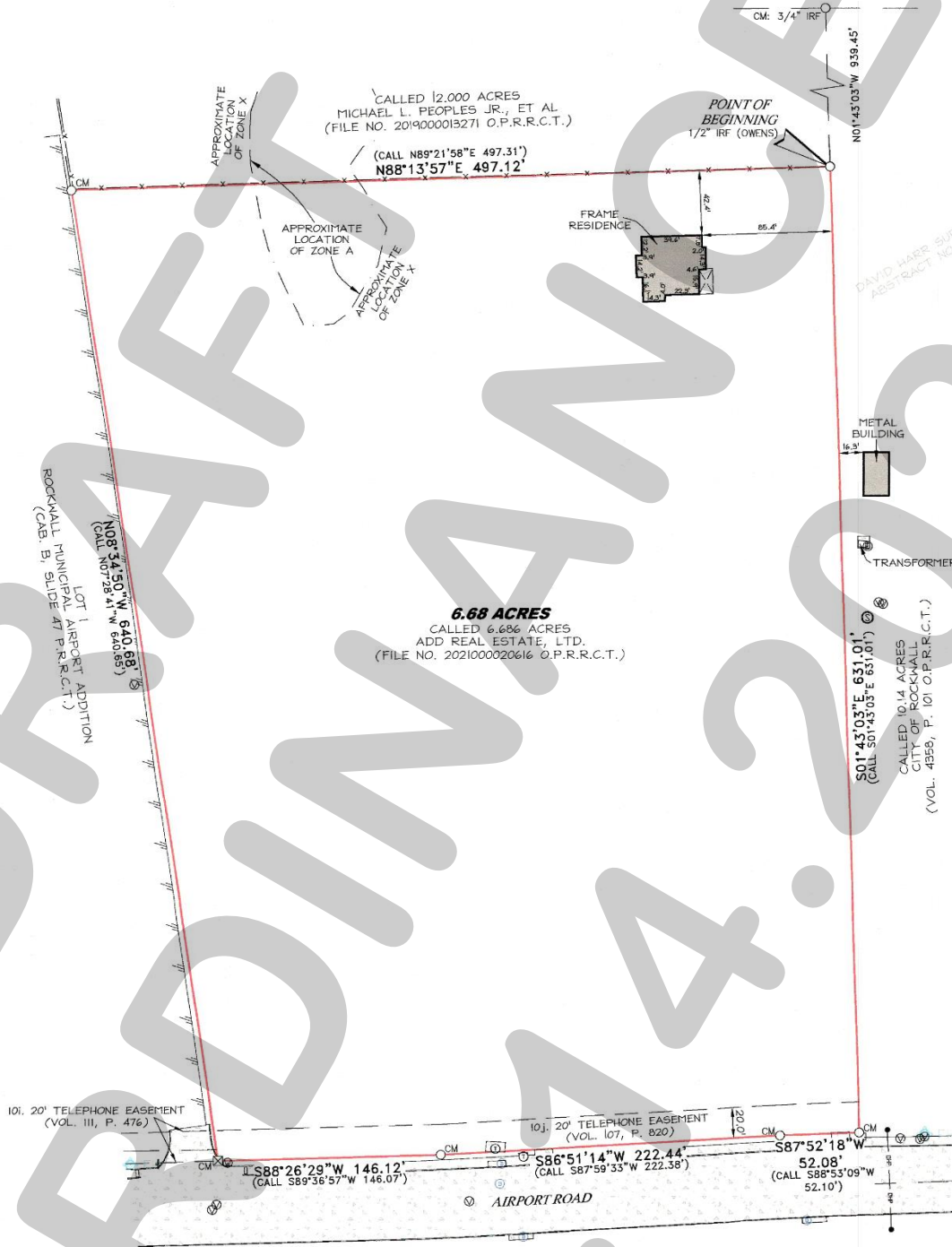
Read and approved on November 20, 2023

Read and approved on December 4, 2023

# Exhibit 'A'

## Zoning Exhibit

Legal Description: Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102



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Ord 00000 N 0000-XX 0



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Salvador Salcedo  
**CASE NUMBER:** SP2023-032; *Site Plan for 855 Whitmore Drive*

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### SUMMARY

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 zoning map the subject property was zoned Light Industrial (LI) District, which remains the zoning designation of the subject property today. In March of 1978, the subject property was platted establishing it as Lot 1, Block A, Municipal Industrial Park Addition. On March 19, 2007, the City Council approved a replat [*Case No. P2007-008*] that establish the subject property as Lot 8, Block A, Municipal Industrial Park Addition. On May 2, 2016, the City Council approved an additional replat [*Case No. P2016-017*] that establish the subject property as Lot 10, Block A, Municipal Industrial Park Addition. The subject property has remained vacant since the time of annexation.

### PURPOSE

On September 15, 2023, the applicant -- *Salvador Salcedo*. -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office/Warehouse Building* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 855 Whitmore Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 1.747-acre tract of land (*i.e. Tract 24 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Beyond this is a vacant 1.83-acre tract of land (*i.e. Tract 14 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Following this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this is Phase 3 of the Park Place Subdivision, which consists of 85 residential lots and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 15.7017-acre tract of land (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*) zoned Light Industrial (LI) District. Following this is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.96-acre parcel of land (*i.e. Lot 11, Block A, Municipal Industrial Park Addition*) zoned Light Industrial (LI) District. Beyond this is a 3.35-acre parcel of land (*i.e. Lot 5, Block A, Municipal Industrial Park Addition*) developed with a maintenance building for Rockwall County that is zoned Light



Industrial (LI) District. Following this is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.19-acre parcel of land (*i.e. Lot 9, Block A, Municipal Industrial Park Addition*) developed with a *Bail Bond Service* that is zoned Light Industrial (LI) District. Beyond this is T. L. Townsend Drive, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 13.368-acre parcel of land (*i.e. Lot 2, Block A, Rockwall County Law Enforcement Center Addition*) developed with the Rockwall County Detention Center, which is zoned Commercial (C) District and Light Industrial (LI) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is a permitted *by-right* land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=19,737 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	100-Feet	X= 120.95-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	125-Feet	X=160-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X=45.6-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=25.13%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/500 SF (10 Required)	X=11; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	15%	X=47%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	90-95%	X=53%; <i>In Conformance</i>

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates a total of 40 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 68 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

**CONFORMANCE WITH THE CITY’S CODES**

The applicant is requesting to construct an *Office/Warehouse Building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a “... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ...” In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use...” In this case, the applicant’s request for an *Office/Warehouse Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ...” and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required the landscaping and berm to

satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

### **(1) Building Articulation.**

- (a) Primary and Secondary Building Facades. According to Subsection 05.01 (C), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), for primary building facades a wall projection should extend 25.00% of the wall height above and away from the wall, and for secondary building facades a wall projection should extend 15.00% of the wall height above and away from the wall. In this case, the proposed building does not meet the projection requirements. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variations*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variations and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variations and exceptions. At this time the applicant is not proposing any compensatory measures. That being said, requests for exceptions and variations to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "...is composed of a wide range of land uses that vary from single-family to industrial." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing an *Office/Warehouse Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that staff should "...encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan goes on to state that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks - - or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to building articulation requirements and has failed to incorporate any horizontal articulation or relief to the proposed building. The lack of design appears to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On September 26, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations and made the following recommendations: [1] meet the roof pitch and material requirements, [2] dress up the front façade, [3] meet the articulation requirements, and [4] attempt to match the style of the building west of the subject property.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *Office/Warehouse Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 855 Whitmore

SUBDIVISION \_\_\_\_\_

LOT 10

BLOCK A

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_

CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Salvador Salcedo

APPLICANT Salvador Salcedo

CONTACT PERSON \_\_\_\_\_

CONTACT PERSON \_\_\_\_\_

ADDRESS 210 Cedar Tree Ln

ADDRESS 210 Cedar Tree Ln

CITY, STATE & ZIP Heath Tx 75032

CITY, STATE & ZIP Heath Tx 75032

PHONE 214 552 2008

PHONE 214 552 2008

E-MAIL salvasalce@novaairac.com

E-MAIL salvasalce@novaairac.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

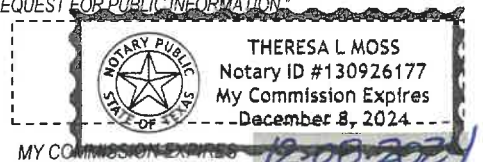
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 210.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF September, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF September, 2023

OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]  
[Signature]



0 15 30 60 90 120 Feet

SP2023-032: Site Plan for 855 Whitmore Drive



Case Location Map = 



# City of Rockwall

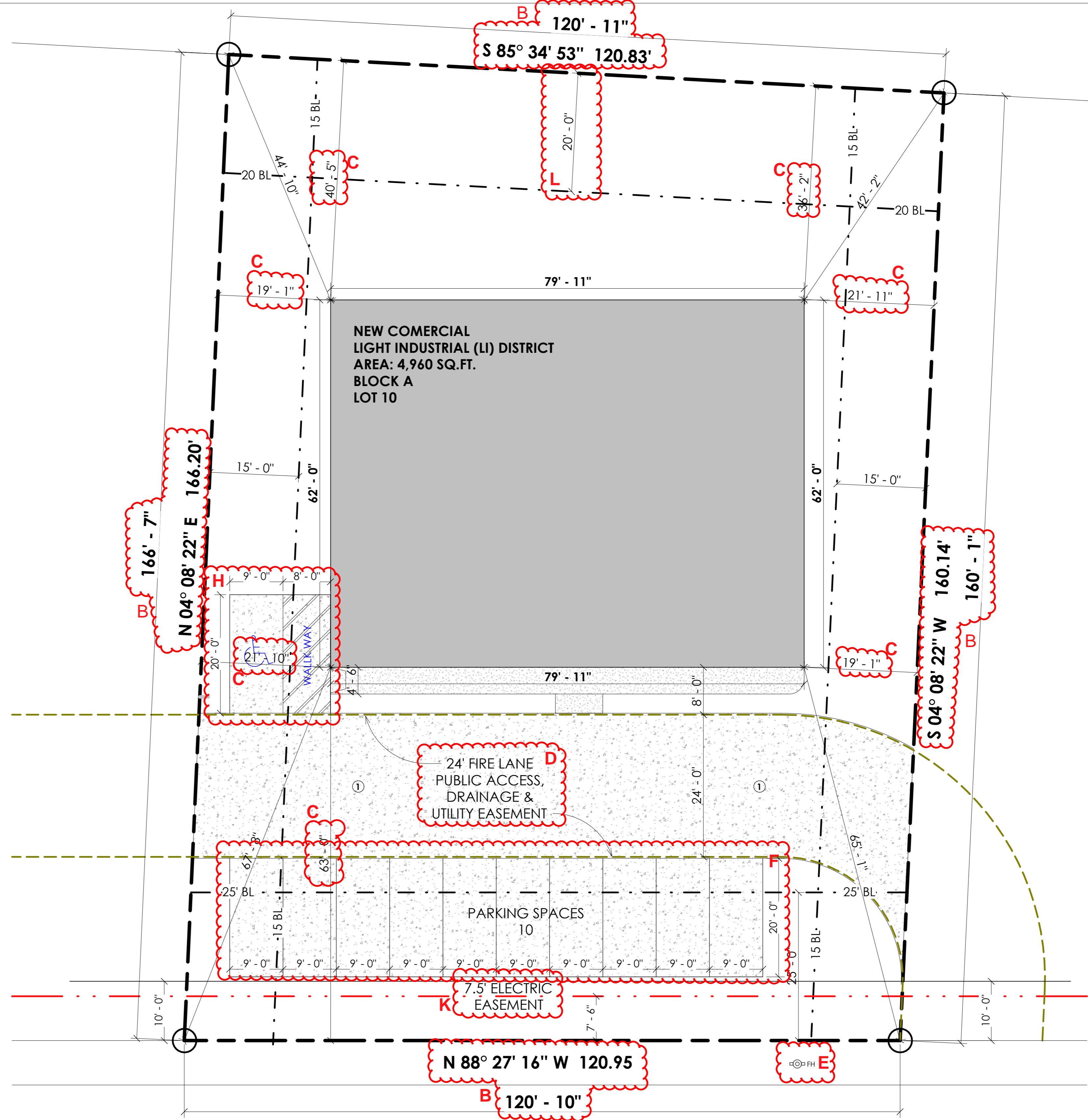
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

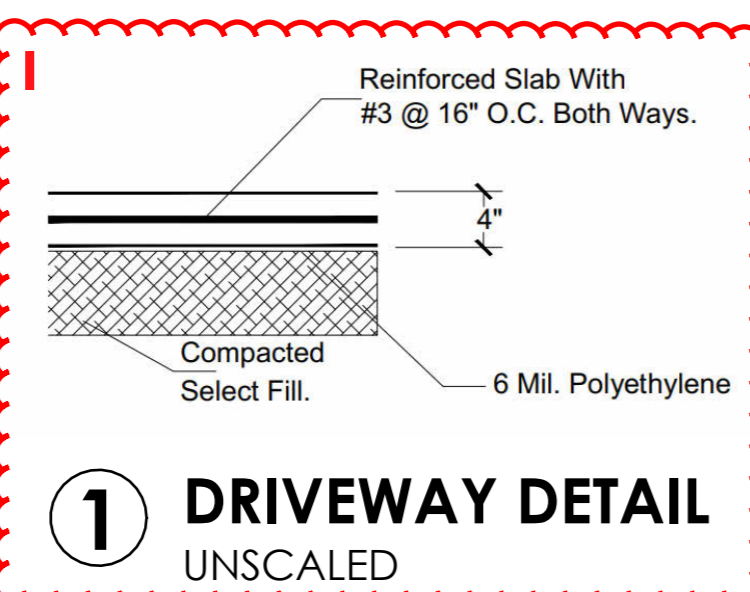


**GENERAL PROJECT NOTES**

- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
- DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATER PROOFING ON THIS PROJECT
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
- DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR VARIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSIBLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- WEATHERSTRIP ATTIC ACCESS DOORS(S).
- CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS. PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS PATIOS AND STUCCO WALLS
- PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
- THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1'12". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP. THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
- ALL FIREPLACES TO HAVE 20" DEEP HEARTH & 12" NON-COMBUSTIBLE SURROUND
- ALL OVERHANGS TO BE 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
- U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
- ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
- THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGNER.
- ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
- CHIMNEY CAP TO BE BUILT WITH NON COMBUSTIBLE MATERIALS.
- LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
- PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
- ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
- PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
- ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF STUDS AND/ OR STONE VENEER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY ERRORS OR DISCREPANCY OF DIMENSIONS, CLEARANCES, OR OTHER ITEMS AS SHOWN OR NOTED IN THESE DRAWINGS.
- COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
- HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY DESIGNER OR GENERAL CONTRACTOR. SYSTEM SHALL HAVE A S.E.F.R. RATING OF 14 OR AS REQUIRED BY LOCAL BUILDING CODES. UNITS SHALL BE DESIGNED WITH TWO ZONES AS DIRECTED BY CONTRACTOR. PROVIDE ALL SUCTION LINES FROM UNITS TO EXTERIOR CONDENSOR UNITS AS INDICATED ON SITE PLAN. PROVIDE 4" THICK CONCRETE PADS WITH 6x6X10 WWF REINFORCING. LOCATE AIR HANDLING UNITS IN ATTIC SPACE NEAR RETURN AIR CHASES AS INDICATED ON THE FLOOR PLAN.



**SITE PLAN**  
 NOTE: THERE IS NO EXTERNAL STORAGE.



**PARKING REQUIREMENT SCHEDULE**

INDUSTRIAL AND MANUFACTURING LAND USES (LI)	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee <sup>183</sup>
Heavy Manufacturing	1/500 SF or 0.75/Employee <sup>183</sup>
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee <sup>1</sup>
Welding Repair	1/500 SF or 1/2 Employees <sup>1</sup>

**USE OF STRUCTURE**  
 CONSTRUCTION TYPE: LI  
 LIGHT INDUSTRIAL  
 NO. STORIES: ONE  
 HEIGHT: 60' 0"  
 SETBACKS  
 FRONT: 25' 0"  
 SIDE: 15' 0"  
 REAR: 20' 0"  
 MAX. LOT COVERAGE: 60%

**PLANE DATE.**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,960 SQ.FT.
DRIVEWAY	2,974 SQ.FT.
PARKING	2,140 SQ.FT.
WALKING AREA	385 SQ.FT.
TOTAL COVERED AREA	10,459 SQ.FT.
COVERAGE PERCENT	52%

**PROJECT:** NEW COMMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

**OWNER:** SALVADOR SALCEDO NOVA AIR LLC

**LOCATION:** 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
 33 09 ELM ST # 250 Dallas, Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THERE OF SHOWN IN THE DOCUMENTS. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:** GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACCORD WITH ALL APPLICABLE CODES.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. ORDERING DRAWINGS SHALL BE SCALED BEFORE PROCEEDING WITH ANY WORK. ORDERING OF MATERIALS BY THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**LEGEND**

CM	CONTROLLING MONUMENT	CONCRETE	
○	5/8" IRON ROD FOUND	BUILDING	
⊗	"X" FOUND IN CONCRETE	PORCH, DECK, ETC.	
○	POINT FOR CORNER	OHT	OVERHEAD TELEPHONE
□	FIBER OPTIC PEDESTAL	OHP	OVERHEAD ELECTRIC
○	POWER POLE	---	ELECTRIC EASEMENT
---	FIRE LANE	---	METAL FENCE
⊙	WATER METER	---	WOOD FENCE
⊙	TELE. MANHOLE	⊙	SANITARY SEWER MANHOLE
⊙	TELE. VAULT	⊙	STORM DRAIN MANHOLE
⊙	VACUUM	♿	HANDICAP PARKING
⊙	LP LIGHT POLE	E	ELECTRIC BOX
⊙	UNDERGROUND ELECTRIC	⊙	CLEANOUT
⊙	PROPOSAL FIRE HYDRANT	⊙	TELEPHONE PEDESTAL
⊙	GAS METER	⊙	CABLE PEDESTAL
⊙	WATER VALVE	---	ASPHALT PAVING/ GRAVEL

**DIRECTION:**

**REV. N°:** 1    **DATE:** 09/22/2023    **COMMENTS:**  
 A) Numerical and graphic scale added  
 B) The perimeter dimension of the added property  
 C) Distance is added between the property lines and the proposed building.  
 D) the fire lane is added as fire lane, public access and public service easement.  
 E) proposed fire hydrants  
 F) All parking spaces must be 9x20  
 G) Parking table indicating required parking added  
 H) the indicated disabled parking spaces  
 I) type and depth of all aggregate parking materials  
 J) provide a note that there will be no external storage  
 K) 7.5' electrical easement along Whitmore Drive frontage  
 L) existing 20' drainage easement along the back of the property added  
 M) article 11 subsection 08.04 (C)(Nonrequired fences in the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) Districts.

**EXPIRATION DATE:** PAPER SIZE 36X24

**PLAN:** **SITE PLAN**

**DATE:** 04/11/2022    **A1**

**DRAW BY:** F.G.M    **SHEET 01 OF 00**

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



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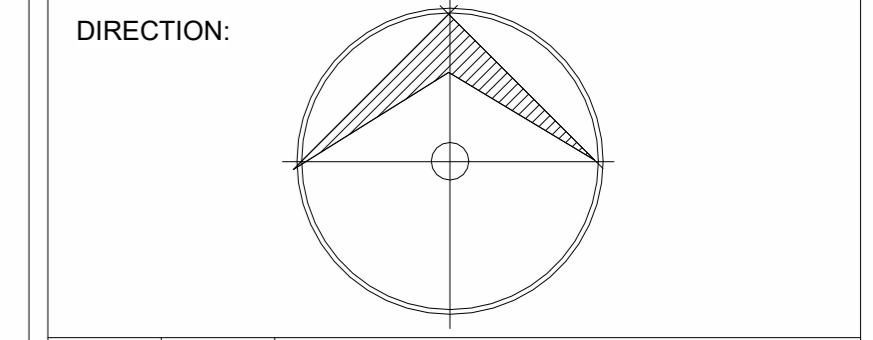
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 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 13- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL CONDITIONS.

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MATERIALS	
SYMBOL	SPECIFICATION
1	METAL STANDING SEAM
2	STONE
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STEEL
8	ASPHALT SHINGLES
9	BRICK

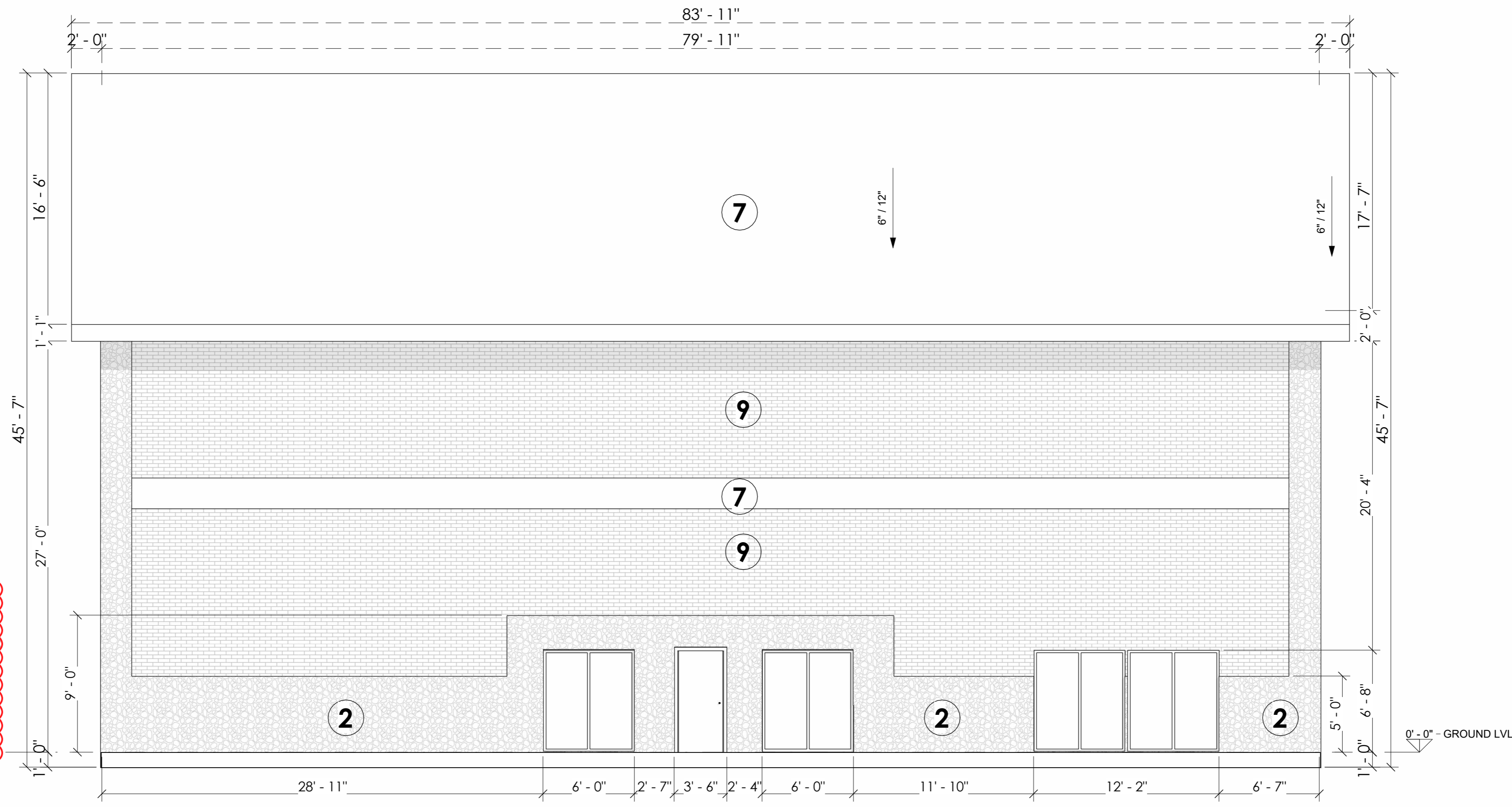


REV. NO.	DATE	COMMENTS
2	09/30/2023	a) INCLINACIÓN DEL TECHO CORREGIDA DE 3:12 A 6:12 b) THE WALL LENGTH REQUIREMENTS FOR THE NORTH, EAST, WEST AND SOUTH FACADES WERE CORRECTED c) THE MATERIALS AND PERCENTAGES OF MATERIALS WERE CORRECTED ACCORDING TO THE ESTABLISHED REQUIREMENTS
3	11/06/2023	A) TABLE OF AREAS AND PERCENTAGE OF MATERIALS WAS ADDED

EXPIRATION DATE:  
 PAPER SIZE 36X24

PLAN:  
**ELEVATIONS**

DATE: 04/11/2022  
 DRAW BY: F.G.M  
 SHEET 04 OF 00

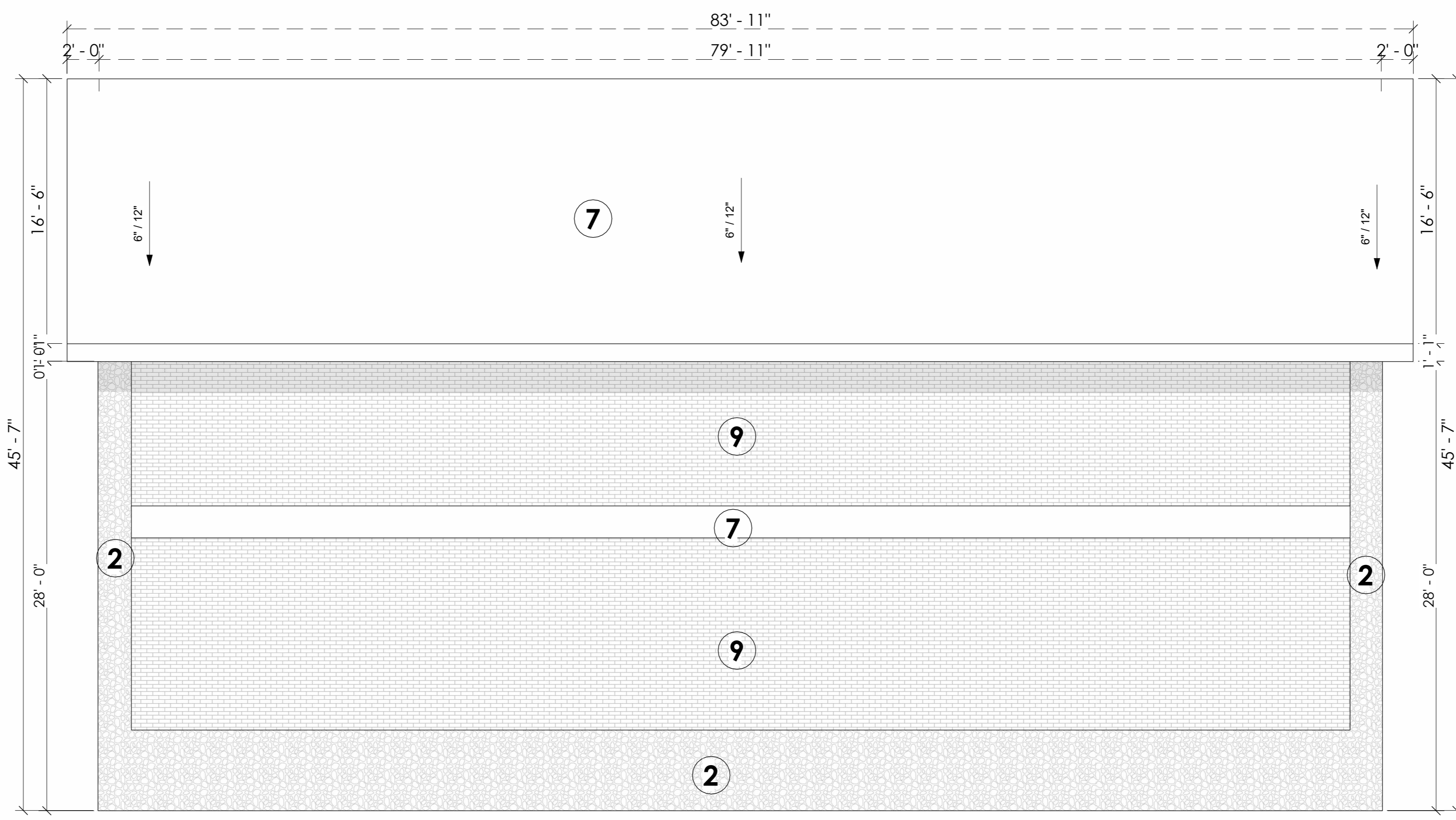


**A**

AREA AND PERCENTAGE OF MATERIALS		
	TOTAL AREA	PERCENTAGE
FRONT ELEVATION	1,973 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	471 S.Q. F.T.	92.0 %
9 BRICKS	1,396 S.Q. F.T.	70.7 %
2 NATURAL STONE	421 S.Q. F.T.	21.3 %
7 SECONDARY MATERIAL	151 S.Q. F.T.	8.0 %
TOTAL	2,280 S.Q. F.T.	100 %

**FRONT ELEVATION**

3/16" = 1' 0"



**A**

AREA AND PERCENTAGE OF MATERIALS		
	TOTAL AREA	PERCENTAGE
FRONT ELEVATION	2,160 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	471 S.Q. F.T.	93.0 %
9 BRICKS	1,594 S.Q. F.T.	70.6 %
2 NATURAL STONE	491 S.Q. F.T.	22.4 %
7 SECONDARY MATERIAL	151 S.Q. F.T.	7.0 %
TOTAL	2,280 S.Q. F.T.	100 %

**REAR ELEVATION**

3/16" = 1' 0"

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas, Texas, 75228  
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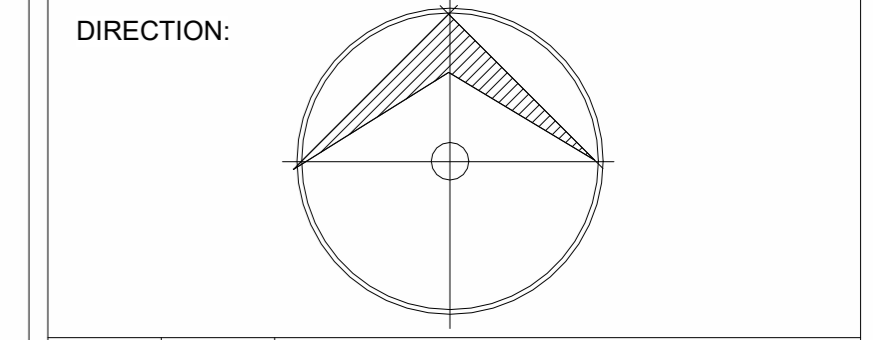
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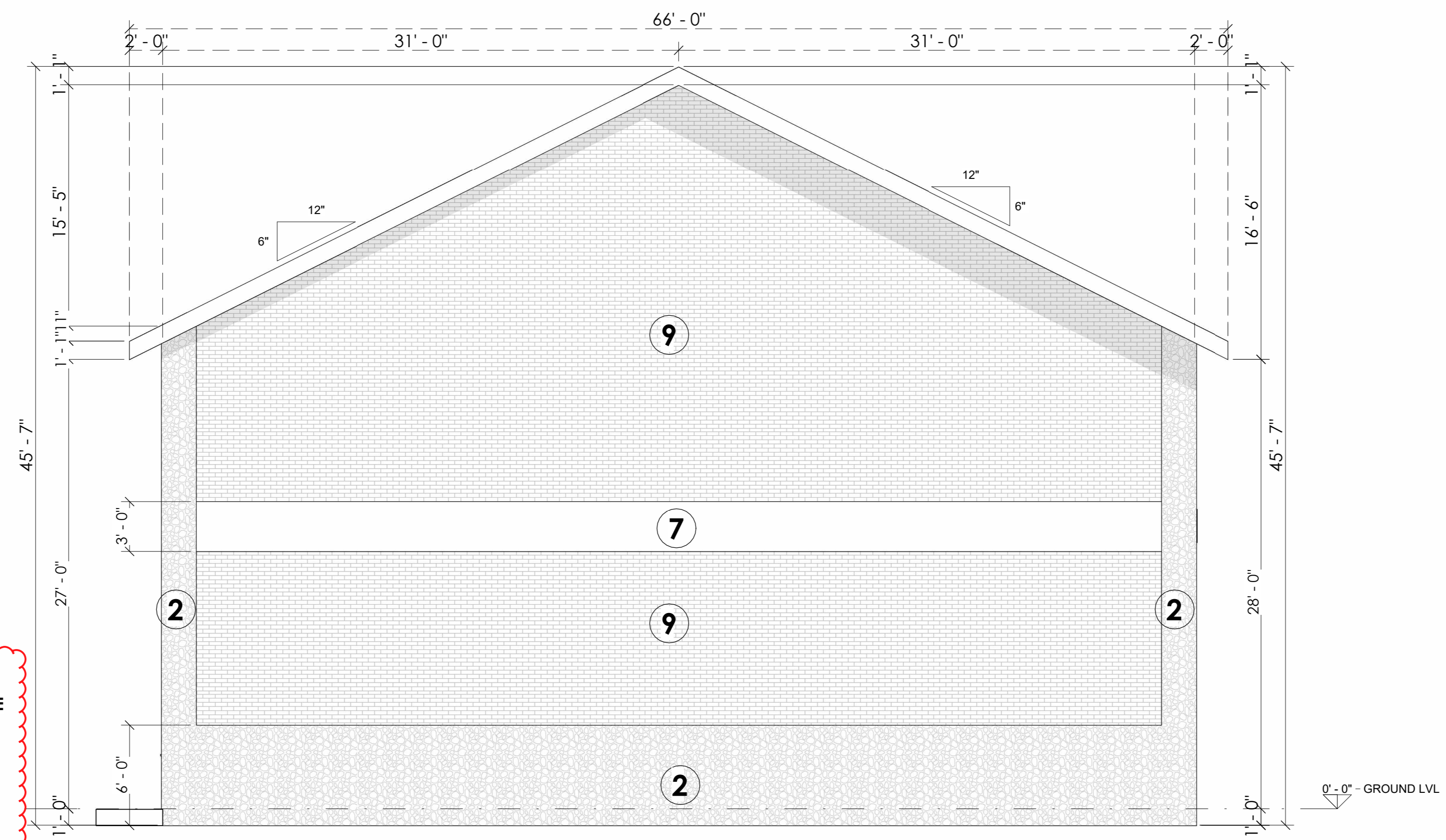


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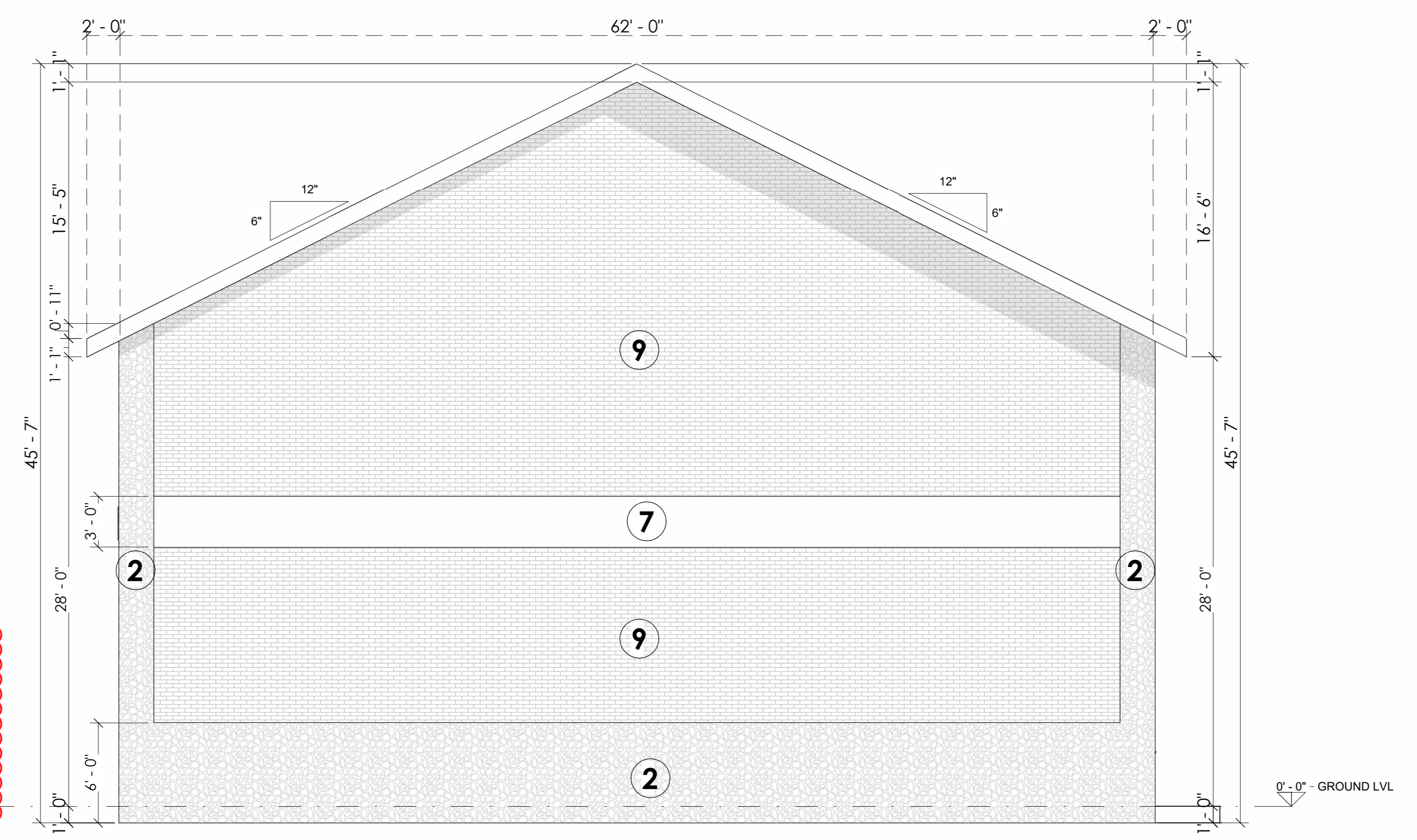


**A**

AREA AND PERCENTAGE OF MATERIALS		
	TOTAL AREA	PERCENTAGE
RIGHT ELEVATION	2,280 S.Q. F.T.	100 %
MASONRY MATERIALS	471 S.Q. F.T.	92.6 %
BRICKS	1,636 S.Q. F.T.	71.8 %
NATURAL STONE	471 S.Q. F.T.	20.6 %
SECONDARY MATERIAL	173 S.Q. F.T.	7.5 %
TOTAL	2,280 S.Q. F.T.	100 %

**RIGHT ELEVATION**

3/16" = 1' 0"



**A**

AREA AND PERCENTAGE OF MATERIALS		
	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	2,280 S.Q. F.T.	100 %
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NATURAL STONE	471 S.Q. F.T.	20.6 %
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TOTAL	2,280 S.Q. F.T.	100 %

**LEFT ELEVATION**

3/16" = 1' 0"





**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN)
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, 15 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
- ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, 15 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, 18 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" AWAY FROM THE WALKS
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH EMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E.G. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC)

5. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.

6. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).

7. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS, OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.

8. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 50 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.

9. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**MULCHES**  
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**ROOT BARRIERS**  
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

**IRRIGATION CONCEPT**  
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.  
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.  
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.  
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.  
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.  
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**LANDSCAPE STANDARDS**

**05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.**

TOTAL SITE AREA: ±19,737 SQ.FT.  
LANDSCAPE AREA REQUIRED TOTAL SITE: 2,960 SQ.FT. (15%)  
LANDSCAPE PROVIDED, TOTAL SITE: 9,224 SQ.FT. (47%)

LOCATION OF LANDSCAPING: A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT. X 100% = 2,960 SQ.FT.

LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS: 5,804 SQ.FT. (37%)

MIN. SIZE OF AREAS: ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.

DETENTION BASIN: DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.

PROPOSED DETENTION BASIN: 2,960 SQ. FT.  
CANOPY TREES REQUIRED: 2,960 SQ. FT. / 750 SQ. FT. = 4 CANOPY TREE  
CANOPY TREES PROVIDED: 4 CANOPY TREE  
ACCENT TREES REQUIRED: 2,960 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE  
ACCENT TREES PROVIDED: 2 ACCENT TREE

PARKING LOT LANDSCAPING: PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5%) PERCENT OR 200 SF OF LANDSCAPING WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.

PROPOSED PARKING AREA: 2,140 SQ. FT.  
REQ. PARKING AREA LANDSCAPING: 60 SQ. FT. OR 200 SQ. FT.  
PROPOSED PARKING LOT LANDSCAPING: 1,400 SQ. FT.

PARKING SPACES: (1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT

TREES REQUIRED: 1 LARGE CANOPY TREE  
TREES PROVIDED: 2 LARGE CANOPY TREE

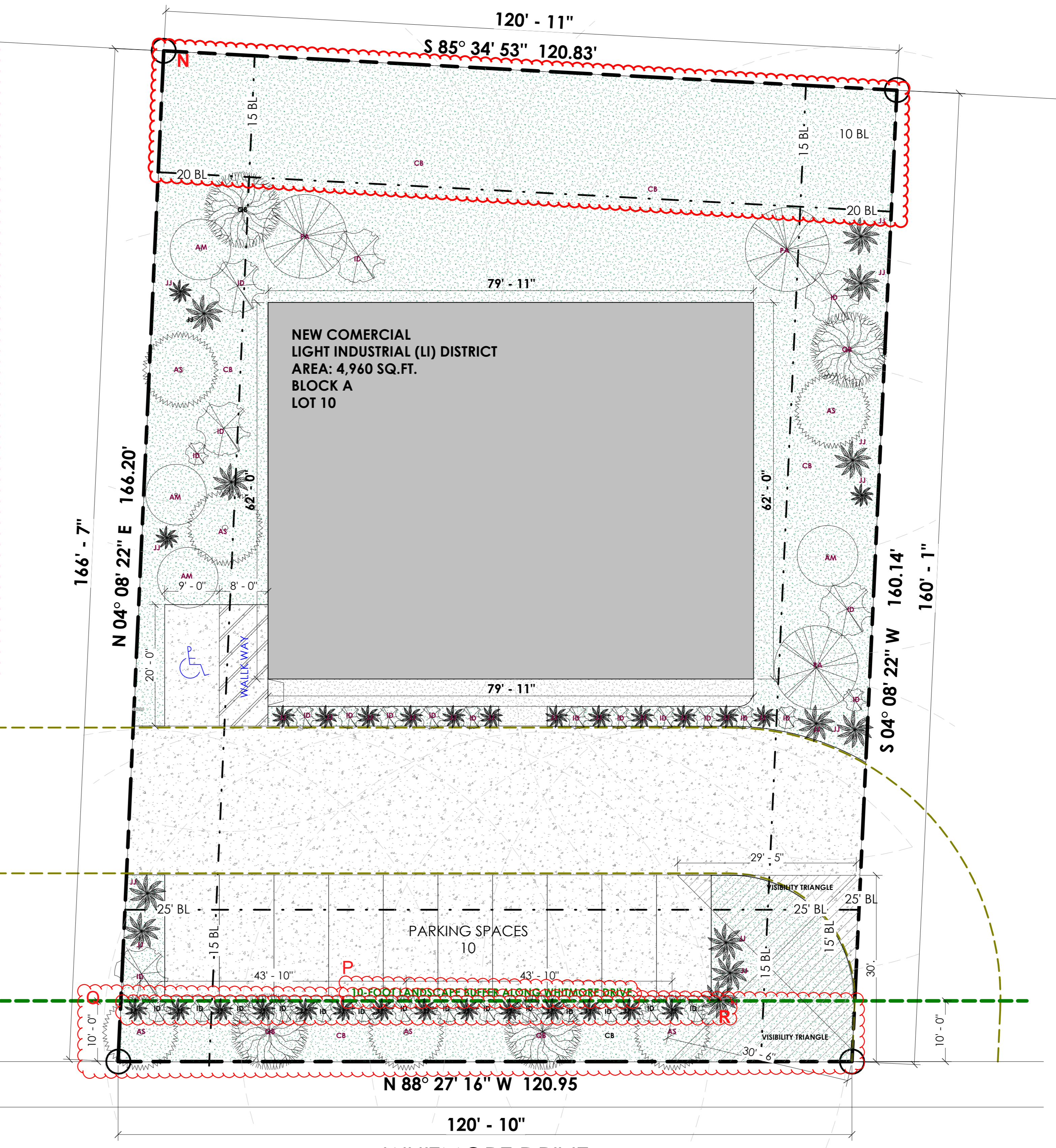
05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL: INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FOOT ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION:  
TWO (1) CANOPY TREES  
FOUR (2) ACCENT TREES SHALL BE PLANTED PER 100-FOET OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.

4207' STREET FRONTAGE  
REQUIRED PLANTING:  
PROVIDED 10' BUFFER:  
SHRUBS

BASED ON CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

**PLANT SCHEDULE**

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
QB		4	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14' MIN
AM		4	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	4" CAL	CONT.	12' MIN
PA		3	PINUS ELDARICA /AFGHAN PINE	4" CAL	CONT.	12' MIN
AS		6	ACER TRUNCATUM/ SHANTUNG MAPLE	4" CAL	CONT.	12' MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		30	ILEX VOMITORIA 'NANA' / DWARF YAUPON HOLLY	5 GAL.	36" OC	24" MIN
JJ		46	JUNIPERUS SP. /JUNIPER	5 GAL.	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CB		9,924 SQ.FT	CYNODON DACTYLON / BERMUDA GRASS	SOND		



**LANDSCAPE PLAN**

**NOTE:** THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC.

**SITE PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,960 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	9,224 SQ.FT. (47%)
DRIVEWAY	2,974 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	10,459 SQ.FT.
COVERAGE PERCENT	52%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO NOVA AIR LLC

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

**gamma GROUP**

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DIRECTION:

REV. N°	DATE	COMMENTS
1	09/22/2023	N) Trees can't block drainage swale O) removed requirements and details related to Ranch Trail from the landscape table. P) 10-foot landscape buffer along Whitmore Drive outlined Q) The 10-foot landscape buffer zone must include one (1) canopy tree and one (1) accent tree per 50 linear feet R) Tabular must be continuous along parking spaces to protect headlights from the right-of-way S) note that irrigation will meet the requirements of the aggregate UDC

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **LANDSCAPE PLANTING PLAN**

DATE: 05/01/2023 **LP1**

DRAW BY: F.G.M SHEET 12 OF 15

**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- "FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

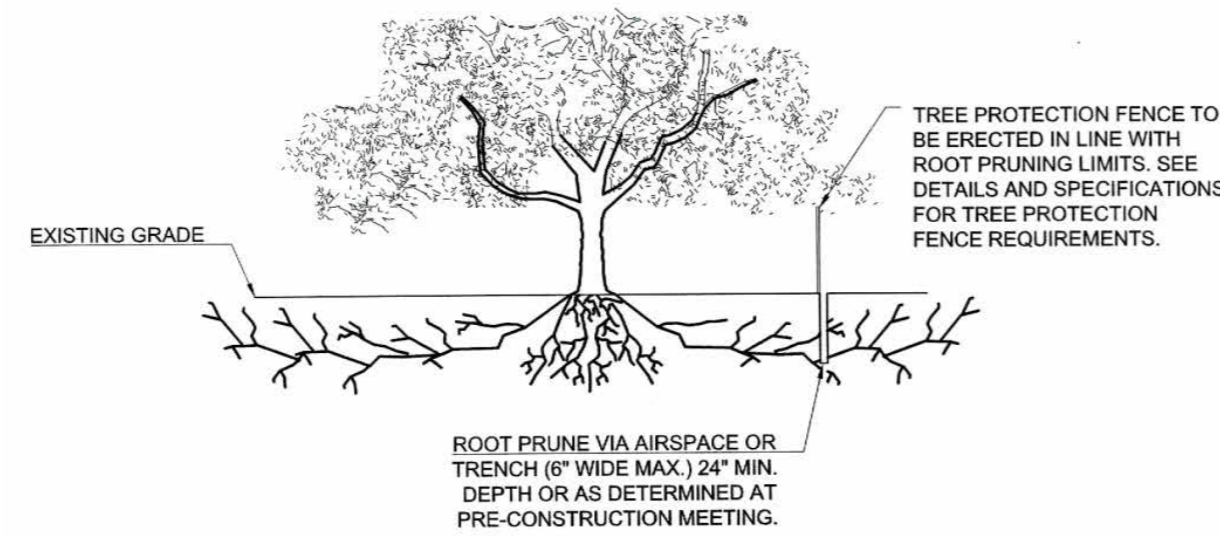
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCINGS SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO FROM THE TRUNK FOR EVERY 1° OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 5 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION WITHIN THE CRZ.

- DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
- DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
- DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
- DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE. INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM, WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT GUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

**TREE PROTECTION GENERAL NOTES**

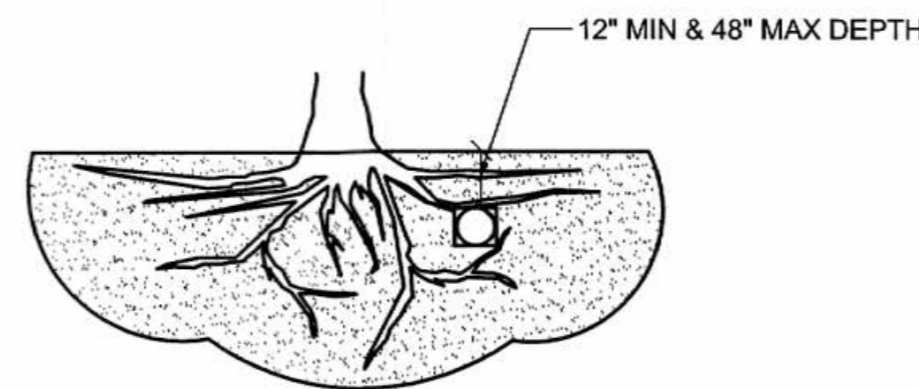
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED, WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



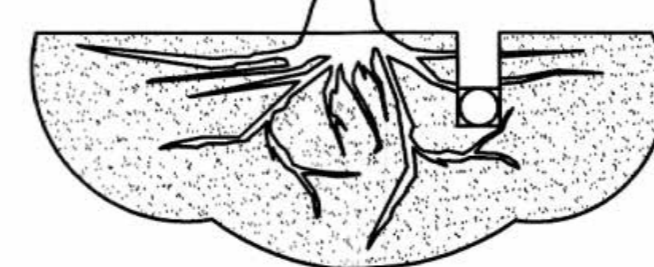
**ROOT PRUNING DETAIL**

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.

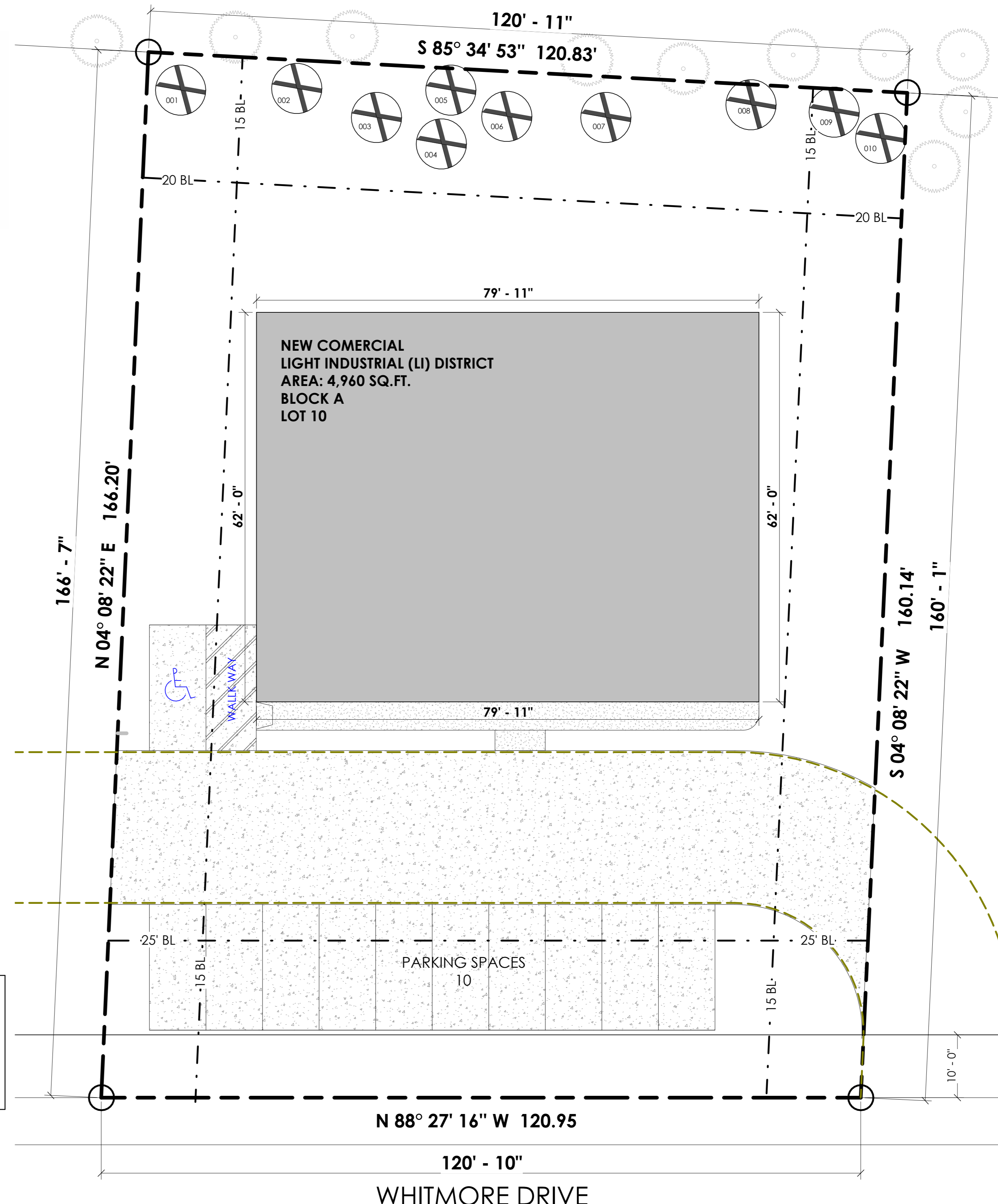


**BORING THROUGH ROOT PROTECTION ZONE**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE** 10
- EXISTING TREE TO BE REMOVED** 10



**LANDSCAPE PLAN**

3/32" = 1' 0"

**TREE MIGRATION SUMMARY**

TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL. MITIGATION TREES (5) ON SITE	21"

**SITE PLANE DATE**

SIZE OF LOT	16,602 SQ.FT.
BUILDING	4,960 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,490 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	9,924 SQ.FT. (59%)
DRIVEWAY	2,974 SQ.FT.
PARKING	1,296 SQ.FT.
TOTAL COVERED AREA	9,230 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO NOVA AIR LLC

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas, Texas, 75228  
www.gammagroup-usa.com  
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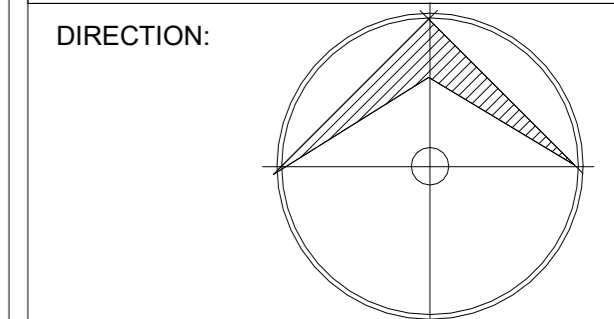
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**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED



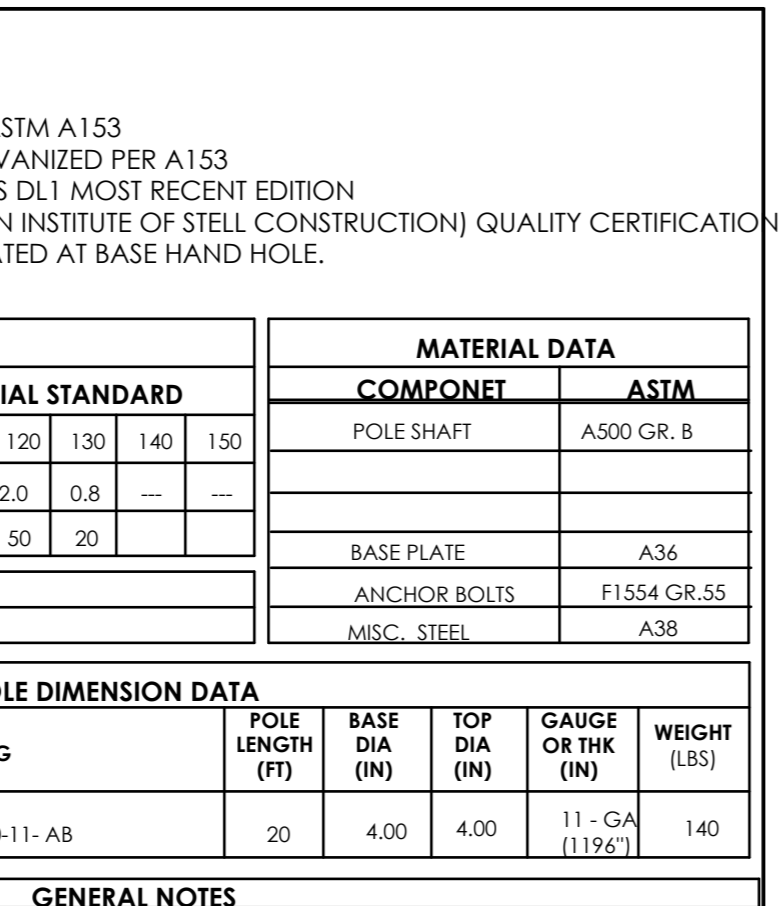
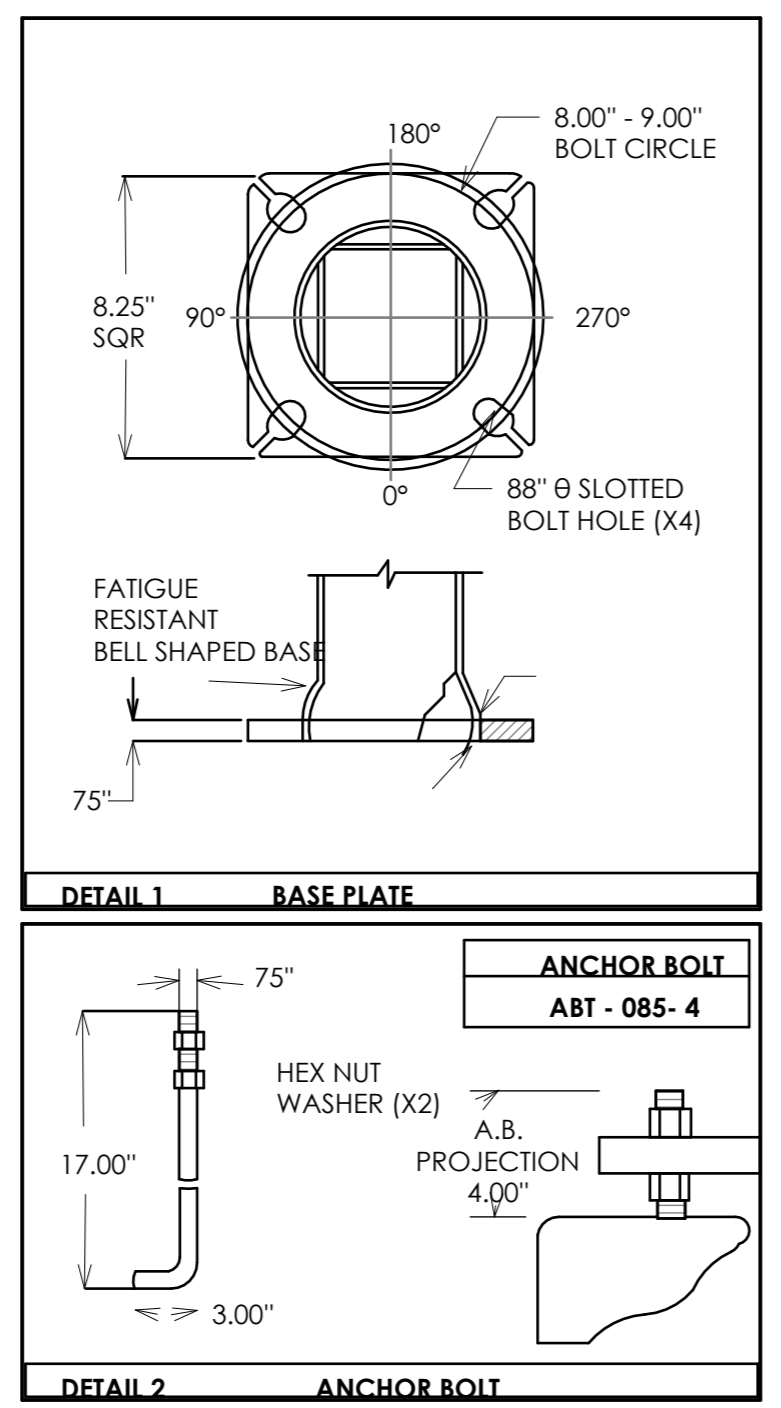
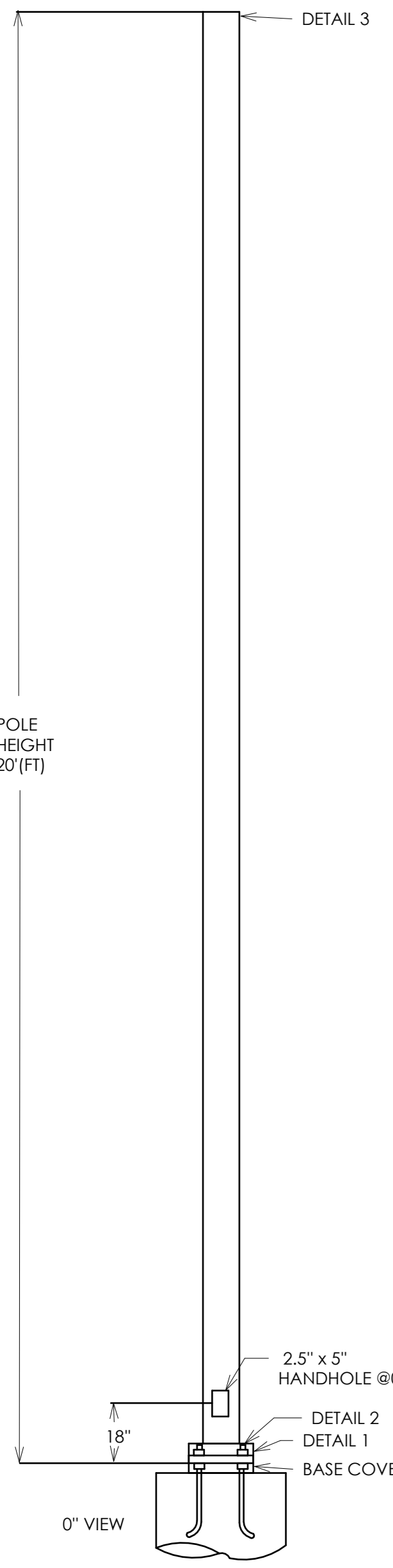
REV. NO.	DATE	COMMENTS
1	09/22/2023	T) provide a table showing the total inches of trees that were will be removed and the total inches of trees that will be replaced.

EXPIRATION DATE: PAPER SIZE 36X24

**PLAN: TRESCAPE PLAN DETAILS & SPECIFICATIONS**

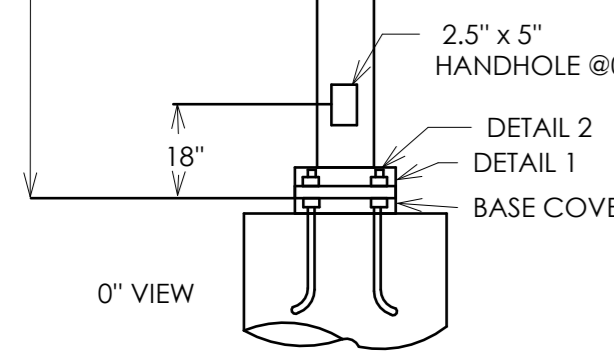
DATE: 05/01/2023  
DRAW BY: F.G.M. SHEET 13 OF 15

**TD1**



1) HARDWARE TO BE GALVANIZED TO ASTM A153  
 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153  
 3) ALL WELDING TO CONFORM TO: AWS D11 MOST RECENT EDITION  
 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION  
 5) PROVISIONS FOR CROWDING LOCATED AT BASE HAND HOLE.

LOADING DATA		MATERIAL DATA				
DESIGN CRITERIA:	COMMERCIAL STANDARD	COMPONENT	ASTM			
SPEED (mph)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B			
EPA FT:	9.6 6.7 4.5 3.5 2.0 0.8 --- ---	BASE PLATE	A36			
WEIGHT (lbs)	240 167 150 88 50 20 --- ---	ANCHOR BOLTS	F1554 GR.55			
FINISH		MISC. STEEL	A38			
TBD						
POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA (IN)	TOP DIA (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-11-AB	20	4.00	4.00	11 - GA (1196)	140



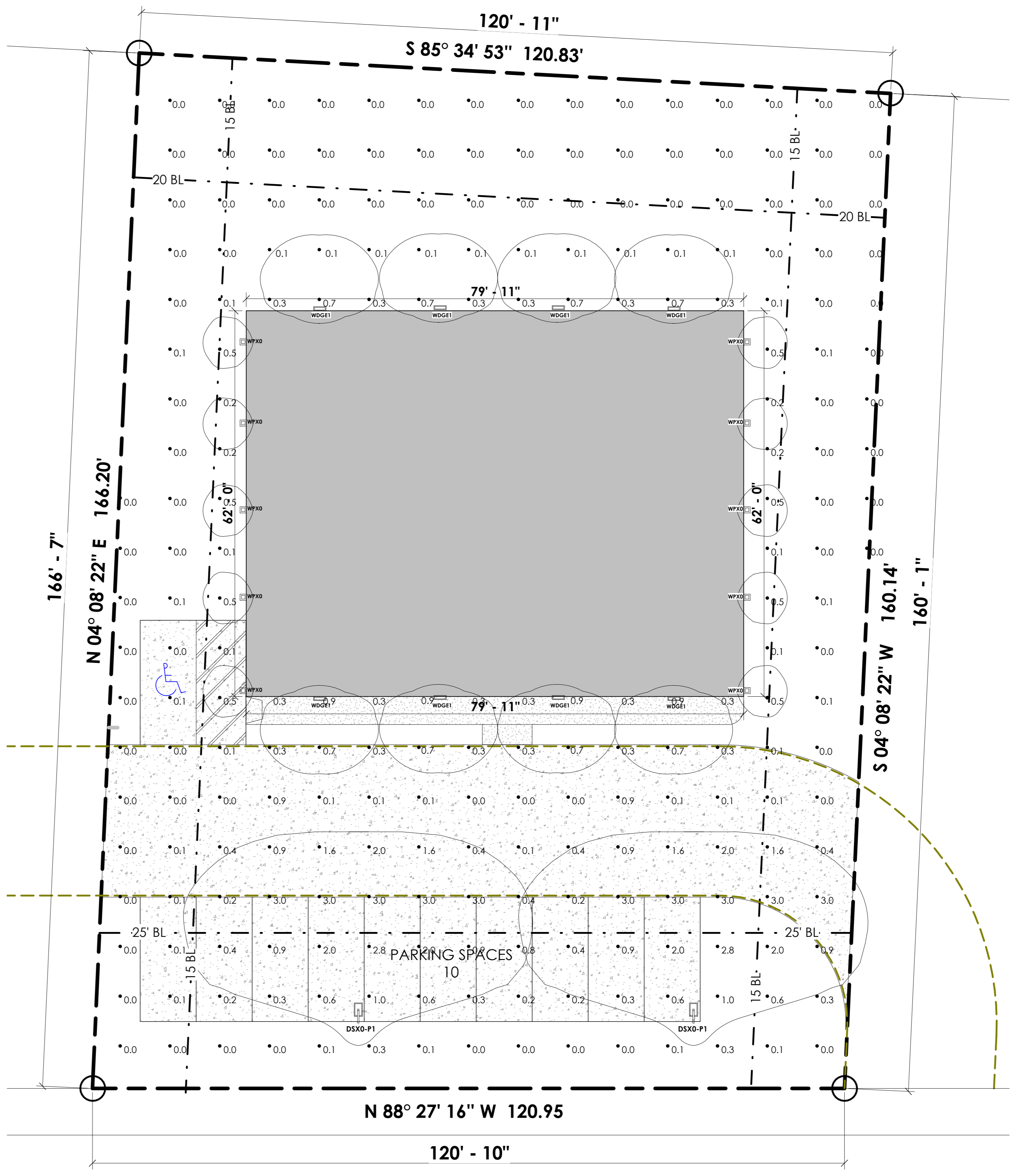
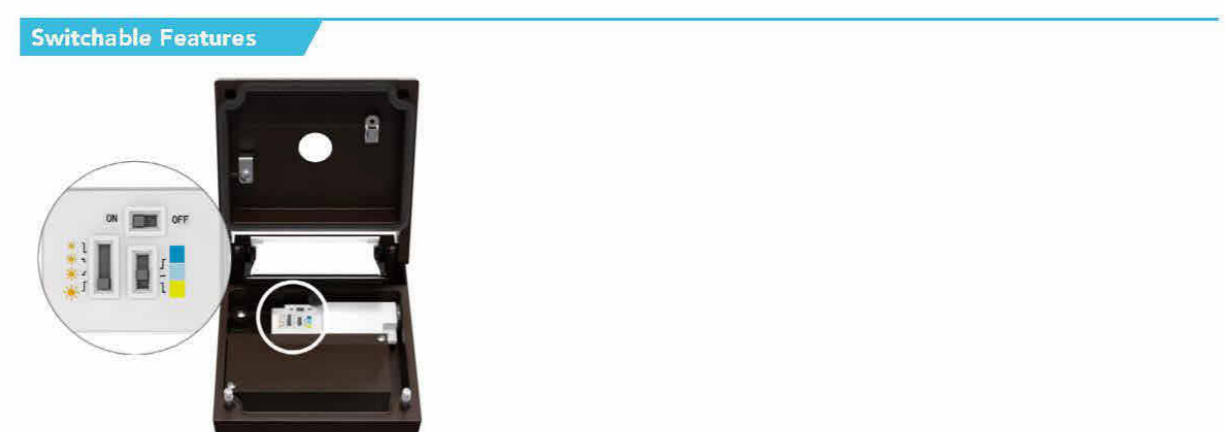
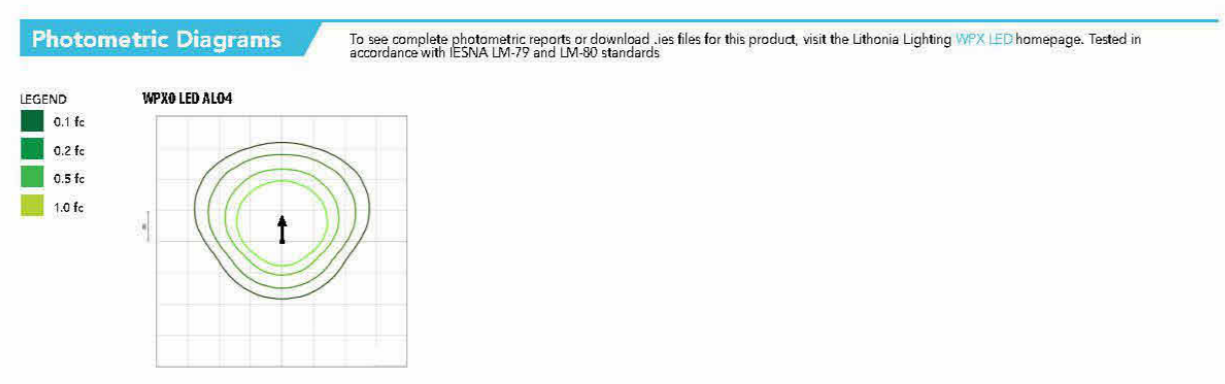
**Introduction**  
 The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both in-ID wall pack replacement and new construction opportunities. Available in four sizes, the WPX family delivers 850 to 9,200 lumens with a wide, uniform distribution. The WPX0 full cut-off wall pack is an excellent choice for the door lighting solution. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as Adjustable Lumen Output (ALCO), color switching and switchable photocell make WPX0 ideal for any application.

**Performance Data**

Electrical Load		Lumen Output		Lumen Ambient Temperature (LAT) Multipliers	
Alt Setting	Input Power (W)	150V (L)	240V (R)	Ambient	Product
AL04	13.0	0.11	0.06	0.85	0.85
AL03	9.2	0.08	0.04	0.84	0.81
AL02	7.8	0.07	0.04	0.83	0.81
AL01	6.4	0.05	0.03	0.82	0.81

**Projected LED Lumen Maintenance**  
 Data references the anticipated performance projections in a 25°C ambient based on 8,000 hours of LED testing (per IESNA LM-80) and projected per IESNA TM-31-11.  
 To calculate LED lumen maintenance factor that corresponds to the desired number of operating hours, please refer to the IESNA LM-80 test report.

Operating Hours	Lumen Maintenance Factor
10,000	>69%
75,000	>68%
100,000	>68%



**SITE PHOTOMETRICS PLAN**  
 3/32" = 1' 0"

**LUMINAIRE SCHEDULE**

SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSX0-P1	P	2	2 DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONIA LIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD / WDGE1 LED ARCHITECTURAL WALL SCONCE (LITHONIA LIGHTING)	7,200	24	1.000	0.800	1.000
WPX0	W	10	WPX0 LED ALO SSWW2 MVOLT PE DDBXD / WPX0 LED WALL PACK (LITHONIA LIGHTING)	6,940	20	1.000	0.850	1.000

**PROJECT:** NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE  
**OWNER:** SALVADOR SALCEDO NOVA AIR LLC  
**LOCATION:** 855 WHITMORE DRIVE, ROCKWALL, TX

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**NOTES:**

- SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
- MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
- LUMINAIRE DESCRIPTION DOES NOT NECESSARILY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALESPERSON FOR VERIFICATION.
- LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY.
- FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
- CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE.

**DIRECTION:**

REV. NO.	DATE	COMMENTS

**EXPIRATION DATE:** PAPER SIZE 36X24

**PLAN:** SITE PHOTOMETRICS & DETAILS

**DATE:** 05/01/2023 **E1**

**DRAW BY:** F.G.M. SHEET 14 OF 15





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Trenton Jones & Ben Sanchez; *Parkhill*  
**CASE NUMBER:** SP2023-034; *Site Plan for Rockwall County Courthouse Annex*

---

### SUMMARY

Consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Site Plan for a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

### BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the 1983 historic zoning map, at some point between January 3, 1972 and May 16, 1983 the property was zoned from Agricultural (AG) District to Commercial (C) District. On May 17, 2010, the City Council approved a final plat that establish the subject property as Lot 1, Block A, Rockwall County Courthouse Addition. According to the Rockwall Central Appraisal District (RCAD), a 121,208 SF *Government Facility* (i.e. *Rockwall County Courthouse*) was constructed in 2011.

### PURPOSE

On October 20, 2023, the applicants -- *Trenton Jones and Ben Sanchez of Parkhill* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Government Building* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located south of the intersection of T. L. Townsend Drive and E. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (i.e. *major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.485-acre parcel of land (i.e. *Lot 10, Block A, First United Methodist Church Addition*) developed with a *Church/House of Worship*. Beyond this is a vacant 9.001-acre parcel of land (i.e. *Lot 11, Block A, First United Methodist Church Addition*). Both of these properties are zoned Commercial (C) District.

South: Directly south of the subject property are several parcels of land developed with commercial land uses (i.e. *Office, Retail, General Personal Service, Animal Hospital, Car Wash, & Car Dealership*), and zoned Commercial (C) District. Beyond this is the intersection of S. Goliad Street [*SH-205*] and E. Interstate 30 [*IH-30*], where S. Goliad Street [*SH-205*] is classified as a P6D (i.e. *principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 5.909-acre parcel of land (i.e. *Lot 5, Block A, Rockwall Library Addition*) developed with a *Public Library* and zoned Commercial (C) District. Beyond this is T. L. Townsend Drive, which is classified as a A4D (i.e. *major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan

contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 4.194-acre parcel of land (i.e. Lot 1, Block A, Emerus Emergency Hospital) developed with a Hospital and zoned Light Industrial (LI) District.

West: Directly west of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant parcels of land (i.e. Lot 11, Block A, First United Methodist Church Addition and Lot 6, Block 1, First United Methodist Church Addition). Following this are three (3) parcels of land developed with commercial land uses (i.e. Minor Automotive Repair, Restaurant with Drive-Through, and Convenience Store with Gasoline Sales). All of these properties are zoned Commercial (C) District. After this is S. Goliad Street [SH-205], which is classified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Government Facility* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=12.79-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 673.84-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=563.21-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X=15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=23.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=9.1%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (Office) 39 Required Parking Spaces	X=43; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=31.42%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=68.58%; In Conformance

**CONFORMANCE WITH THE CITY'S CODES**

The applicant is requesting to construct a *Government Facility* on the subject property. According to Subsection 02.02(C)(12), *Government Facility*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Government Facility* is defined as "(a)n office of a governmental agency that provides administrative and/or direct services to the public..." In this case, the applicant's proposed use falls under this classification, which is permitted by-right within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

**VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

- (1) Architectural Standards.
  - (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on

all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the proposed building exceeds the wall length requirement, “...the maximum wall length shall not exceed three (3) times the wall height.” This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (b) Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20.00% natural or quarried stone is required on all building façades.” In this case the applicant has not met this requirement on the north and west building façades. This will require a *variance* from the Planning and Zoning Commission.
  - (c) Masonry Material. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a minimum of 90.00% masonry material must be utilized on each building façade. In this case the applicant has not met this requirement on the north and west building façades. This will require a *variance* from the Planning and Zoning Commission.
  - (d) Tilt-Up Wall. According to Section 06.01(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), concrete tilt-up walls are not a permitted material. The applicant is proposing the use of tilt-up wall construction for the building, and the amount of exposed tilt-up wall is 24.90% (*on the west building elevation*) and 58.60% (*on the north building elevation*). This will require a *variance* from the Planning and Zoning Commission.
  - (e) Roof Pitch. According to Subsection 04.01(A)(1), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides.” In this case, the applicant is doing a pitched roof system where the canopies have a 4:12 pitch. This will require an *exception* from the Planning and Zoning Commission.
- (2) Landscape Buffer. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a landscape buffer shall have a “...minimum of one (1) canopy tree and one (1) accent tree...per 50-linear feet...” Given this, the applicant is required to have eight (8) canopy and eight (8) accent trees. That being said, the applicant is requesting not to plant the canopy trees and have 16 accent trees due to overhead power lines. This will require an *exception* from the Planning and Zoning Commission.
- (3) Driveway Spacing. According to *Figure 2.4: Minimum Driveway Spacing and Corner Clearance*, of Chapter 2, *Streets*, of the Engineering Department’s *Standards of Design and Construction Manual*, driveways must be 100-feet apart. In this case, the applicant is adding an additional drive along E. Yellow Jacket Lane that is less than 100-feet to another existing drive. This will require a *variance* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] providing a 15-foot landscape buffer in lieu of a ten (10) foot, and [2] providing 31.40% landscaping in lieu of the required 20.00%. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Central District and is designated for Public land uses. According to the *District Strategies* this land use designation should “... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures.” That being said, the subject property is located within a cluster of Public and



Quasi-Public land uses. Given this, the proposed request is in conformance with the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board and provide material variation on the north and west facades. The applicant has made the requested changes on the north façade, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Government Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION** [PLEASE PRINT]

ADDRESS 1111 E Yellow Jacket Ln, Rockwall, TX 75037

SUBDIVISION Rockwall County Courthouse Addition

LOT 1

BLOCK A

GENERAL LOCATION Grass area 300 ft NW of County Clerk Building

**ZONING, SITE PLAN AND PLATTING INFORMATION** [PLEASE PRINT]

CURRENT ZONING Commercial

CURRENT USE Commercial

PROPOSED ZONING Commercial

PROPOSED USE Commercial

ACREAGE 1.9 acres (Total Disturbed area)

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall County

APPLICANT Parkhill

CONTACT PERSON Frank New

CONTACT PERSON Trenton Jones, Ben Sanchez

ADDRESS 101 East Rusk St

ADDRESS 3000 Internet Blvd  
Suite 550

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Frisco, TX 75034

PHONE 972-204-6000

PHONE 972-987-1670

E-MAIL fnew@rockwallcountytexas.com

E-MAIL tjones@parkhill.com, bsanchez@parkhill.com

**NOTARY VERIFICATION** [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE

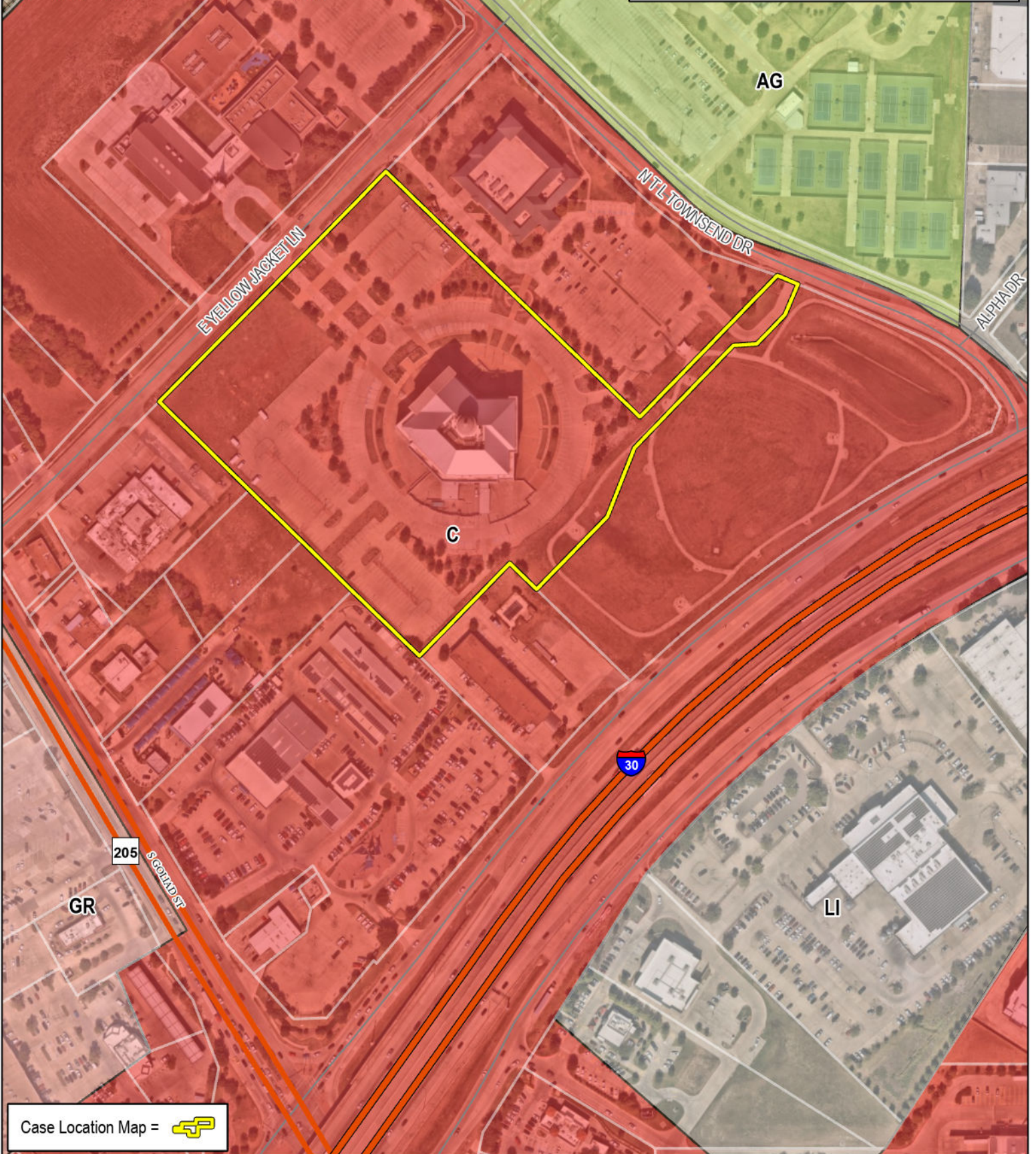


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



SP22023-034: Site Plan for Rockwall County Annex



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



November 7, 2023

City of Rockwall  
Planning Department  
385 S. Goliad Street  
Rockwall, Texas 75069

RE: Letter of Intent - Design Exceptions Request

Dear Mr. Lee:

Parkhill, as the representative for Rockwall County, previously submitted an application for site plan approval for the Rockwall County Courthouse Annex. The property is located at 1101 E. Yellow Jacket Lane Rockwall Texas, 75087. The application has been identified as case number SP2023-034.

The project consists of adding a Courthouse Annex Building, parking, utilities, and connection to the existing Rockwall County complex. As discussed previously with the city of Rockwall Planning Department, Parkhill was aware that multiple design exceptions would be necessary as part of this Site Plan Submission. Per our previous discussions with the city of Rockwall Planning Department, we would like to submit the following design exception requests:

- Articulation Standards (Subsection 04.01. C. of Article 05, UDC)
  - Building footprint is nearly at maximum building size allowed. There is no primary building entrance along East Yellow Jacket, our main façade faces in toward the existing parking.
- Exterior Walls consist of 90% Masonry (Subsection 06.02. C. of Article 05, UDC)
  - Total of 60% Masonry provided. Design intent is to closely relate to the adjacent County courthouse and library
- At least 20% Natural quarried stone on each façade (Subsection 06.02. C. of Article 05, UDC)
  - Providing 18.8%, 33%, 41.5%, and 6.4% to the façades, and a total percentage of 25.4%
- The minimum roof pitch for this zoning district is 6:12. (Subsection 04.01, of Article 05, UDC)
  - Mansard roof pitch to be 6:12, front overhangs to be 4:12.
- Landscape Exception requested to substitute 8 Accent Trees for the 8 Canopy Trees required along East Yellow Jacket Lane due to the existing overhead power line in right of way (Subsection 05.01.B of Article 8, UDC). The two proposed compensatory measures include:
  - 15-foot wide landscape buffer provided along East Yellow Jacket Lane instead of the ordinance required 10-foot wide buffer.
  - 31.4% (24,711 SF) of landscape area provided instead of the ordinance required 20% (15,729 SF).
- Driveway Spacing (Section 02.06, Standards of Design and Construction)
  - Seeking an exception from the driveway spacing requirement of 200 feet along Yellow Jacket Lane, to a spacing of 85 ft.
- 20ft minimum depth for all parking
  - Seeking an exception to the 20ft depth requirement for the parking lot area south of the proposed building, to 18 feet. The existing parking spaces in this area are 18ft x 9ft.

Please feel free to contact me if you have any questions regarding the applications for the Site Plan of the Rockwall County Courthouse Annex.

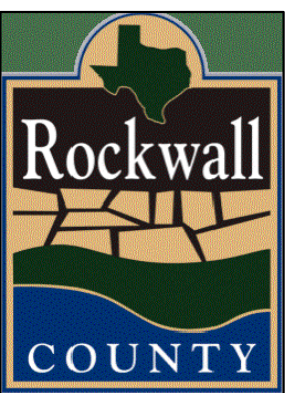
Sincerely,

PARKHILL

By *Ben Sanchez, P.E.*  
Ben Sanchez, PE  
Civil Engineer  
Authorized Representative/Applicant for Rockwall County

Enclosures

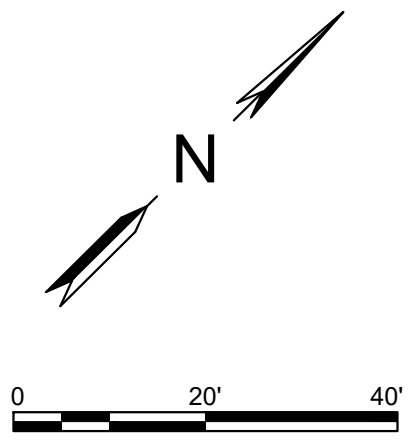
Cc: Files



**CLIENT**  
Rockwall County  
1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

**KEY PLAN**



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

## Site Plan CS101A

PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	29
PROPOSED REGULAR SPACES	15	40
ACCESSIBLE SPACES	3	4
<b>TOTAL SPACES</b>	<b>72</b>	<b>73</b>

### KEY NOTES

- AS INDICATED BY: (C)
- DRIVEWAY - SEE DETAIL B2/CS502
  - PARALLEL CURB RAMP - SEE DETAIL B4/CS501
  - STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
  - PARKING BLOCK - SEE DETAIL B3/CS501
  - HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
  - HANDICAP MARKING - SEE DETAIL A3/CS502
  - ACCESS AISLE MARKING - SEE DETAIL A2/CS502
  - HANDICAP SIGN - SEE DETAIL A1/CS502
  - RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

### SITE PLAN NOTES

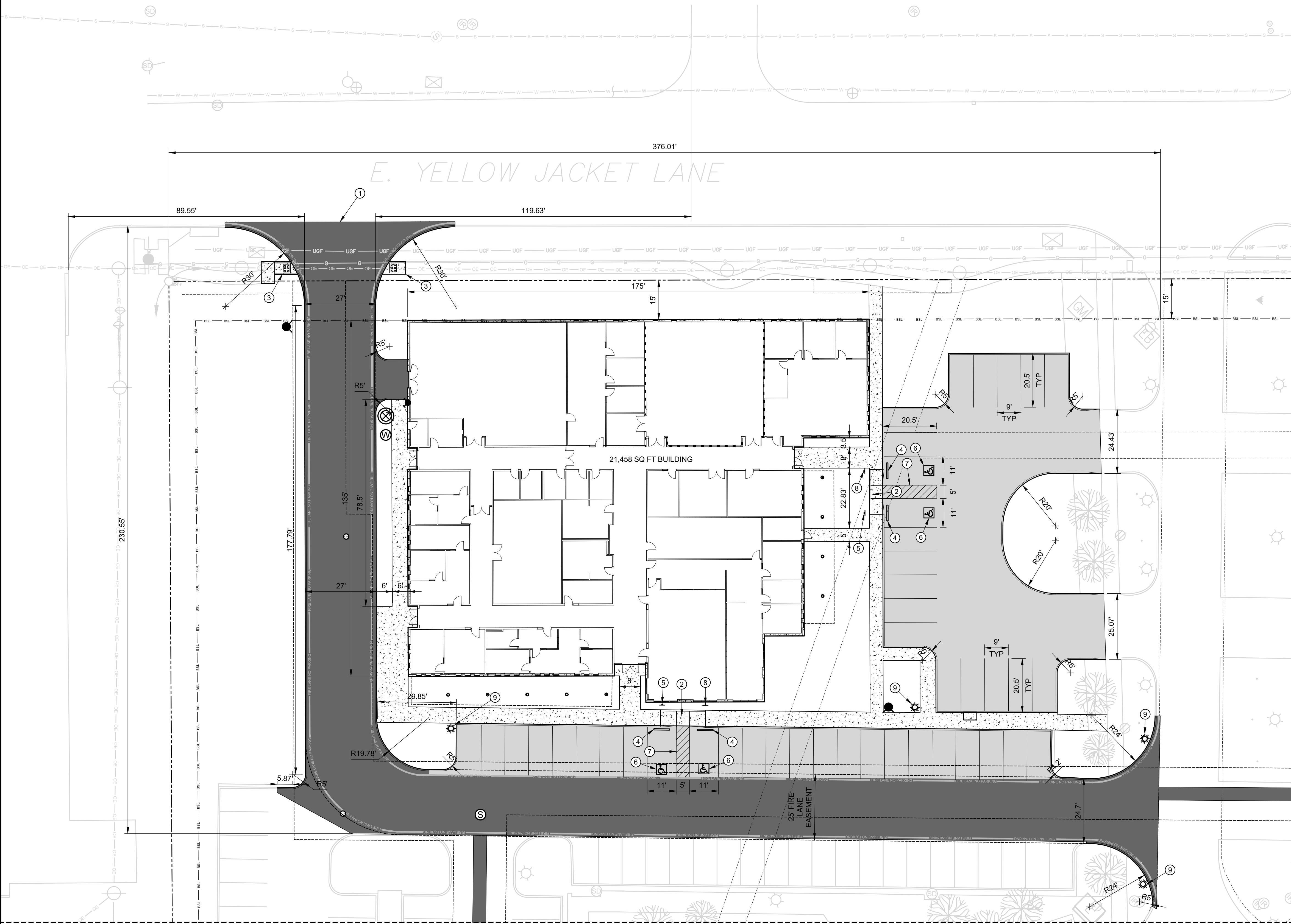
- FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
- STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW), PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
- CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

### LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
- EXISTING EASEMENT
- SIDEWALK - SEE DETAIL CS503
- 6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501
- 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501

### SIGNATURE BLOCK

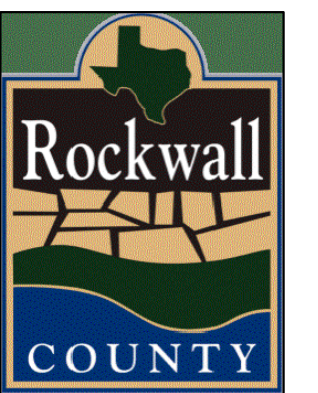
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



## A1 SITE PLAN

1" = 20'

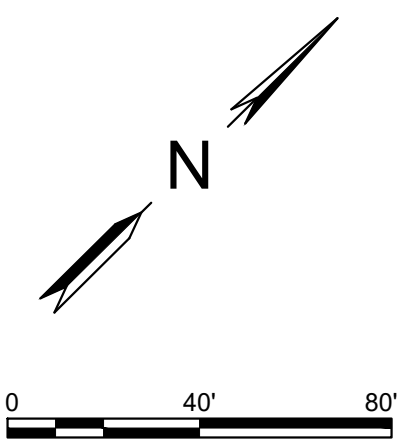
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**CLIENT**  
**Rockwall County**  
 1111 E Yellowjacket Lane  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

**KEY PLAN**



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

## Site Plan CS101B

PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	29
PROPOSED REGULAR SPACES	15	40
ACCESSIBLE SPACES	3	4
<b>TOTAL SPACES</b>	<b>72</b>	<b>73</b>

### KEY NOTES

- AS INDICATED BY: (C)
- DRIVEWAY - SEE DETAIL XX/CS501
  - PARALLEL CURB RAMP - SEE DETAIL B4/CS501
  - STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
  - PARKING BLOCK - SEE DETAIL B3/CS501
  - HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
  - HANDICAP MARKING - SEE DETAIL A3/CS502
  - ACCESS AISLE MARKING - SEE DETAIL A2/CS502
  - HANDICAP SIGN - SEE DETAIL A1/CS502
  - RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

### SITE PLAN NOTES

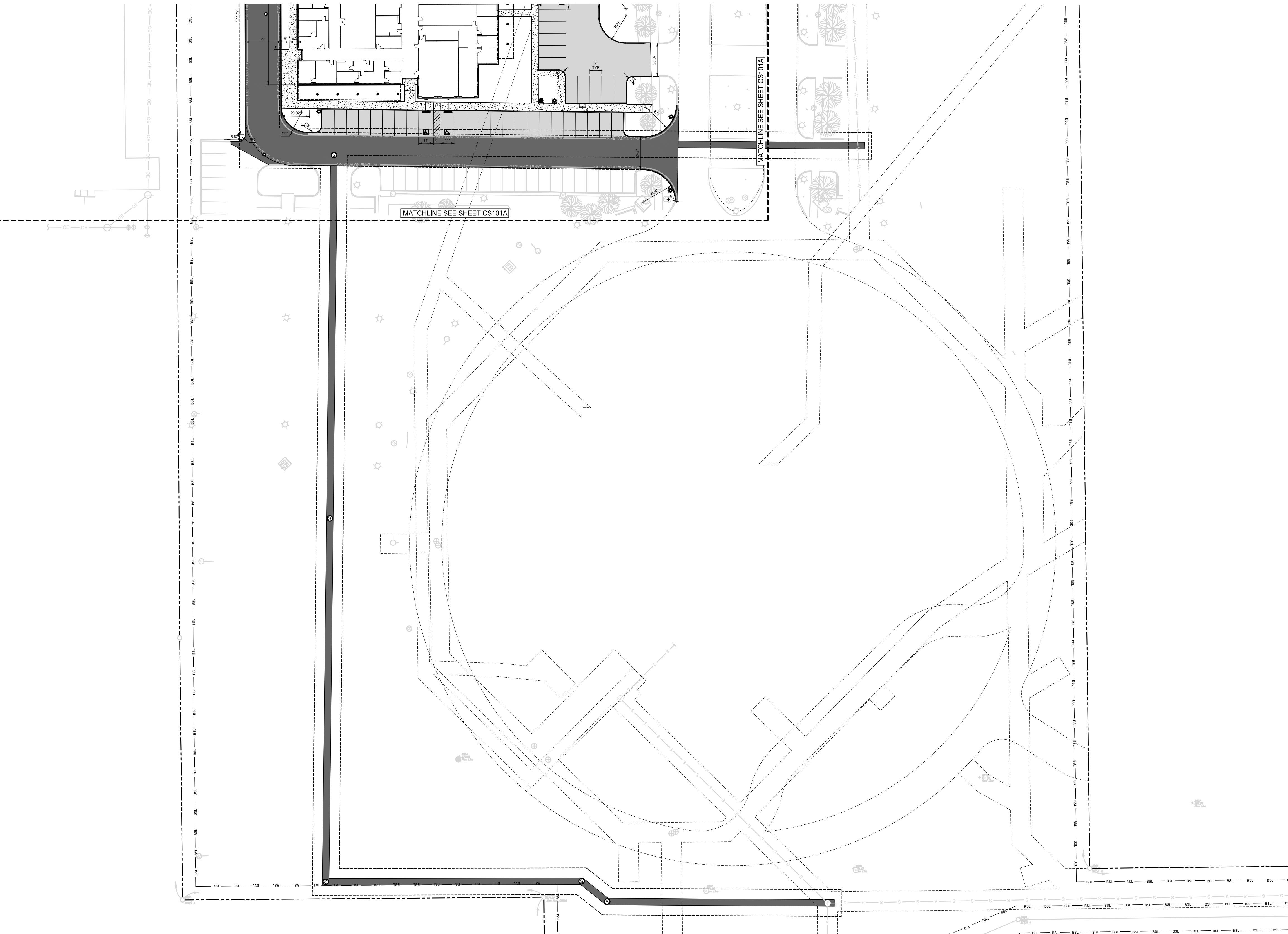
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- FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
- STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW), PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
- CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

### LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
- EXISTING EASEMENT
- SIDEWALK - SEE DETAIL CS503
- 6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501
- 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501

### SIGNATURE BLOCK

APPROVED:  
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 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



## A1 SITE PLAN

1" = 40'

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PARKHILL

10/20/2023

Parkhill.com

Rockwall County Annex



**CLIENT**  
Rockwall County  
1111, E Yellow Jacket Ln  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

### GENERAL NOTES

- A. ALL ROOF MOUNTED EQUIPMENT TO BE MOUNTED ON "ROOF HIGH" LEVEL BEHIND STANDING SEAM ROOF PARAPET.
- B. ROOF PARAPET TO BE COMPLETELY ENCLOSED, AT UPPER/LOWER ROOFS. INTERIOR FACE OF ROOF HIGH PARAPET TO MATCH STUCCO ON EXTERIOR FACE.

### KEY NOTES

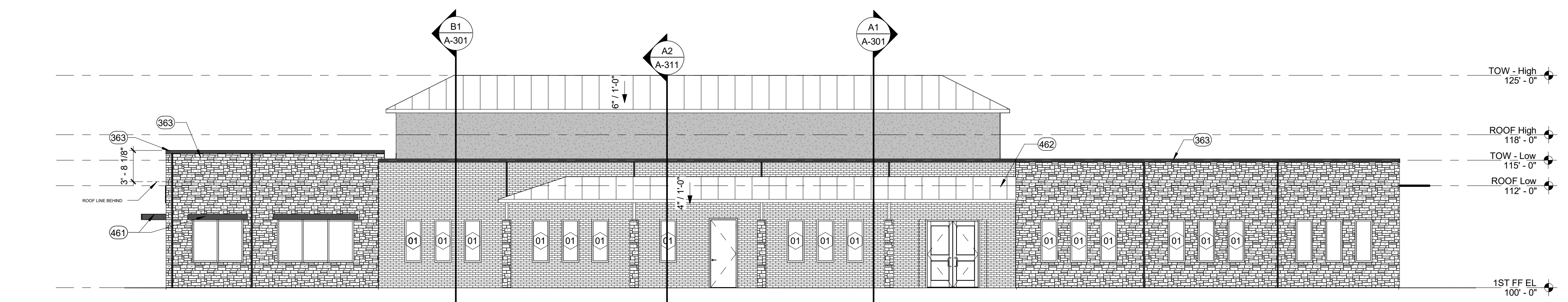
- AS INDICATED BY: (#) →
- 363 PREFIN MTL COPING
  - 461 ALUMINUM CANOPY
  - 462 STANDING SEAM METAL CANOPY
  - 463 ROOF LINE BEHIND PARAPET/PARAPET HEIGHT
  - 836 ROOFTOP MECH EQUIP. SCREENED BEHIND ROOF

### LEGEND

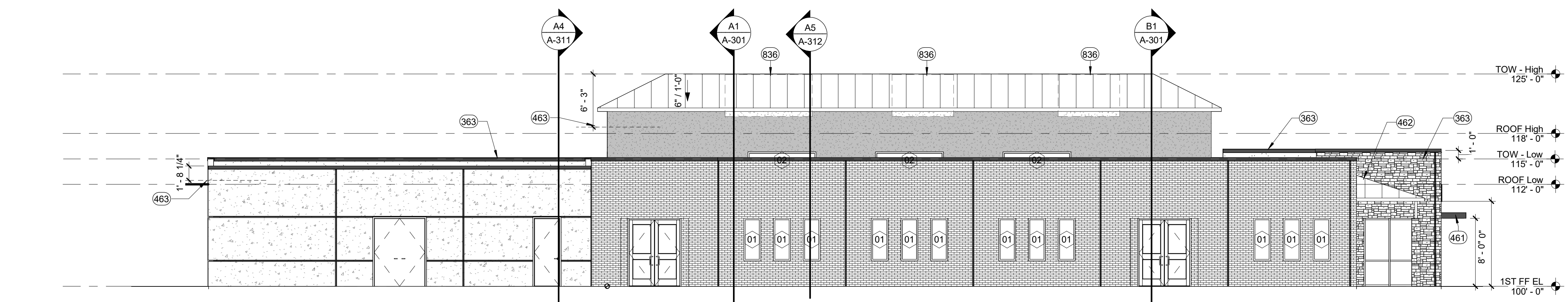
- ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.  
- Acme Pacific Clay - Calico or comparable color
- ADHERED VENEER STONE OVER CONCRETE TILT PANEL.  
- Natural Stone Veneers - Ashlar pattern - Heritage Manor or comparable color
- CONCRETE TILT PANEL w/ELASTOMERIC COATING.  
- TremGard HB - Oyster Shell or comparable color
- STUCCO  
- Dryvit - 522 Lite Gray or comparable color
- STANDING SEAM METAL ROOF  
- Awntech - Black k or comparable color
- GLAZING

### FACADE SURFACE AREA

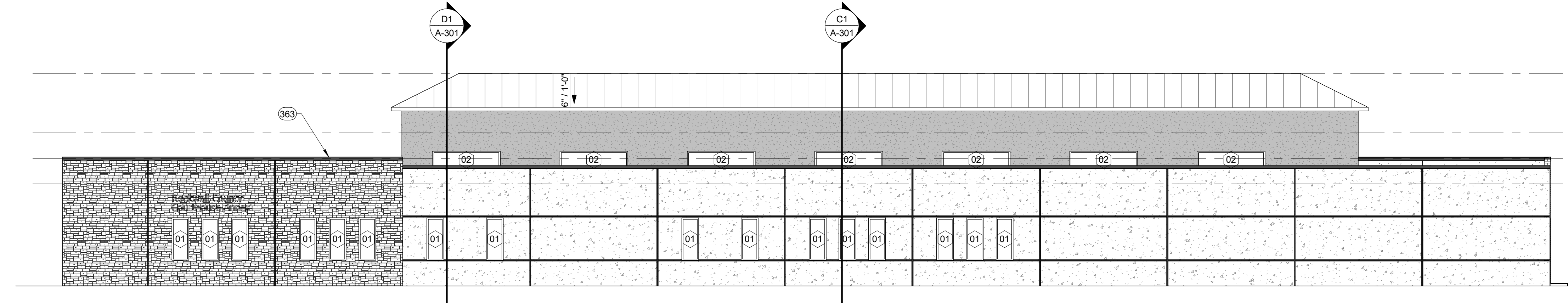
Direction	Material	Area (sf)	Percentage
EAST:	Concrete Tilt	= 0 sf	
	Thin Brick	= 1,109 sf	(43.4%)
	Thin Stone	= 1,061 sf	(41.5%)
	Stucco	= 385 sf	(15.1%)
	<b>Total</b>	<b>= 2,555 sf</b>	<b>(100%)</b>
WEST:	Concrete Tilt	= 620 sf	(24.9%)
	Thin Brick	= 1,321 sf	(53.2%)
	Thin Stone	= 160 sf	(6.4%)
	Stucco	= 385 sf	(15.5%)
	<b>Total</b>	<b>= 2,486 sf</b>	<b>(100%)</b>
NORTH:	Concrete Tilt	= 1,855 sf	(58.6%)
	Thin Brick	= 0 sf	
	Thin Stone	= 594 sf	(18.8%)
	Stucco	= 720 sf	(22.6%)
	<b>Total</b>	<b>= 3,169 sf</b>	<b>(100%)</b>
SOUTH:	Concrete Tilt	= 0 sf	
	Thin Brick	= 1630 sf	(46.5%)
	Thin Stone	= 1155 sf	(33%)
	Stucco	= 720 sf	(20.5%)
	<b>Total</b>	<b>= 3,505sf</b>	<b>(100%)</b>



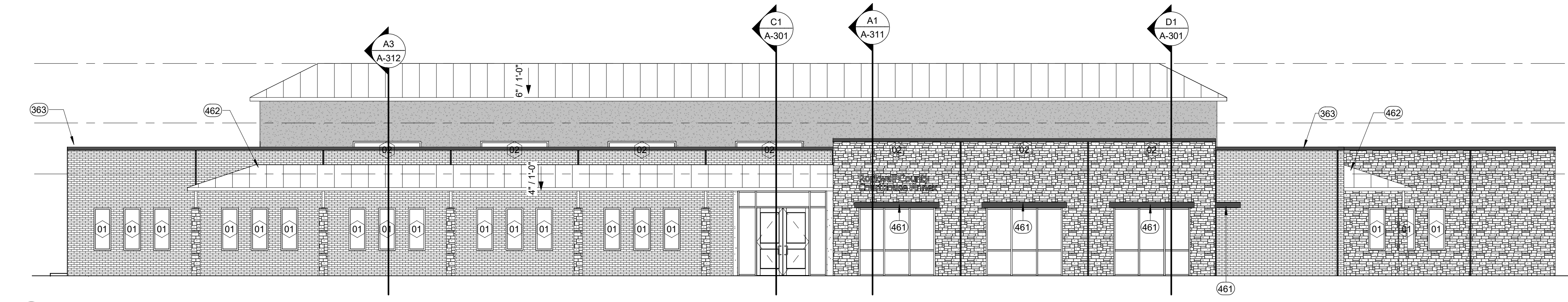
**D1 EAST ELEVATION**  
1/8" = 1'-0"



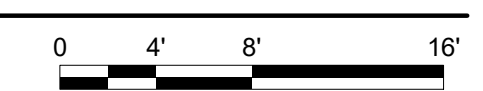
**C1 WEST ELEVATION**  
1/8" = 1'-0"



**B1 NORTH ELEVATION**  
1/8" = 1'-0"



**A1 SOUTH ELEVATION**  
1/8" = 1'-0"



### SIGNATURE BLOCK

APPROVED: \_\_\_\_\_  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**Exterior Elevations**  
**A-201**

P. 024 11/7/2023 11:51:24 AM

**ROCKWALL COUNTY ANNEX**

#	DATE	DESCRIPTION
-	10/20/2023	Site Plan

CASE NUMBER: SP-2023-034



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PARKHILL

10/20/2023

Parkhill.com

Rockwall County Annex



**CLIENT**  
**Rockwall County**  
 1111, E Yellow Jacket Ln  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

### ROOM SCHEDULE

Department	ROOM NUMBER	ROOM NAME	AREA
AUDITOR	170	CIRCULATION	631 SF
AUDITOR	172	DIRECTOR	199 SF
AUDITOR	171	MANAGER	123 SF
AUDITOR	173	SUPERVISOR	163 SF
AUDITOR	174	SUPERVISOR	161 SF
AUDITOR	170C	WORKSTATION	64 SF
AUDITOR	170A	WORKSTATION	64 SF
AUDITOR	170E	WORKSTATION	62 SF
AUDITOR	170D	WORKSTATION	62 SF
AUDITOR	170F	WORKSTATION	62 SF
AUDITOR	170B	WORKSTATION	64 SF
			1,655 SF
CIRCULATION	101	CIRCULATION	2,501 SF
CIRCULATION	140	CIRCULATION	549 SF
CIRCULATION	100	ENTRY	161 SF
			3,211 SF
COMMON/SUPPORT	163	BREAK ROOM	485 SF
COMMON/SUPPORT	105	DATA	91 SF
COMMON/SUPPORT	141E	ELEC	132 SF
COMMON/SUPPORT	166	ELECTRICAL	126 SF
COMMON/SUPPORT	141F	FIRE RISER	64 SF
COMMON/SUPPORT	106	JAN	91 SF
COMMON/SUPPORT	161	MAIL	210 SF
COMMON/SUPPORT	102	MEETING	167 SF
COMMON/SUPPORT	103	MEN'S RR	260 SF
COMMON/SUPPORT	121	RESTROOM	82 SF
COMMON/SUPPORT	144	STAFF RESTROOM	85 SF
COMMON/SUPPORT	143	STAFF RESTROOM	85 SF
COMMON/SUPPORT	142	WELLNESS ROOM	104 SF
COMMON/SUPPORT	104	WOMEN'S RR	266 SF
			2,249 SF
ELECTIONS	150	CIRCULATION	348 SF
ELECTIONS	154	DIRECTOR	196 SF
ELECTIONS	151	ELECTIONS STORAGE	2,516 SF
ELECTIONS	153	SUPERVISOR	145 SF
ELECTIONS	152	SUPERVISOR	145 SF
ELECTIONS	150C	WORKSTATION	64 SF
ELECTIONS	150D	WORKSTATION	64 SF
ELECTIONS	150E	WORKSTATION	64 SF
ELECTIONS	150A	WORKSTATION	64 SF
ELECTIONS	150B	WORKSTATION	64 SF
			3,670 SF
ENVIRONMENTAL HEALTH	130	CIRCULATION	215 SF
ENVIRONMENTAL HEALTH	133	DIRECTOR	201 SF
ENVIRONMENTAL HEALTH	132	SUPERVISOR	144 SF
ENVIRONMENTAL HEALTH	131	WORKSTATION	83 SF
			643 SF
GIS	135	CIRCULATION	133 SF
GIS	137	DIRECTOR	193 SF
GIS	136	SUPERVISOR	112 SF
			438 SF
INDIGENT HEALTH	122	CIRCULATION	231 SF
INDIGENT HEALTH	123	DIRECTOR	147 SF
INDIGENT HEALTH	120	LOBBY	107 SF
INDIGENT HEALTH	122S	STORAGE	88 SF
INDIGENT HEALTH	124	WORKSTATION	107 SF
			681 SF
MULTI-PURPOSE	160S	CHAIR STORAGE	174 SF
MULTI-PURPOSE	160	MULTI-PURPOSE	2,020 SF
			2,194 SF
STORAGE	134	STORAGE	999 SF
			999 SF
TAX OFFICE	112	BACK OF HOUSE	204 SF
TAX OFFICE	116	DIRECTOR	208 SF
TAX OFFICE	115	MANAGER	127 SF
TAX OFFICE	162	RECEIVING	315 SF
TAX OFFICE	117	STORAGE	674 SF
TAX OFFICE	114	SUPERVISOR	161 SF
TAX OFFICE	113	TRANSACTION DESKS	488 SF
TAX OFFICE	111	TRANSACTION DESKS	420 SF
TAX OFFICE	110	WAITING	1,148 SF
			3,745 SF
VETERAN SERVICES	125	CIRCULATION	258 SF
VETERAN SERVICES	126	DIRECTOR	204 SF
			461 SF
Grand total:			19,946 SF



D1 3D View -NW



C1 3D View - NE

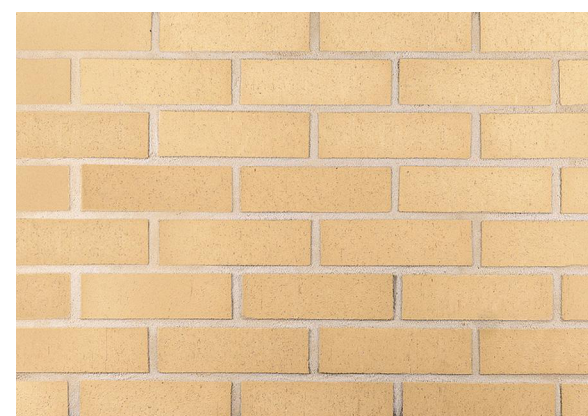


B1 3D View -SW



A1 3D View - SE

ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.  
 - Acme Pacific Clay - Chino or comparable color



ADHERED VENEER STONE OVER CONCRETE TILT PANEL.  
 - Natural Stone Veneers - Heritage Manor or comparable color



CONCRETE TILT PANEL w/ELASTOMERIC COATING.  
 - TremGard HB - Oyster Shell or comparable color



MOST POPULAR COLORS



STUCCO  
 - Tremco - Dark Bronze or comparable color

STANDING SEAM METAL ROOF  
 Black or comparable color

FLAT ROOF BEHIND PARAPET  
 TPO - Light Gray or comparable color

A4 Materials  
 1" = 1'-0"

### SIGNATURE BLOCK

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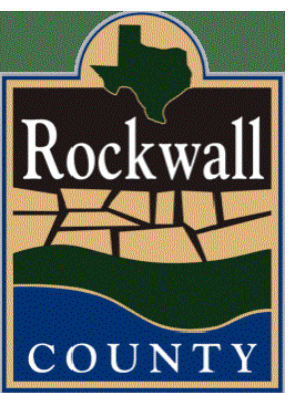
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

3D Views  
**A-900**

11/7/2023 11:52:55 AM



**CLIENT**  
**Rockwall County**  
 1111 E Yellowjacket Lane  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

**KEY PLAN**  
 Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition Plat Cabinet "H" Slide 131 Case Number: SP2023-034 Proposed Land Use: Commercial

**Designer Information:**  
 Name: Parkhill  
 Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
 Phone Number: 972-987-1670

**Owner Contact Information:**  
 Name: Rockwall County  
 Address: 101 East Rusk Street, Rockwall, Texas, 75087  
 Phone Number: 972-204-6000

#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

City of Rockwall Landscape Requirements			
ORD. REF.	DESCRIPTION	REQUIRED	PROVIDED
SEC 05.01.A	Required Landscaped Area	Limit of Construction Boundary = 78,645 S.F. <b>REQUIRED: 20% = 15,729 S.F.</b>	<b>31.4% (24,711 SF Provided)</b>
SEC 05.01.B	Non-Residential Landscape Buffer	10' wide buffer along entire length of non residential lot w/ 1 canopy and 1 accent trees per 50' along Yellowjacket Lane: (377' frontage / 50) = 8 canopy trees & 8 accent trees, 30" tall shrubbery.	<b>15' wide landscape buffer w/ 30" height shrubbery, 16 Accent Trees. Exception requested to substitute 8 Canopy Trees for 8 Accent Trees in Buffer due to overhead power line along Yellowjacket Lane.</b>
SEC 05.03.E.1	Interior Parking Lot Area Landscape Area	5% of Parking Area = 18,006 SF x .05 = 901 SF	<b>16.1% (2,915 SF)</b>
SEC 05.03.E.2	Interior Parking Lot Area Trees	1 Canopy Tree per 10 spaces = 44 Parking Spaces / 10 = <b>3 Proposed Parking Lot Trees, 2 Existing Parking Lot Trees</b>	
SEC 05.01.01.B	Impervious Area versus the Landscaped Area	Impervious Area: 53,934 SF Landscaped Area: 24,711 SF	

### GENERAL NOTES

- SEE SHEET LP102 FOR FULL PLANTING SCHEDULE.
- SEE SHEETS LD501-502 FOR PLANTING DETAILS.
- SEE SHEET LP102 FOR PLANTING GENERAL NOTES.
- FULL LANDSCAPE IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL PROPOSED PLANTING AREAS INDICATED. IRRIGATION WILL MEET REQUIREMENTS OF THE CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE.**

**LANDSCAPE EXCEPTION REQUESTED TO SUBSTITUTE 8 ACCENT TREES FOR THE 8 CANOPY TREES REQUIRED ALONG EAST YELLOW JACKET LANE DUE TO THE EXISTING OVERHEAD POWER LINE IN RIGHT OF WAY. THE TWO PROPOSED COMPENSATORY MEASURES INCLUDE:**

- 15-FOOT WIDE LANDSCAPE BUFFER PROVIDED ALONG EAST YELLOW JACKET LANE INSTEAD OF THE ORDINANCE REQUIRED 10-FOOT WIDE BUFFER.
- 31.4% (2,711 SF) OF REQUIRED LANDSCAPE AREA PROVIDED INSTEAD OF THE ORDINANCE REQUIRED 20% (15,729 SF).

### KEY NOTES

- AS INDICATED BY: (00)
- 12" CONCRETE LANDSCAPE EDGE PER B4/LD501.
  - LANDSCAPE EDGE PER C5/LD501.
  - EXISTING TREE TO BE PRESERVED AND PROTECTED PER A1/LD502.
  - PLANTING BED TO RECEIVE 3" DEPTH SHREDDED HARDWOOD MULCH AS SPEC'D.

### LEGEND

NON RESIDENTIAL LANDSCAPE BUFFER:  
 15' WIDE PROVIDED ALONG E YELLOW JACKET LANE

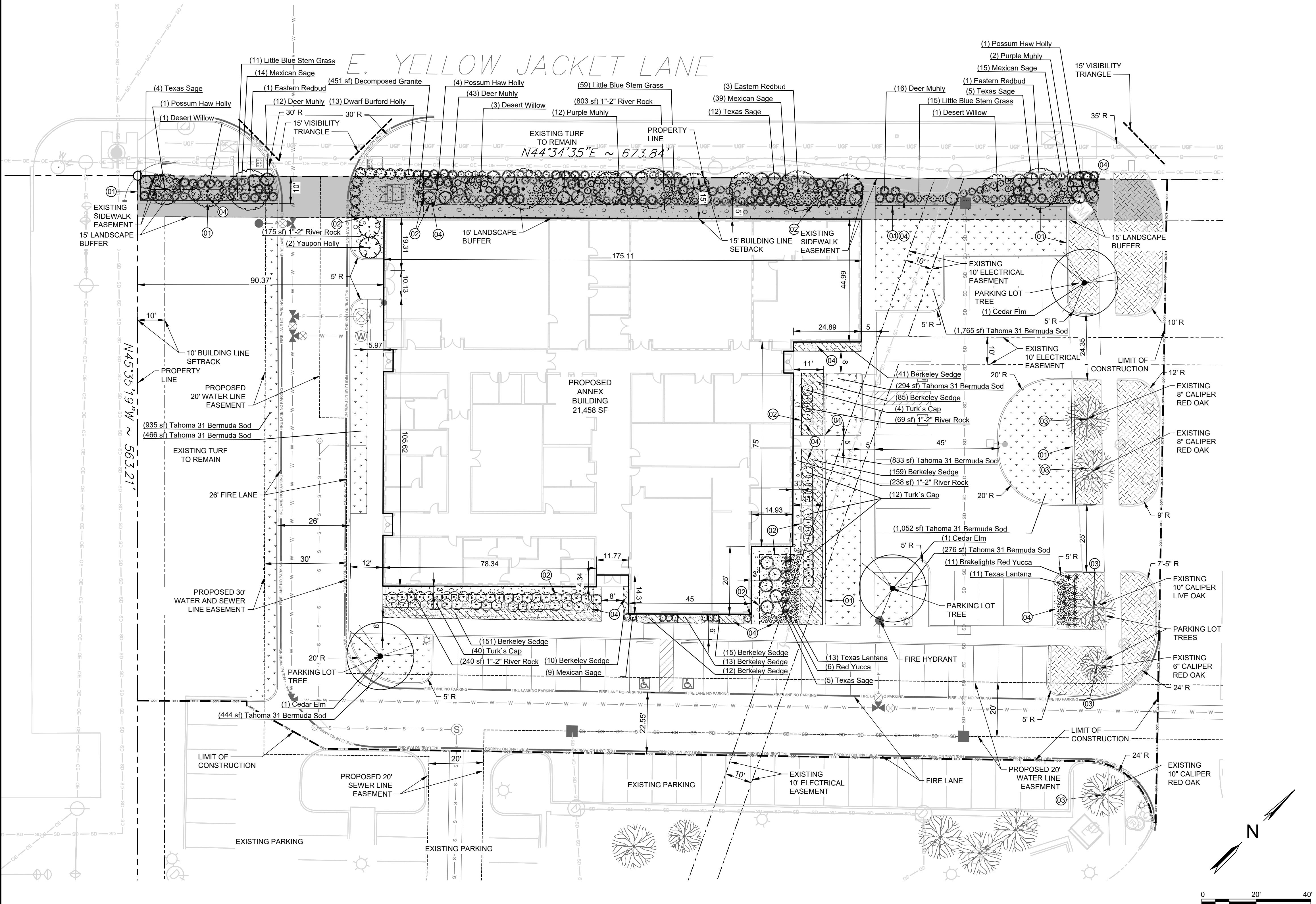
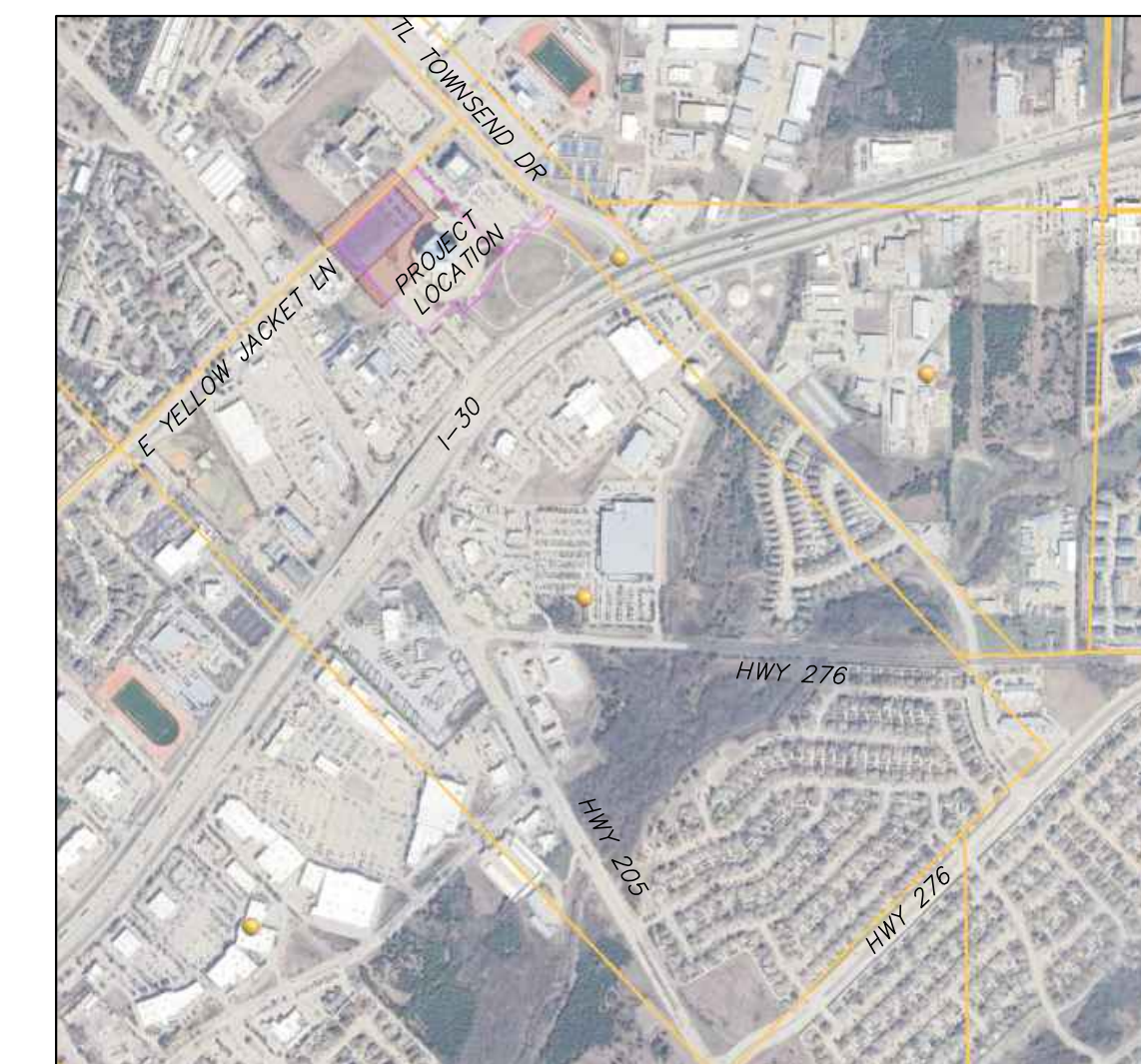
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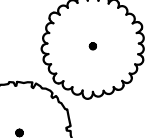
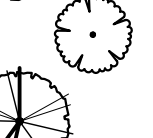

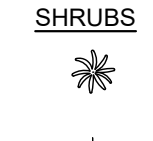
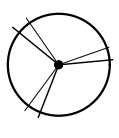
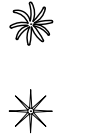
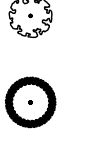


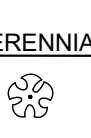



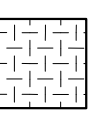
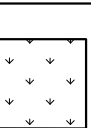
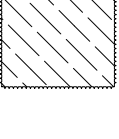
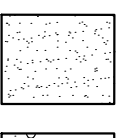
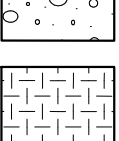
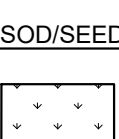

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

### ABBREVIATED PLANT SCHEDULE

ACCENT TREES	QTY	COMMON / BOTANICAL NAME
	5	DESERT WILLOW CHILOPSIS LINEARIS
	5	EASTERN REDBUD CERCIS CANADENSIS
	2	YAUPON HOLLY ILEX VOMITORIA
	6	POSSUM HAW HOLLY ILEX DECIDUA
CANOPY TREES	QTY	COMMON / BOTANICAL NAME
	3	CEDAR ELM ULMUS CRASSIFOLIA
SHRUBS	QTY	COMMON / BOTANICAL NAME
	6	RED YUCCA HESPERALOE PARVIFLORA
	11	BRAKELIGHTS RED YUCCA HESPERALOE PARVIFLORA 'BRAKELIGH'
	13	DWARF BURFORD HOLLY ILEX CORNUTA 'BURFORDI NANA'
	26	TEXAS SAGE LEUCOPHYLLUM LANGMANIAE 'LYNN'S'
	77	MEXICAN SAGE SALVIA LEUCANTHA
ORNAMENTAL GRASSES	QTY	COMMON / BOTANICAL NAME
	71	DEER MUHLY MUHLENBERGIA RIGENS
	14	PURPLE MUHLY MUHLENBERGIA RIGIDA 'NASHVILLE' TM
	85	LITTLE BLUE STEM GRASS SCHIZACHYRIUM SCOPARIUM
PERENNIALS	QTY	COMMON / BOTANICAL NAME
	24	TEXAS LANTANA LANTANA URTICOIDES
	56	TURK'S CAP MALVAVISCUS DRUMMONDII
ORNAMENTAL GRASS AREA	QTY	COMMON / BOTANICAL NAME
	486	BERKELEY SEDGE CAREX DIVULSA
GROUND COVERS	QTY	COMMON / BOTANICAL NAME
	451 SF	DECOMPOSED GRANITE DECOMPOSED GRANITE
	1,525 SF	1"-2" RIVER ROCK 1"-2" RIVER ROCK
	5,141 SF	SHREDDED HARDWOOD MULCH SHREDDED HARDWOOD MULCH
SOD/SEED	QTY	COMMON / BOTANICAL NAME
	6,065 SF	TAHOMA 31 BERMUDA SOD CYNODON DACTYLON 'TAHOMA 31'
	3,380 SF	EXISTING PLANTING BED EXISTING PLANTING BED



**PLANT SCHEDULE**

ACCENT TREES	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	CALIPER	SIZE
	5	DESERT WILLOW	CHILOPSIS LINEARIS	25 GAL	2" CAL	6' - 8' HT
	5	EASTERN REDBUD	CERCIS CANADENSIS	25 GAL	2" CAL	6' - 8' HT
	2	YAUPON HOLLY	ILEX VOMITORIA	15 GAL	N/A	6' HT.
	6	POSSUM HAW HOLLY	ILEX DECIDUA	15 GAL	N/A	6' HT.
CANOPY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	CALIPER	SIZE
	3	CEDAR ELM	ULMUS CRASSIFOLIA	B & B	4" CAL	12'-14' HT.
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	6	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL		
	11	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM	5 GAL		
	13	DWARF BURFORD HOLLY	ILLEX CORNUTA 'BURFORDII NANA'	7 GAL	30" HT.	
	26	TEXAS SAGE	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'	7 GAL	30" HT.	
	77	MEXICAN SAGE	SALVIA LEUCANTHA	5 GAL		
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	71	DEER MUHLY	MUHLENBERGIA RIGENS	5 GAL		
	14	PURPLE MUHLY	MUHLENBERGIA RIGIDA 'NASHVILLE' TM	5 GAL		
	85	LITTLE BLUE STEM GRASS	SCHIZACHYRIUM SCOPARIUM	5 GAL		
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	24	TEXAS LANTANA	LANTANA URTICOIDES	1 GAL.		
	56	TURK'S CAP	MALVAVISCUS DRUMMONDII	1 GAL.		
ORNAMENTAL GRASS AREA	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	486	BERKELEY SEDGE	CAREX DIVULSA	1 GAL		
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	451 SF	DECOMPOSED GRANITE	DECOMPOSED GRANITE	3" DEPTH		
	1,525 SF	1"-2" RIVER ROCK	1"-2" RIVER ROCK	4" DEPTH		
	5,141 SF	SHREDDED HARDWOOD MULCH	SHREDDED HARDWOOD MULCH	3" DEPTH		
SOD/SEED	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	6,065 SF	TAHOMA 31 BERMUDA SOD	CYNODON DACTYLON 'TAHOMA 31'	SOLID SOD		

**PLANTING GENERAL NOTES**

- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ROCKWALL STANDARDS.
- B. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT AND SPECIFICATIONS FOR REQUIREMENTS NOT LISTED HEREIN.
- C. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- D. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN SHOWN ON ALL DRAWINGS. PLANT COUNTS AND SQUARE FOOTAGES ARE PROVIDED AS A COURTESY ONLY.
- E. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- F. IN THE CASE OF A DISCREPANCY BETWEEN THE CONTAINER SIZE CALLED OUT IN PLANT LIST AND THE CALIPER AND HEIGHT OF PLANT MATERIAL, THE SPECIFIED TREE MUST MEET THE CALIPER AND HEIGHT REQUIREMENTS SPECIFIED, EVEN IF THE LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- G. ALL PLANTS TO BE GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
- H. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE PLANT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- I. LANDSCAPE CONTRACTOR SHALL LOCATE THE SOURCE OF AND SELECT ALL PLANTS FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- J. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO DELIVERY AT THE NURSERIES OR SUPPLIERS BY THE PROJECT LANDSCAPE ARCHITECT.
- K. IF ANY SOURCE OF PLANTS IS LOCATED FURTHER THAN 30 MILES FROM THE PROJECT SITE THE CONTRACTOR WILL BE REQUIRED TO PAY TIME AND TRAVEL EXPENSES INCURRED BY THE PROJECT LANDSCAPE ARCHITECT.
- L. AT THE OPTION OF THE LANDSCAPE ARCHITECT, PHOTOS OF ALL PLANT MATERIAL SHOWING CONTAINER SIZE, HEIGHT AND CALIPER CAN BE SUBMITTED FOR APPROVAL.
- M. ALL PLANTS TAGGED AS APPROVED AT NURSERY OR SUPPLIER SHALL BEAR THE SAME TAG WHEN DELIVERED ON SITE.
- N. THE RIGHT TO REJECT PLANT MATERIALS DELIVERED TO THE SITE THAT DO NOT BEAR APPROVAL TAGS IS RESERVED BY THE PROJECT LANDSCAPE ARCHITECT.
- O. IN AREAS WHERE PAVING SUBGRADES AND BUILDING PADS EXTEND INTO PLANT BED AREAS 6 INCH HOLES SHALL BE DRILLED EVERY 3 FEET AND FILLED WITH 1 INCH DIAMETER GRAVEL TO PROVIDE PERCOLATION AND DRAINAGE FOR THE PLANTING BED. HOLES SHALL BE DRILLED THROUGH IMPROVED SUBGRADES INTO EXISTING SITE SOILS BUT NO DEEPER THAN FOUR FEET.
- P. ALL PLANTING BEDS TO RECEIVE 2 INCHES OF BACK TO EARTH COMPOST PER SQUARE FOOT AND 1 POUND OF A 4(N):1(P):2(K) RATIO FERTILIZER PER 100 SQUARE FEET. BOTH MATERIALS SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 12 INCHES.
- Q. ALL FINAL PLANTING BED GRADES IN AREAS WHERE ORGANIC AND/OR INORGANIC MULCH IS BEING APPLIED SHOULD BE 3 OR 4 INCHES BELOW ADJACENT HARD SURFACES ACCORDING TO MULCH DEPTH INDICATED ON PLANS.
- R. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- S. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING OR AS ESTABLISHED IN CONTAINER.
- T. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- U. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN AS NEEDED DURING THE FIRST GROWING SEASON.
- V. ALL PLANTING BEDS SHALL RECEIVE ORGANIC AND/OR INORGANIC MULCH MATERIALS AS NOTED ON PLANS.
- W. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- X. THE CONTRACTOR SHALL PRUNE ALL BRANCHES 6 FEET ABOVE FINISH GRADE ON ALL DECIDUOUS TREES 12 FEET OR TALLER.
- Y. AREAS TO BE FILLED WITH INORGANIC MULCHES WITH A DIAMETER LESS THAN 1/4 INCH IN SIZE SHALL BE COMPACTED TO 85% PROCTOR DENSITY BEFORE MULCH IS PLACED.
- Z. THE SITE SHALL BE FINE GRADED PRIOR TO ANY PLANT INSTALLATION. ANY AREAS DISTURBED BY PLANTING SHALL BE REGRADED AND SMOOTHED PRIOR TO GRASS PLANTING.
- AA. SOD SHALL BE USED AROUND DRAIN INLETS (5' BUFFER) AND IN AREAS WHERE THE SLOPE EXCEEDS 20% (1:5) UNLESS THE AREA IS A PLANTING BED.

**SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman  
\_\_\_\_\_  
Director of Planning and Zoning



THIS DOCUMENT IS RELEASED ON NOVEMBER 7, 2023 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LANDON G. BELL, R.L.A., TEXAS LICENSE #3245. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.



Rockwall County Annex



**CLIENT**  
Rockwall County  
1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

**KEY PLAN**  
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition  
Plat Cabinet "H" Slide 131  
Case Number: SP2023-034  
Proposed Land Use: Commercial

Designer Information:  
Name: Parkhill  
Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
Phone Number: 972-987-1670

Owner Contact Information  
Name: Rockwall County  
Address: 101 East Rusk Street, Rockwall, Texas, 75087  
Phone Number: 972-204-6000

2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

# DATE DESCRIPTION

**Planting Notes & Schedule LP102**

**SIGNATURE BLOCK**

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 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

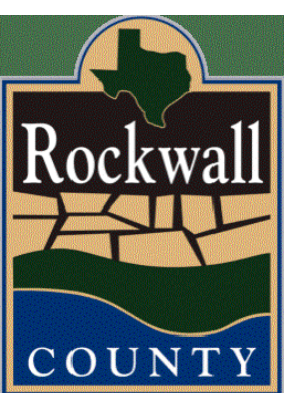
\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

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Parkhill.com

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\* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

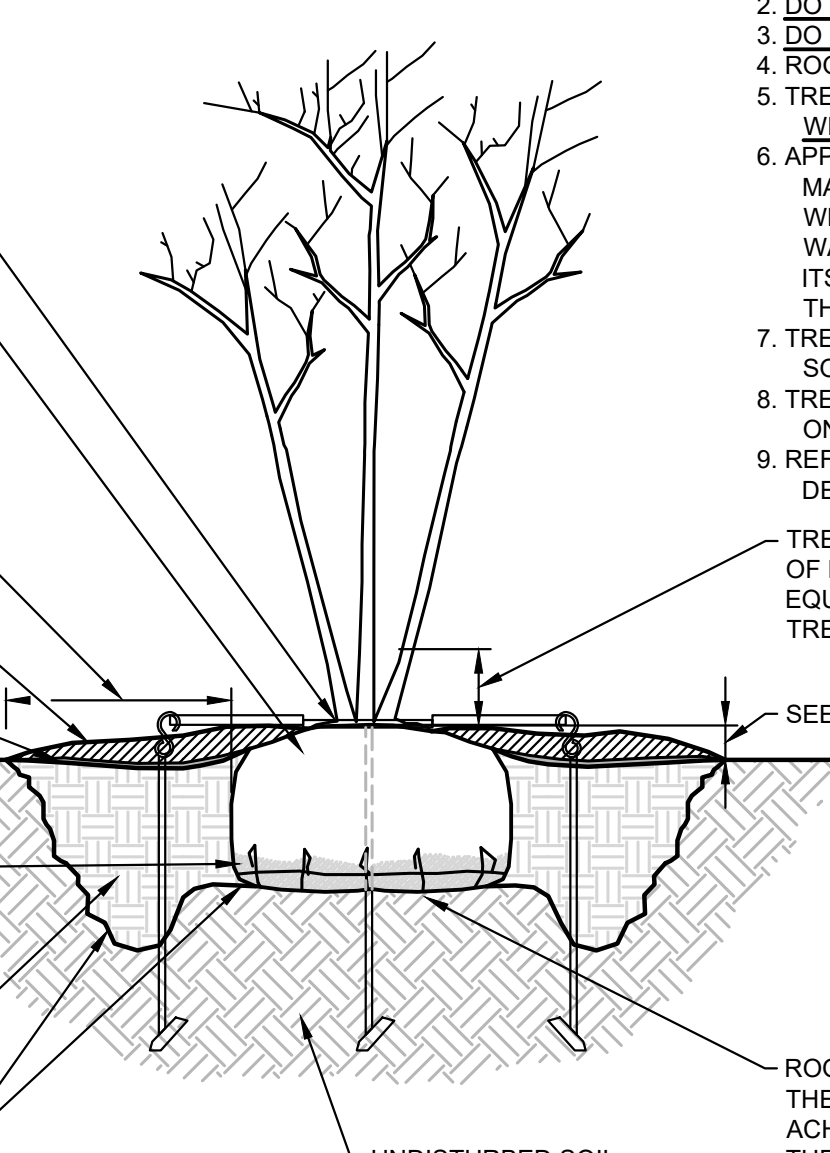
3" HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL. MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.



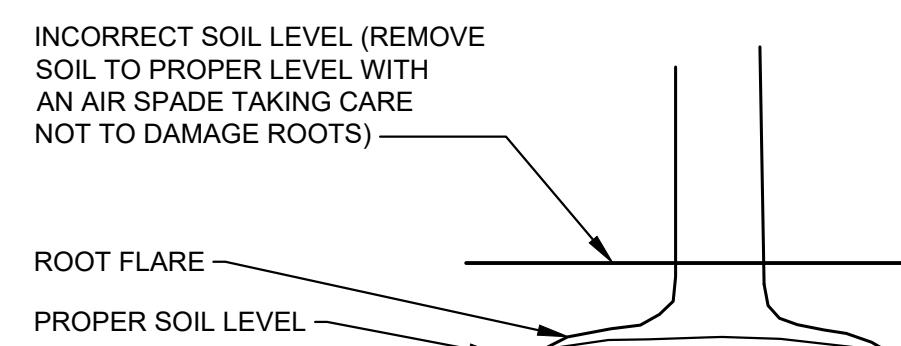
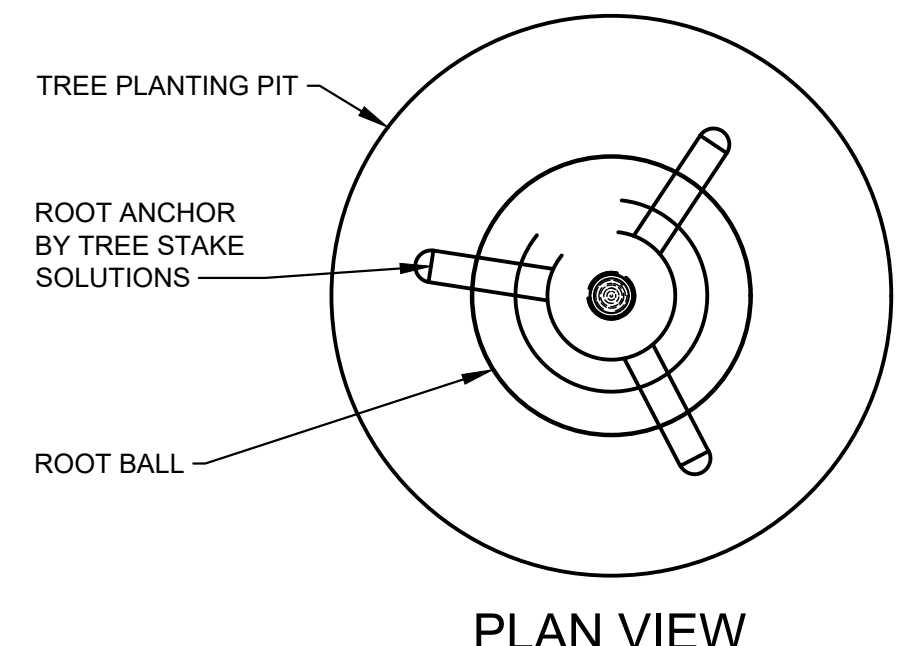
**NOTES:**

1. TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
2. DO NOT CONSTRUCT A WATER BASIN AROUND THE PLANTING PIT.
3. DO NOT PILE MULCH AROUND THE TREE TRUNK.
4. ROOT BOUND TREES WILL NOT BE ACCEPTED.
5. TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
6. APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (i.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
7. TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
8. TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

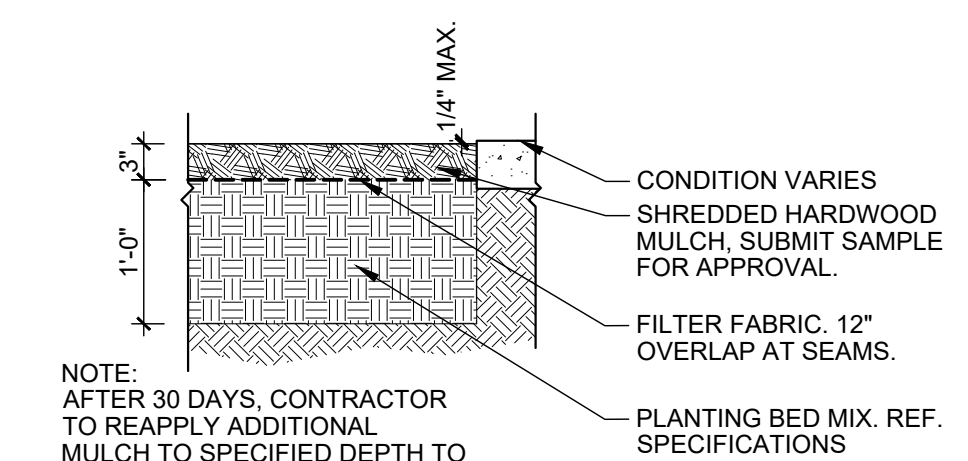
SEE NOTE #1.

ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.

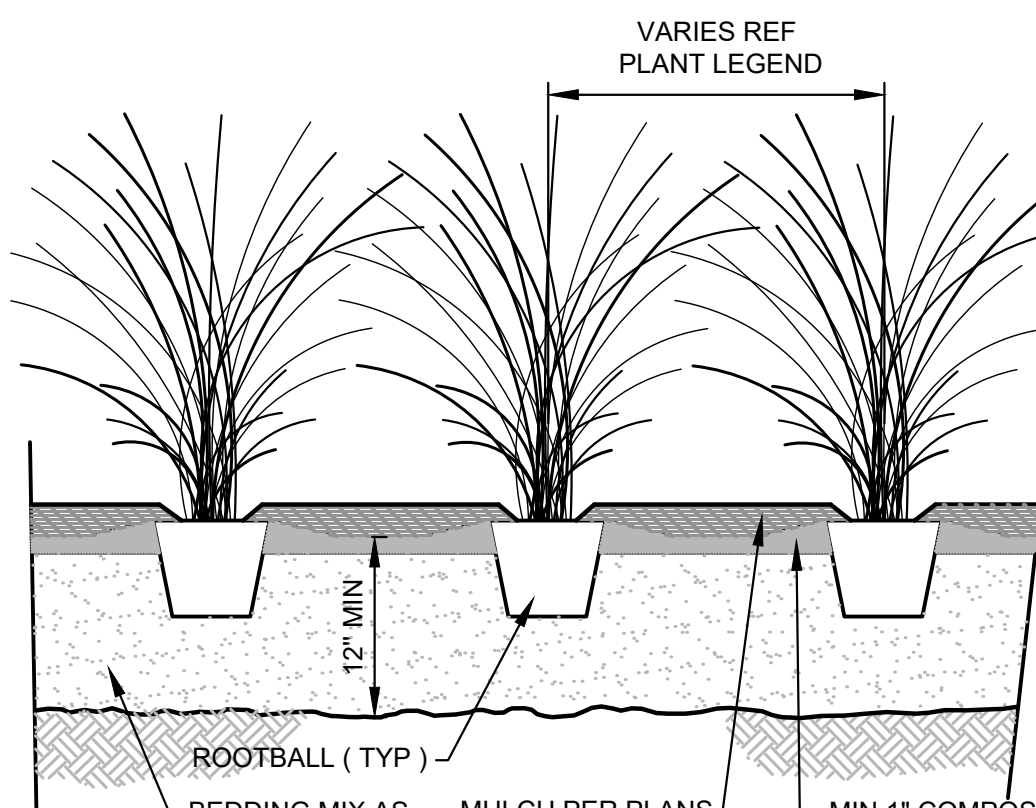


**EXPOSED COVERED ROOT FLARE**

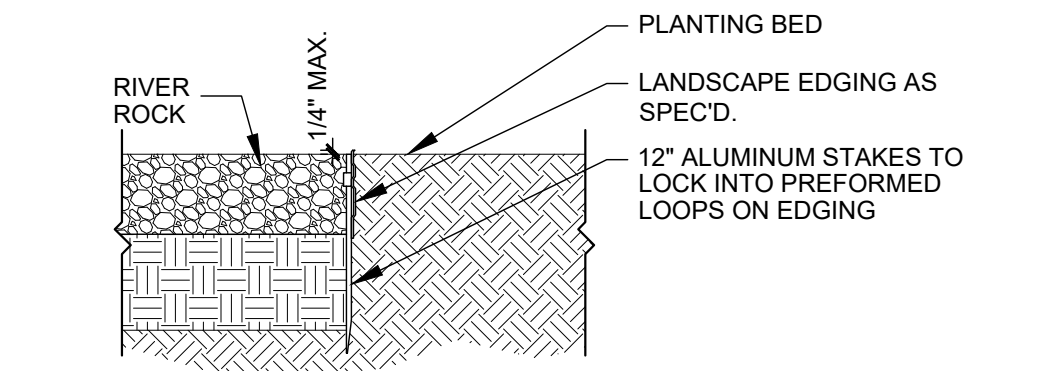
L\_PLANTING\_TREE\_MULTITRUNK



**D4 MULCH**  
 3/4"=1'-0"

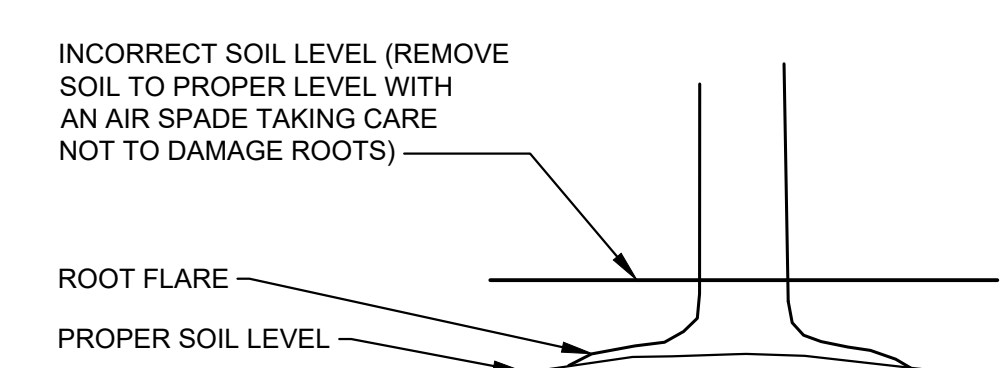
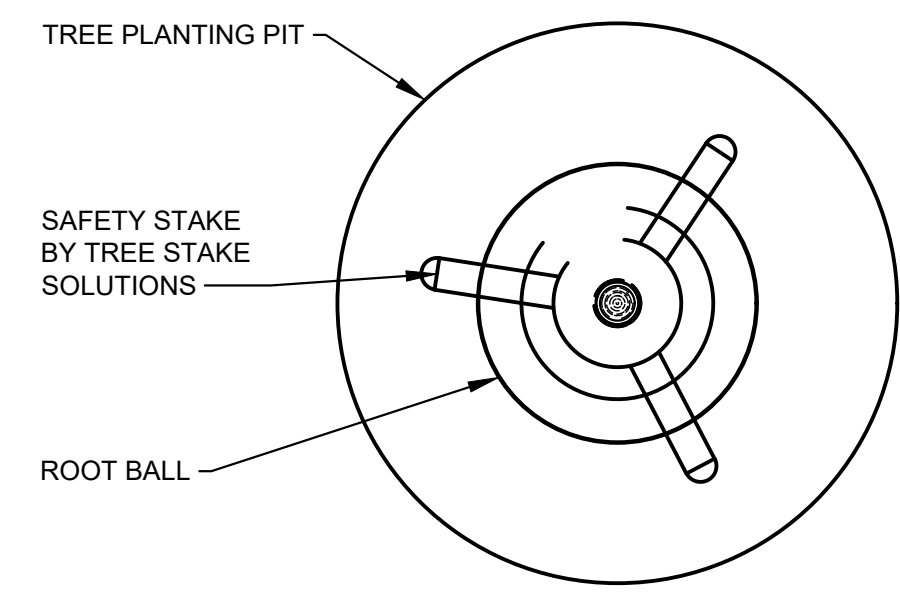


**C4 ORNAMENTAL GRASS PLANTING**  
 1"=1'-0"



**C5 LANDSCAPE EDGE**  
 1"=1'-0"

**C1 MULTI-TRUNK TREE PLANTING AND ANCHORING**  
 1/2"=1'-0"



**EXPOSED COVERED ROOT FLARE**

L\_PLANTING\_TREE\_STANDARD

\* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

SAFETY STAKE BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE SAFETY STAKE AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143 (ALSO, SEE PLAN VIEW ABOVE)

1/2 ROOT BALL WIDTH (MINIMUM)

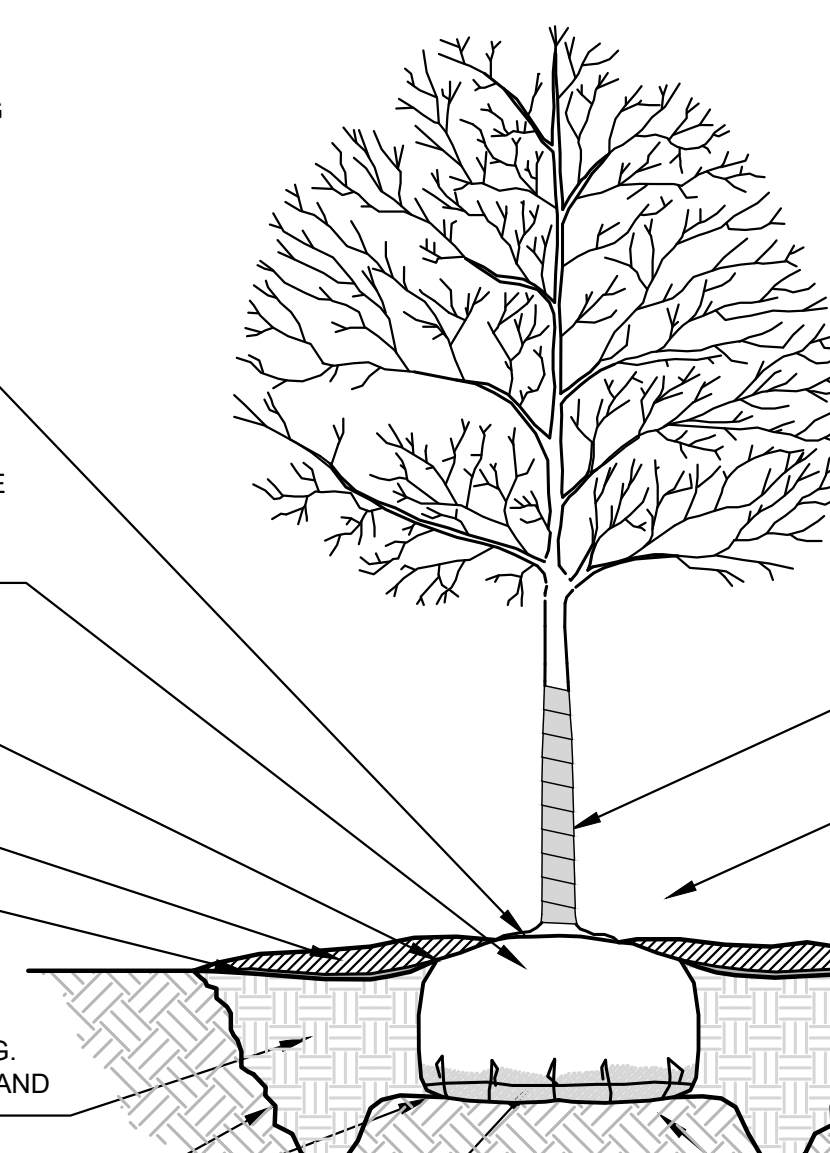
3" SHREDDED HARDWOOD MULCH. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

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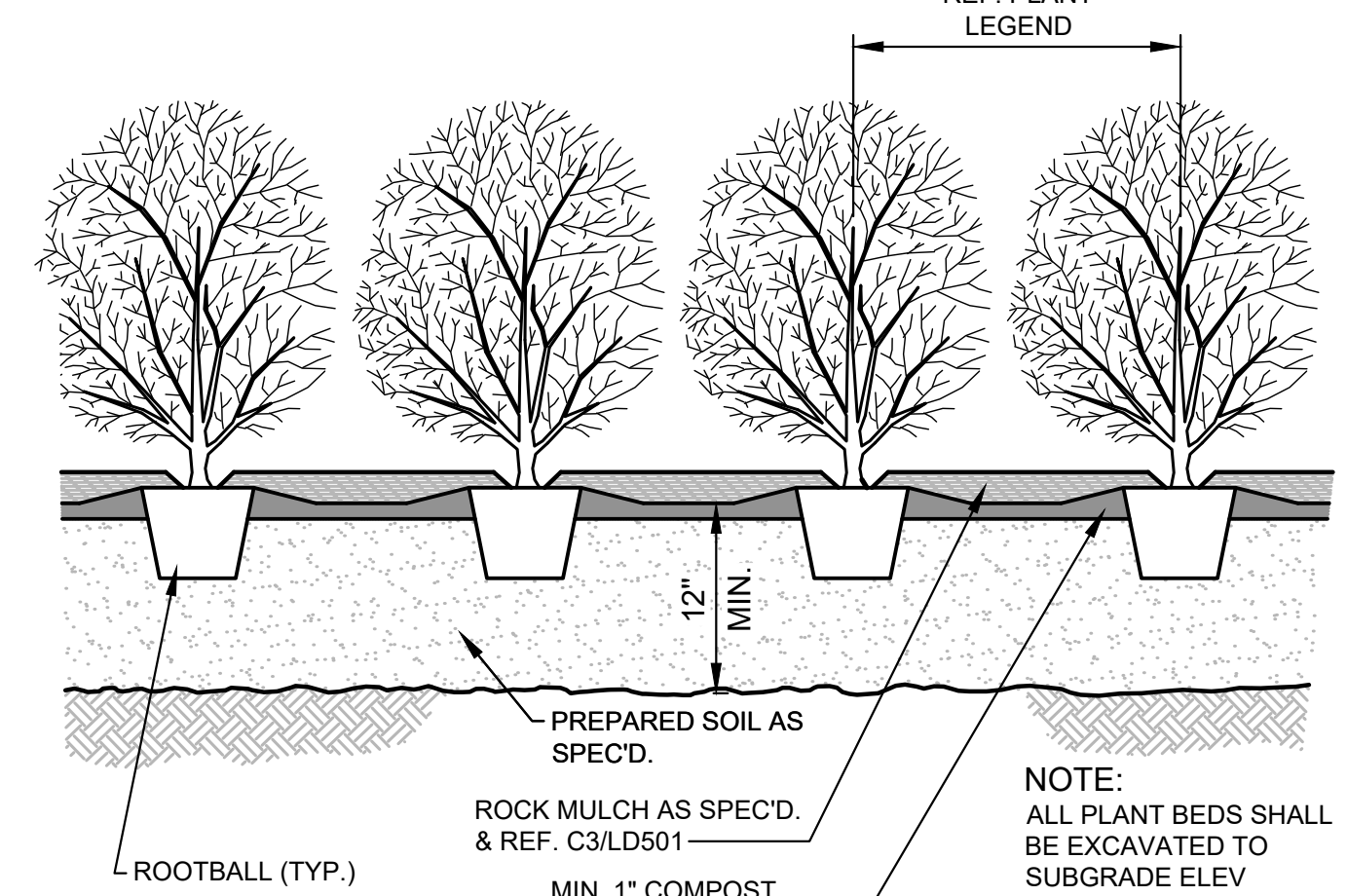
CLARK'S TREE WRAP AS SPEC'D, OR APPROVED EQUAL, SEE NOTE #6 FOR MORE INFORMATION.

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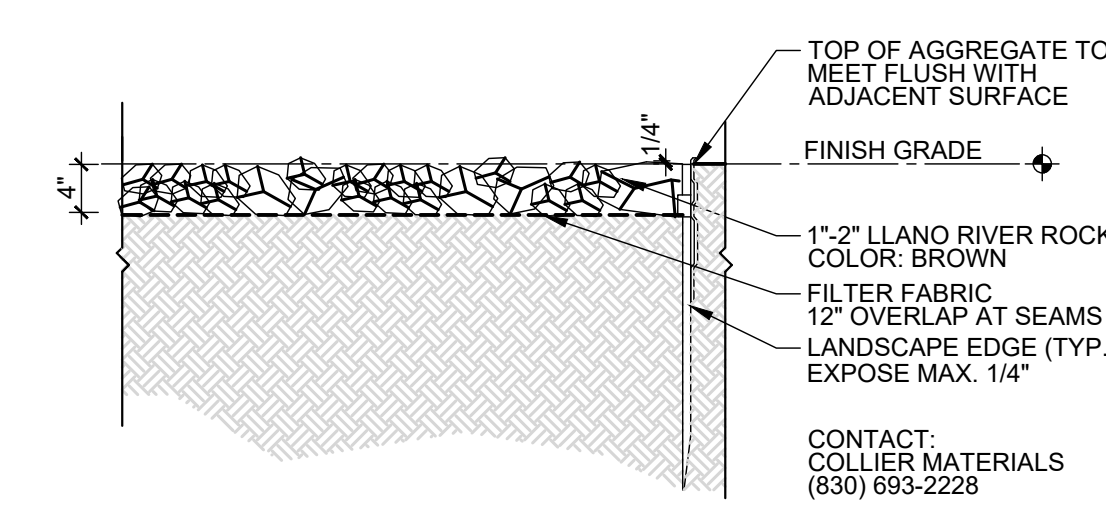
SEE NOTE #1.

**NOTES:**  
 1. UPON COMPLETION OF ROUGH GRADING, CONTRACTOR SHALL DIG TEST TREE PITS ACROSS THE SITE. THE TEST PITS SHALL BE FILLED WITH WATER AND OBSERVED FOR DRAINAGE. IF THE PIT HOLDS WATER FOR GREATER THAN 24 HOURS, THE TREE LOCATIONS AND/OR SPECIES WILL BE REVISED.

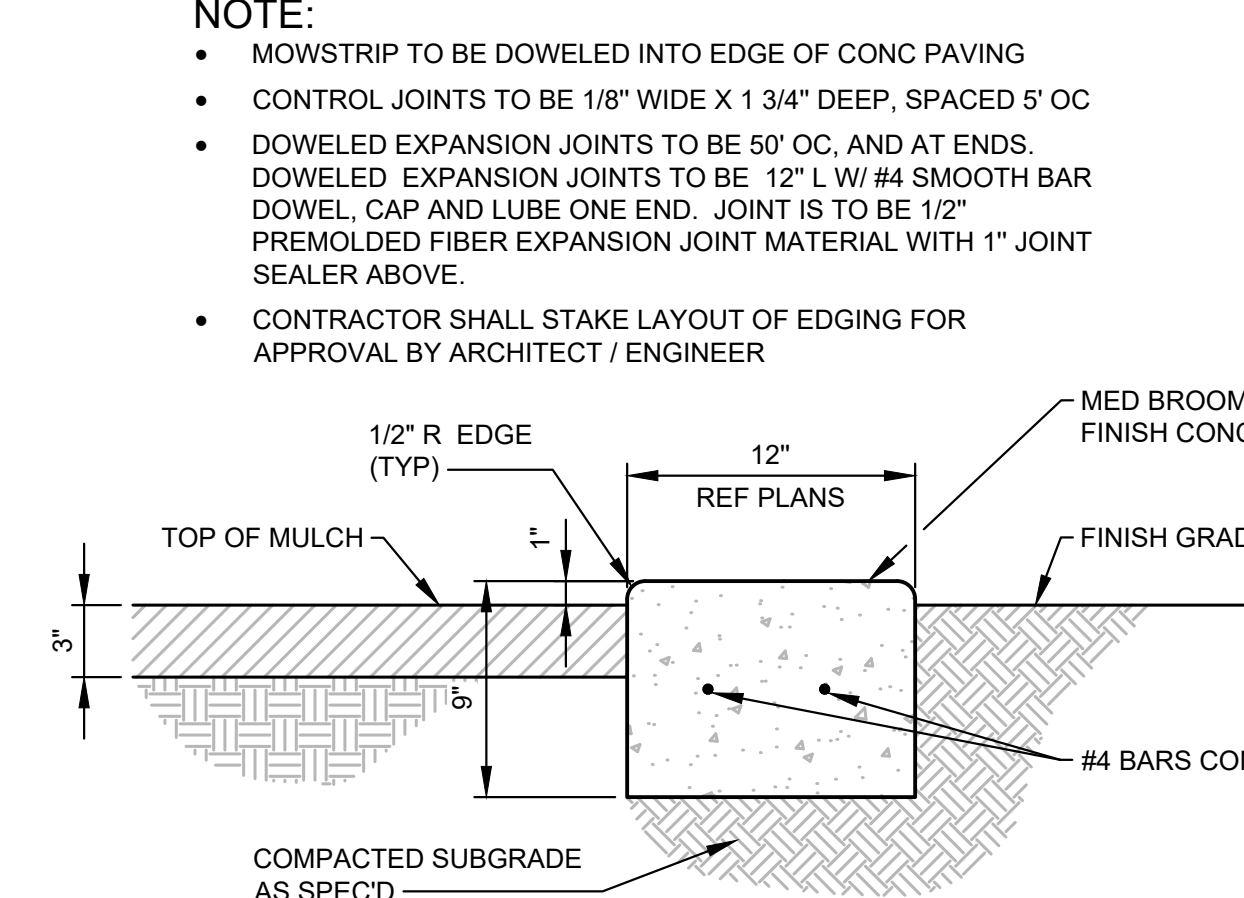
ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.



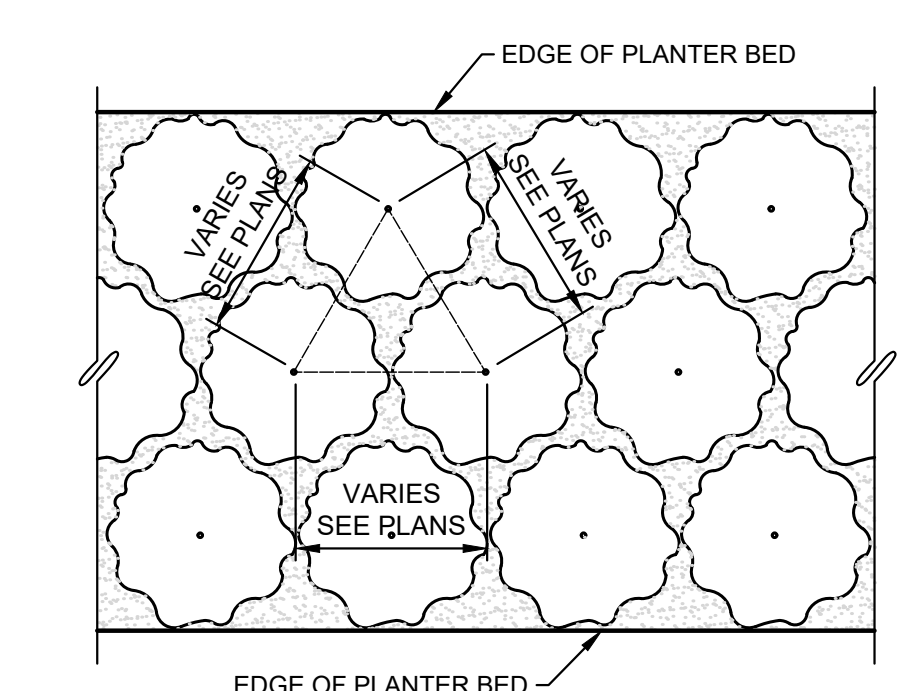
**B3 SHRUB PLANTING**  
 1"=1'-0"



**A3 RIVER ROCK - 1-2"**  
 3/4"=1'-0"



**B4 12" CONCRETE LANDSCAPE EDGE**  
 1 1/2" = 1'-0"



**A4 PLANT LAYOUT**  
 1/2"=1'-0"

**A1 TREE PLANTING AND STAKING**  
 1/2"=1'-0"

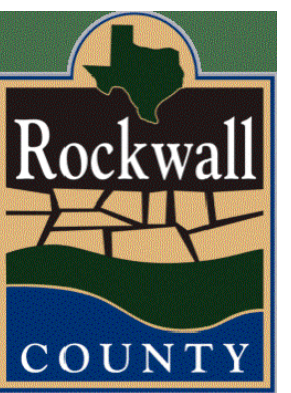
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**SIGNATURE BLOCK**

APPROVED:  
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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



**CLIENT**

Rockwall County  
1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**

11987.22

**KEY PLAN**

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition  
Plat Cabinet "H" Slide 131  
Case Number: SP2023-034  
Proposed Land Use: Commercial

**Designer Information:**

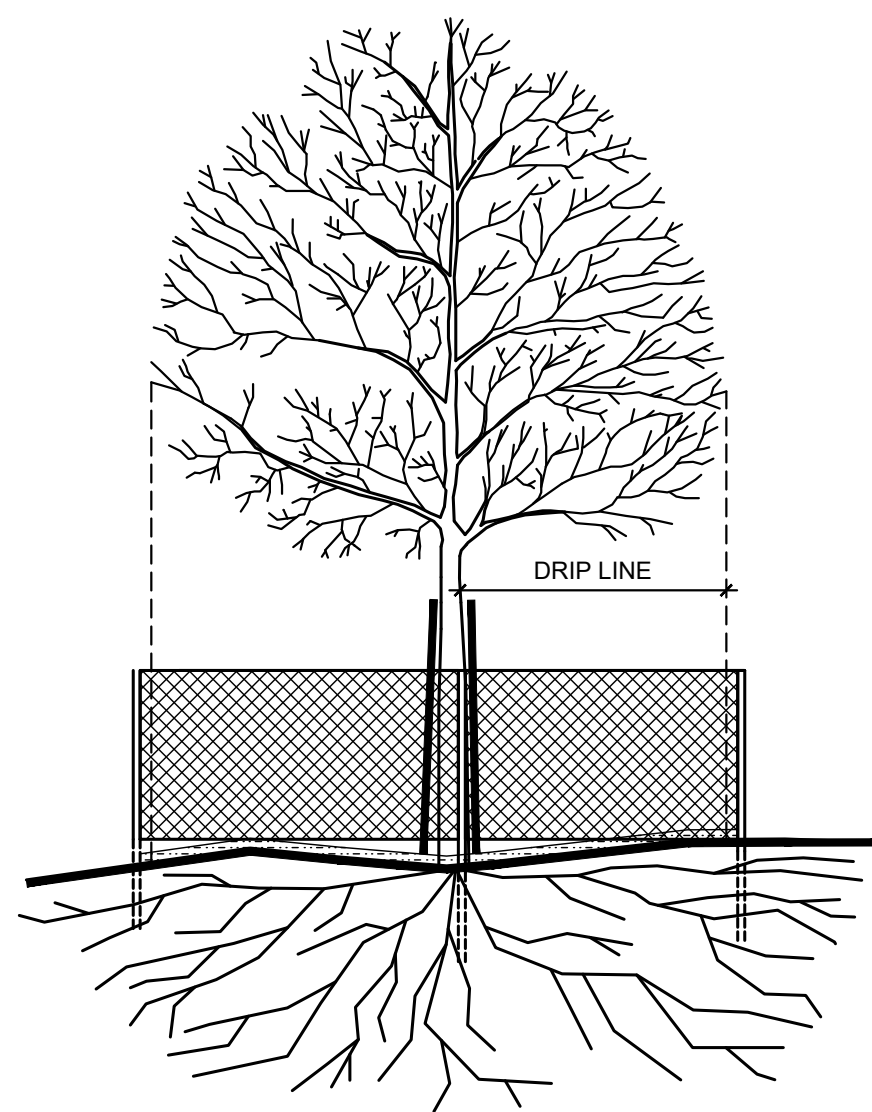
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Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
Phone Number: 972-987-1670

**Owner Contact Information**

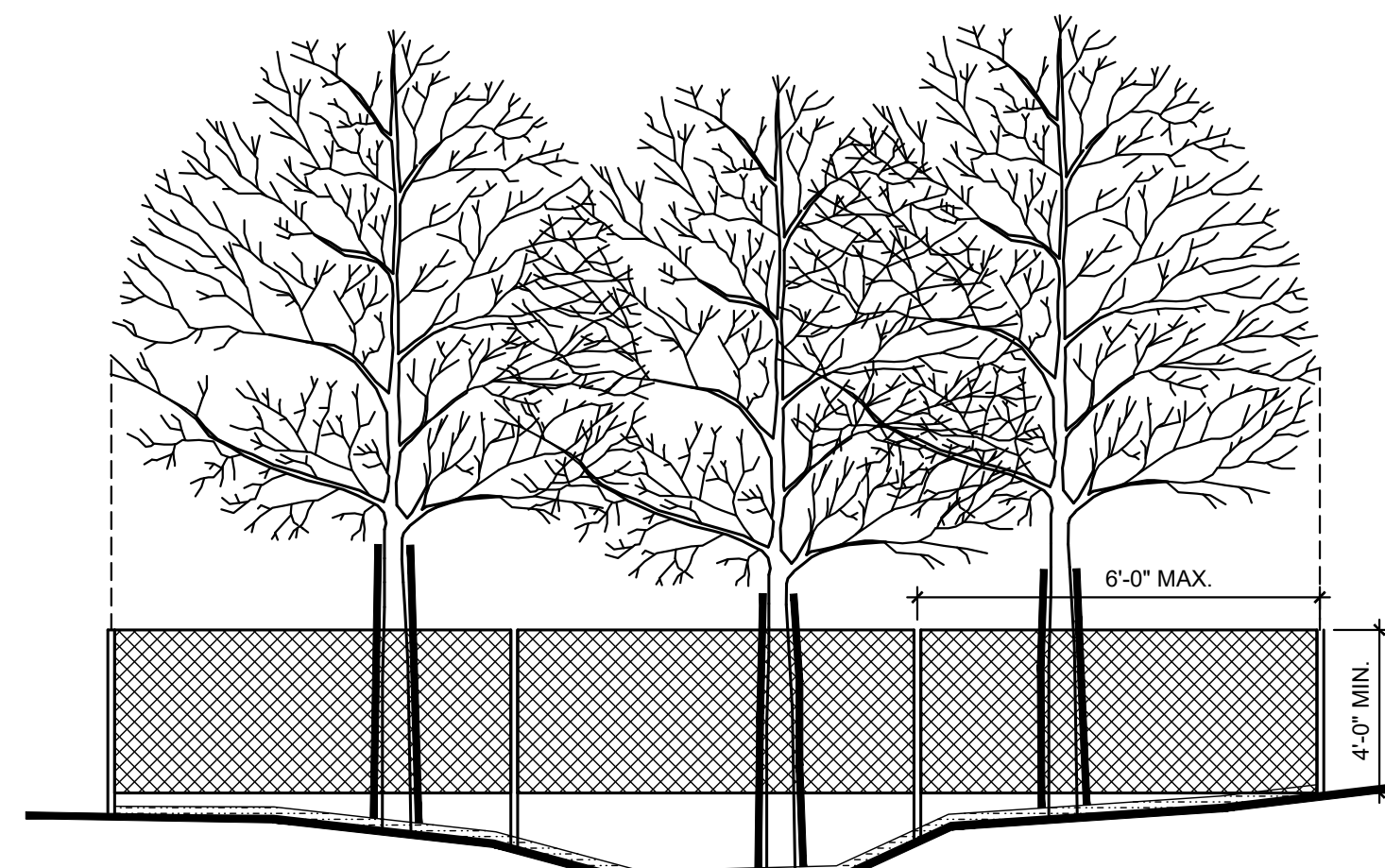
Name: Rockwall County  
Address: 101 East Rusk Street, Rockwall, Texas, 75087  
Phone Number: 972-204-6000

2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal
#	DATE	DESCRIPTION

**SINGLE TREE**



**TREE CLUSTER**



**\*THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY TREES TO REMAIN.**

- MATERIAL STORAGE:** NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW INTO THE CRITICAL ROOT ZONE OF A PROTECTED TREE.
- TREE ATTACHMENTS:** NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
- VEHICULAR TRAFFIC:** NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
- GRADE CHANGES:** PAVING WITHIN THE DRIP LINE SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE OWNER'S REPRESENTATIVE.
- IMPERVIOUS PAVING:** NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
- ROOT PRUNING:** ALL ROOTS ONE INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

**\*CRITICAL ROOT ZONE:**

THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

**DRIP LINE:**

A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

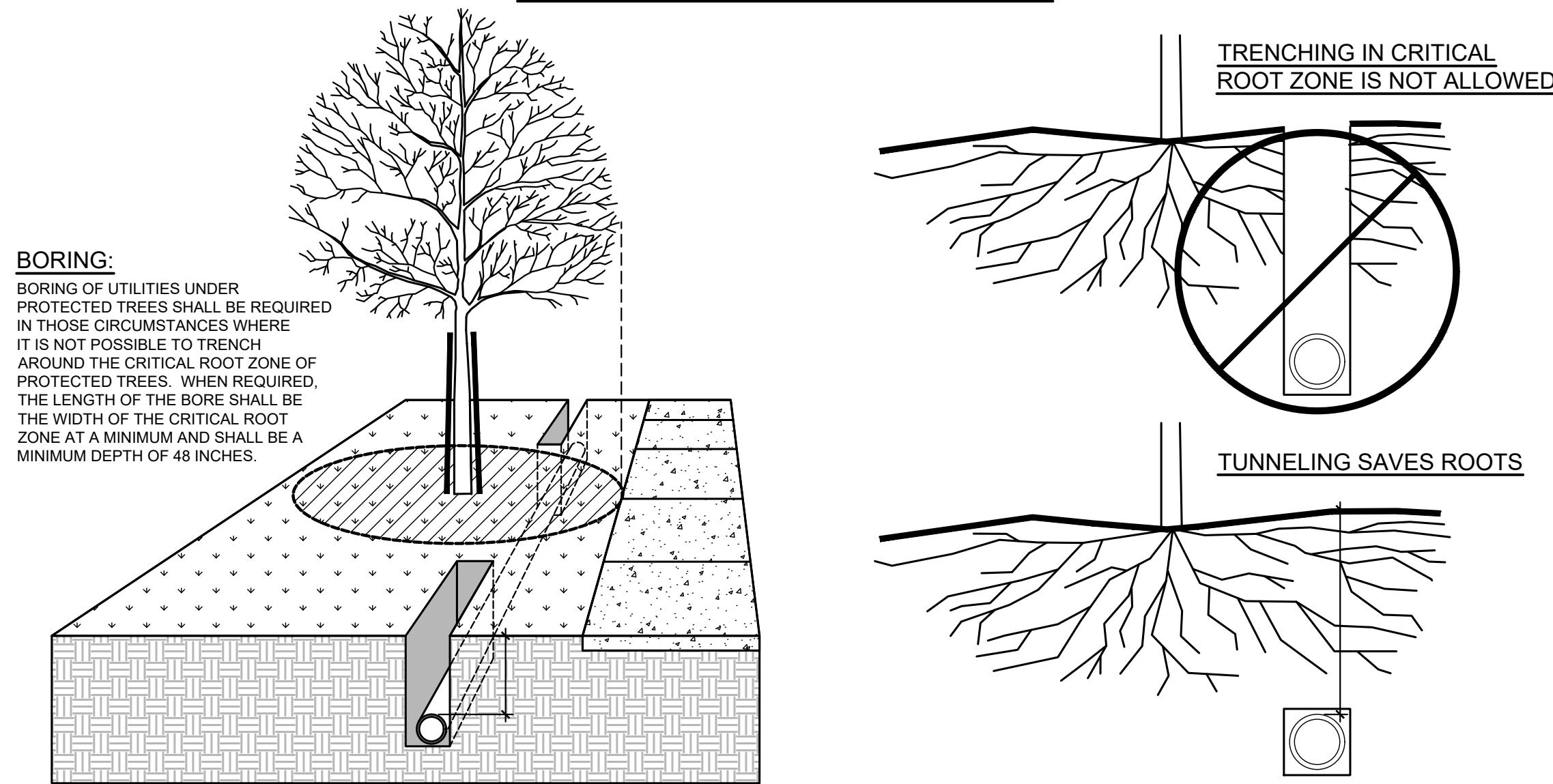
**PROTECTIVE FENCING:**

ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

**TREE PROTECTION NOTES**

- THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PART 8) AND BE PERFORMED UNDER SUPERVISION OF AN ARBORIST.
- TRUNK PROTECTION ONLY WHERE FENCE IS NOT CONSTRUCTIBLE: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A RING OF 8 FOOT LONG 2 INCH X 6 - INCH PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD. REMOVE TRUNK PROTECTION UPON SUBSTANTIAL COMPLETION.

**TREE TRENCHING AND TUNNELING**



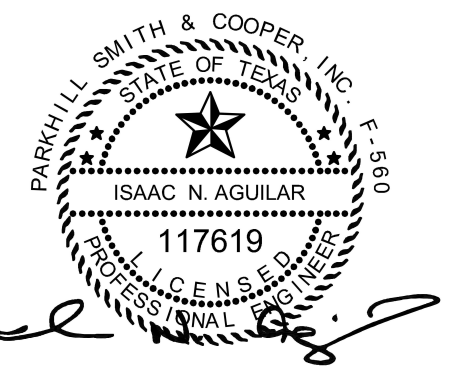
**BORING:**  
BORING OF UTILITIES UNDER PROTECTED TREES SHALL BE REQUIRED IN THOSE CIRCUMSTANCES WHERE IT IS NOT POSSIBLE TO TRENCH AROUND THE CRITICAL ROOT ZONE OF PROTECTED TREES. WHEN REQUIRED, THE LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AT A MINIMUM AND SHALL BE A MINIMUM DEPTH OF 48 INCHES.

**TREE TRENCHING AND TUNNELING NOTES**

- IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY; AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
- WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

**GENERAL NOTES**

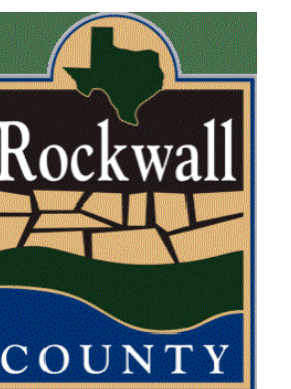
A. REFER TO CIVIL SITE PLAN FOR INFORMATION REQUIRED FOR SECTION 2.1 (PROVIDE SITE DATA TABLE)



10/20/2022

Parkhill.com

**Rockwall County Annex**



**CLIENT**

Rockwall County  
1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**

11987.22

**KEY PLAN**

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition  
Plat Cabinet "H" Slide 131  
Case Number: N/A  
Proposed Land Use: Commercial

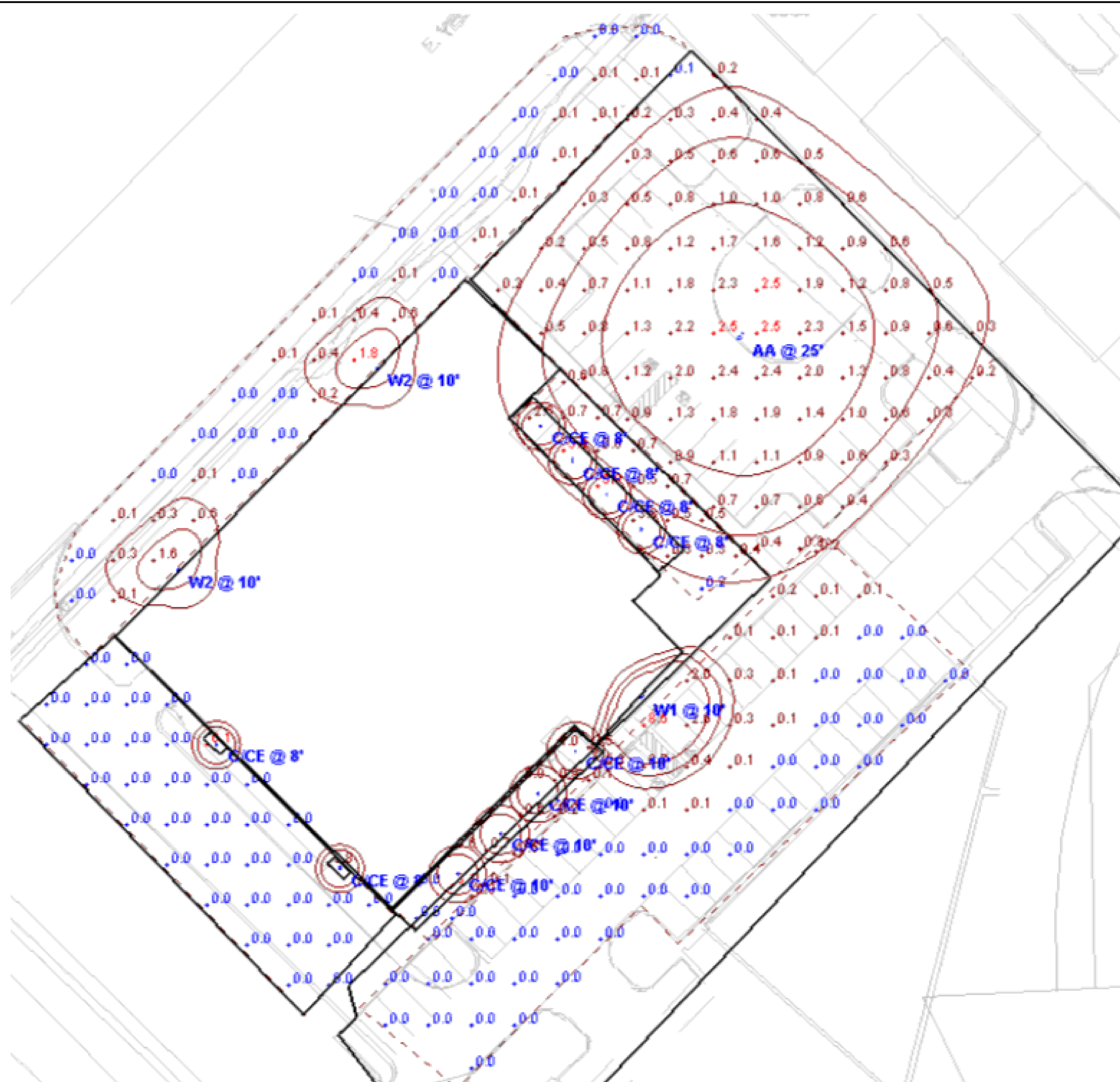
**Designer Information:**

Name: Parkhill  
Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
Phone Number: 972-987-1670

**Owner Contact Information**

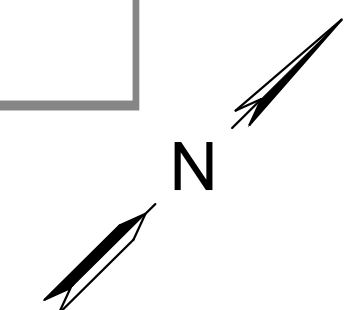
Name: Rockwall County  
Address: 101 East Rusk Street, Rockwall, Texas, 75087  
Phone Number: 972-204-6000

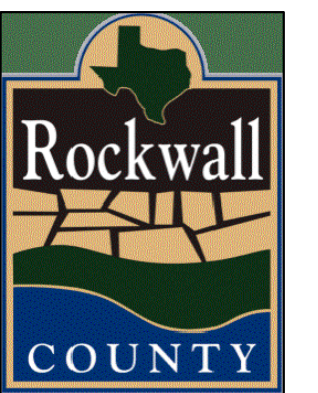
#	DATE	DESCRIPTION
1	10/20/2023	Site Plan Submittal



Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Existing Parking Lot	0.3 fc	8.5 fc	0.0 fc	N/A	N/A
New Parking Lot	1.0 fc	2.5 fc	0.1 fc	25.0:1	10.0:1
Existing Parking Lot Canopy	0.7 fc	3.1 fc	0.0 fc	N/A	N/A
FIRELANE ROAD	0.3 fc	6.1 fc	0.0 fc	N/A	N/A
Front Canopy	1.2 fc	3.9 fc	0.2 fc	19.5:1	6.0:1
Yellow Jacket Lane Sidewalk	0.2 fc	1.8 fc	0.0 fc	N/A	N/A

Wattage							
Symbol	Label	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Manufacturer	Wattage
	<b>W1</b>	WST LED P3 40K VF MVOLT	WST LED, Performance package 3, 4000 K, visual comfort forward throw, MVOLT	6609	0.8	Lithonia Lighting	50
	<b>AA</b>	ESX1 LED P4 40K R5	ESX LED Area Luminaire Size 1 P4 Lumen Package 4000K CCT Type R5 Distribution	26273	0.8	Lithonia Lighting	189.98
	<b>W2</b>	WST LED P1 40K Mvlt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	1568	0.8	Lithonia Lighting	11.47
	<b>C/CE</b>	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CR180	679	0.8	Lithonia Lighting	8.91

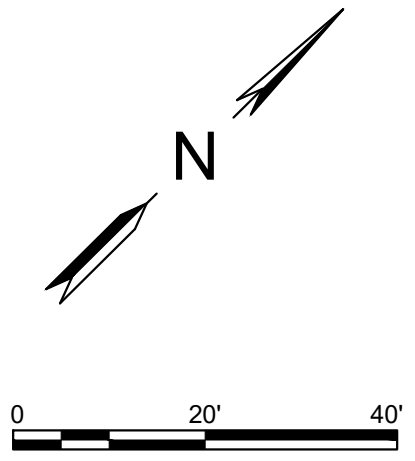




**CLIENT**  
**Rockwall County**  
 1111 E Yellowjacket Lane  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

**KEY PLAN**



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

## Utility Plan CU101A

### KEY NOTES

- AS INDICATED BY: (⊗)
- 16"x6" TAPPING SLEEVE AND VALVE
  - 8" X 6" TAPPING SLEEVE AND VALVE
  - 6" C-900 PVC WATER LINE
  - 6"x6" 90° BEND
  - 6"x6" TEE
  - 6" X 2 1/2" TEE
  - WATER METER
  - 6" GATE VALVE
  - 6" C-900 DR-14 PVC FIRE PROTECTION LINE
  - FIRE HYDRANT
  - 6" SDR-26 SANITARY SEWER LINE
  - 6" 45° BEND
  - CLEANOUT
  - 5' SANITARY SEWER MANHOLE
  - 12" HDPE STORM
  - X"X" JUNCTION BOX
  - 5' CURB INLET
  - POST INDICATOR VALVE - SEE DETAIL XXICU50X
  - WALL MOUNTED FIRE DEPARTMENT CONNECTION
  - 24" RCP STORM

### UTILITY NOTES

- THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE XXX-XXX-XXXX.
- FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND ALL APPLICABLE CODES.
- DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

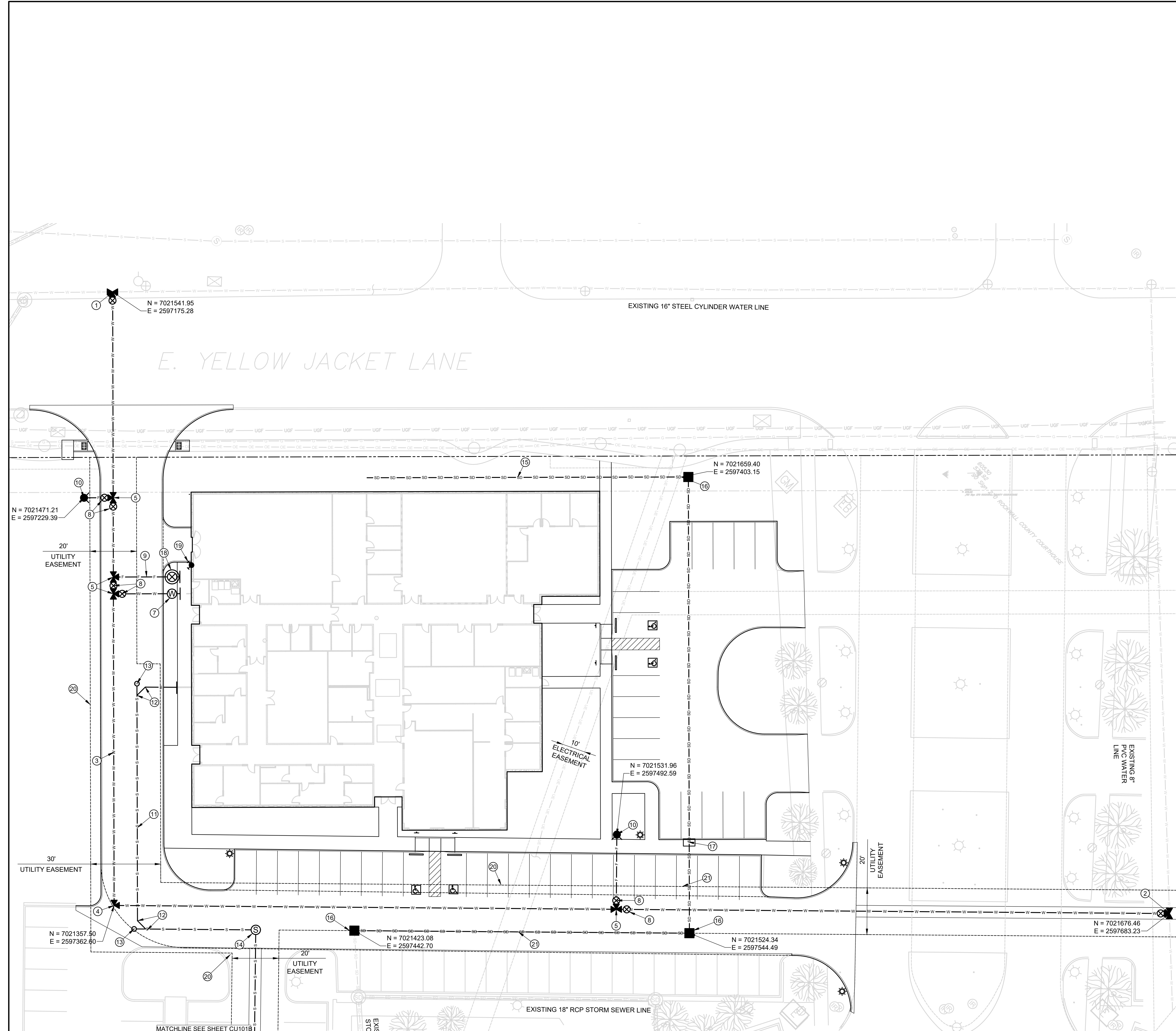
### LEGEND

- PROPERTY LINE
- S-SO- EXISTING SANITARY SEWER LINE WITH MANHOLE
- W-W- EXISTING WATER LINE WITH VALVE
- ⊗ EXISTING FIRE HYDRANT
- SD-SO- EXISTING STORM SEWER LINE
- SD-SO- NEW STORM SEWER LINE
- G-G- NEW GAS LINE WITH METER
- T-T- NEW TELECOMMUNICATIONS LINE
- E-E- NEW ELECTRIC LINE
- W-W- NEW DOMESTIC WATER LINE WITH VALVE
- F-F- NEW PVC C900 DR-14 FIRE PROTECTION WATER LINE
- ⊗ NEW FIRE HYDRANT
- S-S- NEW SANITARY SEWER SERVICE LINE
- NEW UTILITY EASEMENT

### SIGNATURE BLOCK

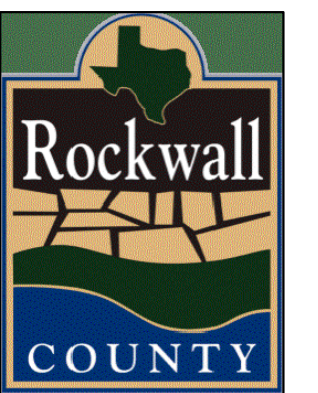
APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 2023.  
 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



## A1 UTILITY PLAN 1" = 20'

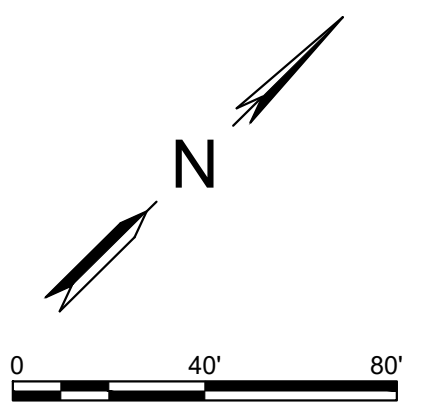
A:\2023\11987\22\03\_DSGN01\_DWG050\_CIVIL\00\_SHEETSCU101-11987.DWG, 11/7/2023 12:46 PM, tjones



**CLIENT**  
**Rockwall County**  
 1111 E Yellowjacket Lane  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

**KEY PLAN**



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

## Utility Plan CU101B

### KEY NOTES

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  - 6"x6" 90° BEND
  - 6"x6" TEE
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  - 6" C-900 DR-14 PVC FIRE PROTECTION LINE
  - FIRE HYDRANT
  - 6" SDR-26 SANITARY SEWER LINE
  - 6" 45° BEND
  - CLEANOUT
  - 5' SANITARY SEWER MANHOLE
  - X" HDPE STORM
  - X"X" JUNCTION BOX
  - 10' CURB INLET

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- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND ALL APPLICABLE CODES.
- DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

### LEGEND

- PROPERTY LINE
- s-s- EXISTING SANITARY SEWER LINE WITH MANHOLE
- w-w- EXISTING WATER LINE WITH VALVE
- ⊗ EXISTING FIRE HYDRANT
- sd-sd- EXISTING STORM SEWER LINE
- sd-sd- NEW STORM SEWER LINE
- g-g- NEW GAS LINE WITH METER
- t-t- NEW TELECOMMUNICATIONS LINE
- e-e- NEW ELECTRIC LINE
- w-w- NEW DOMESTIC WATER LINE WITH VALVE
- f-f- NEW PVC C900 DR-14 FIRE PROTECTION WATER LINE
- ⊗ NEW FIRE HYDRANT
- s-s- NEW SANITARY SEWER SERVICE LINE
- NEW UTILITY EASEMENT

EXISTING MANHOLE:  
 RIM = 571.52  
 FL W = 565.52  
 FL SE = 563.87  
 FL NE = 563.72

N = 7021262.13  
 E = 2598069.43

### SIGNATURE BLOCK

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 2023.  
 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

## A1 UTILITY PLAN 1" = 40'





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Leslie Ford; *Ofi Chito*  
**CASE NUMBER:** SP2023-035; *Site Plan for McDonald's*

---

### SUMMARY

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251- acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

### BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37 [Case No A1986-005]*. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [*Case No. Z2013-002; Ordinance No. 13-03*] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [*Case No. P2021-027*] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. On November 7, 2022, the City Council approved a final plat that establish the subject property as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

### PURPOSE

On October 20, 2023, the applicant -- *Leslie Ford of Ofi Chito* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located southeast of the intersection of S. Goliad Street [SH-205] and S. FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Beyond this is S. FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Somerset Park Subdivision, which is a 309-lot single-family residential master planned community that is zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) land uses.

South: Directly south of the subject property a 1.50-acre parcel of land (*i.e. Lot 1, Block A, Creekside Commons Addition*), developed with a convenience store with gasoline sales (*i.e. 7-11*) that is zoned Commercial (C) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 6.9998-acre tract of land (*i.e. Tract 10-1 of the W. W. Ford Survey, Abstract No. 80*) that is zoned General Retail (GR) District. Beyond this is S. FM-549, which is classified

as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Adjacent to the property line of the Creekside Commons Addition is the corporate limits of the City of Rockwall, followed by an unincorporated area with single-family homes.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.9998-acre vacant tract of land (i.e. Tract 10-01 of the W. W. Ford Survey, Abstract No. 80) that is zoned General Retail (GR) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 58 single-family residential lots on 109.57-acres that is zoned Single-Family Estate 1.5 (SFE-1.5) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *VariANCES and EXCEPTIONS Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=1.251-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 202.06-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=269.59-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=20.3-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=8.01%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/100 SF (Restaurant) 44 Required Parking Spaces	X=45; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=21.3%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=78.7%; In Conformance

**CONFORMANCE WITH THE CITY'S CODES**

The applicant is requesting to construct a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the subject property. According to Subsection 02.02(F)(29), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” In this case, the applicant’s proposed use falls under this classification, which is permitted *by-right* within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *VariANCES and EXCEPTIONS Requested by the Applicant* section of this case memo.

**VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variance(s) and exception(s):

- (1) Architectural Standards.

- (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case, the proposed building does not meet the primary articulation standards. This will require a *variance* from the Planning and Zoning Commission.
- (b) Roof Design. According to Subsection 06.02(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof.” In this case, the proposed building is less than 6,000 SF and utilizing a parapet system. This will require a *variance* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] increased masonry and stone percentages (*i.e. stone percentages that are 14.44% - 21.48% over the required 20.00% and masonry percentages that are up to ten [10.00%] percent over the required 90.00%*), [2] increased architectural elements (*i.e. spandrel glass, awnings, and cornice*) -- *staff should note that this is not a compensatory measure because it is required by the General Overlay District Standards* --, [3] increased landscape percentage (*i.e. 1.30% more than is required*), and [4] a bench and planters. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the South Central Residential District and is designated for Commercial land uses. According to the *District Strategies* this land use designation should “... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures.” In this case, the applicant is proposing a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In*. Based on this, the applicant’s land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should “... encourage high quality and inspiring architecture throughout the City...” More specifically the OURHometown Vision 2040 Comprehensive Plan states that “(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or “*articulated*” in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town.” In this case, the applicant is requesting exceptions to the building articulation requirements. These exceptions appear to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant’s proposal does not appear to meet the vision of the Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board, to match the materials of the adjacent building, and increase the building articulation. The applicant has provided the material sample board and generally matched the materials of the adjacent building; however, the building articulation does not meet the requirements of the *General Commercial District Standards* and the *General Overlay District Standards*. This will be reviewed by the ARB prior to the November 14, 2023 meeting.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS To Be Assigned

SUBDIVISION Creekside Commons

LOT

BLOCK

A

GENERAL LOCATION NWC of State Hwy 205 FM 549

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C - Commercial District in SH205 Overlay District

CURRENT USE Vacant

PROPOSED ZONING No change to base zoning designation requested.

PROPOSED USE McDonald's Restaurant with Drive-Through

ACREAGE

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Creekside Commons Crossing, LP

APPLICANT Ofi Chito

CONTACT PERSON Michael Hampton, Vice President

CONTACT PERSON Leslie Ford

ADDRESS 10755 Sandhill Road

ADDRESS 3224 Collinsworth Street

CITY, STATE & ZIP Dallas, Texas 75238

CITY, STATE & ZIP Fort Worth, TX 76107

PHONE 214-271-4630

PHONE 325-370-9965

E-MAIL mhampton@prudentdevelopment.com

E-MAIL leslie@ofichito.com

### NOTARY VERIFICATION [REQUIRED]

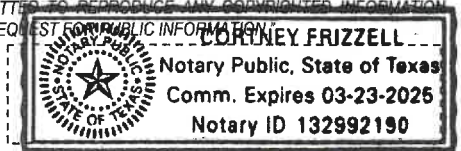
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF October, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF October, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 03-23-2025



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
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- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	To Be Assigned			
SUBDIVISION	Creekside Commons	LOT	BLOCK	A
GENERAL LOCATION	NWC of State Hwy 205 FM 549			

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	C - Commercial District in SH205 Overlay District	CURRENT USE	Vacant	
PROPOSED ZONING	No change to base zoning designation requested.	PROPOSED USE	McDonald's Restaurant with Drive-Through	
ACREAGE	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Creekside Commons Crossing, LP	<input type="checkbox"/> APPLICANT	Ofi Chito
CONTACT PERSON	Michael Hampton, Vice President	CONTACT PERSON	Leslie Ford
ADDRESS	10755 Sandhill Road	ADDRESS	3224 Collinsworth Street
CITY, STATE & ZIP	Dallas, Texas 75238	CITY, STATE & ZIP	Fort Worth, TX 76107
PHONE	214-271-4630	PHONE	325-370-9965
E-MAIL	mhampton@prudentdevelopment.com	E-MAIL	leslie@ofichito.com

## NOTARY VERIFICATION [REQUIRED]

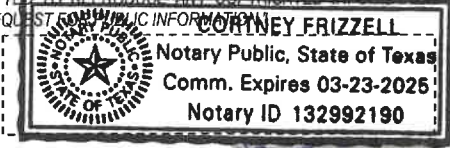
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF October, 2023.

OWNER'S SIGNATURE \_\_\_\_\_

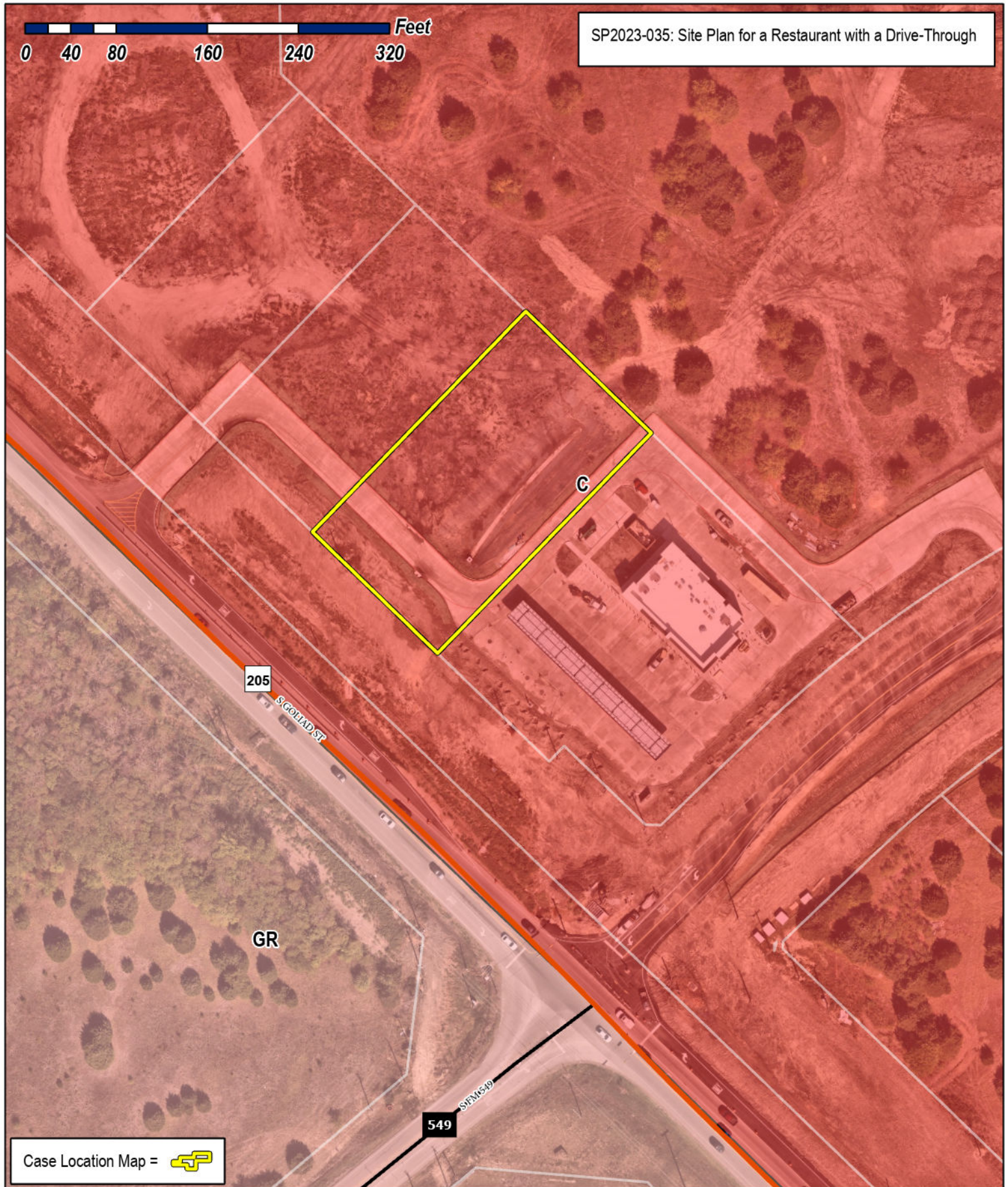
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_




MY COMMISSION EXPIRES 03-23-2025

0 40 80 160 240 320 Feet

SP2023-035: Site Plan for a Restaurant with a Drive-Through



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





November 9, 2023

City of Rockwall  
Planning and Zoning  
385 S Goliad Street  
Rockwall, TX 75087

**RE: McDonald's Variance – 550 FM 549, Rockwall, TX 75032**

McDonald's is requesting a variance to the building articulation requirements as outlined in Subsection 04.01 of Article 05 of the City of Rockwall UDC. The ordinance requires that a five foot wall projection be added to the east and west sides of the building and this creates a hardship for this project due to the site size. To keep the aisle widths and turning radii required by the City of Rockwall Engineering Department, the building cannot project out any further than currently shown.

Attempts have been made to meet the intent of the ordinance by raising portions of the exterior walls three feet and bringing them out six additional inches from the adjacent wall portions. The building materials have been chosen to complement the nearby 7-11 and create a sense of cohesion and elevated finish design for the retail area. We have also added the following compensatory measures to our building and site to meet the requirements of the variance request:

1. Increased masonry percentages: the building will be over 93% masonry through a mix of brick and natural limestone.
2. The building exterior will be comprised of 39.49% natural limestone, significantly in excess of the 20% requirement.
3. Many architectural elements have been added to the building, including awnings over many windows and doors, a large section of spandrel glass between the drive-thru windows, and a cornice line around the top of the entire building.
4. The site has increased landscaping percentages above and beyond the requirements set forth in each portion of Section 5.03 of the Rockwall development code. We have also added an outdoor bench and planters to create additional interest in the area immediately surrounding the building.

Please feel free to contact me with any questions or concerns.

Thank you for reviewing our request,

Leslie Ford  
Entitlements Consultant  
Ofi Chito, LLC  
325-370-9965  
leslie@ofichito.com

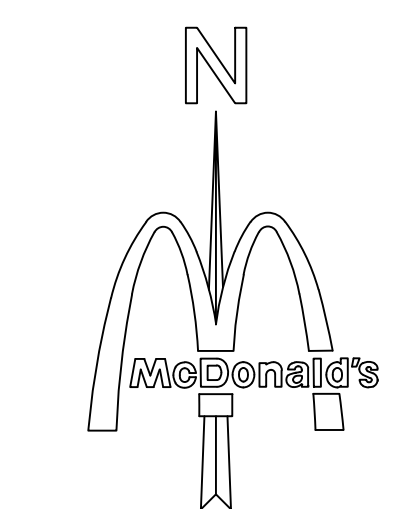
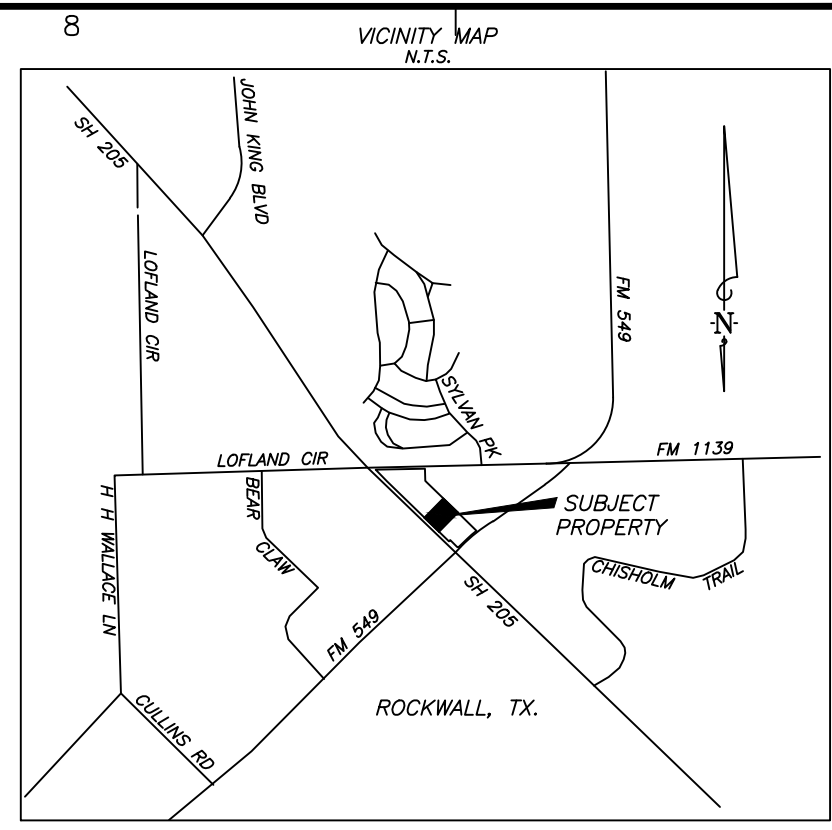
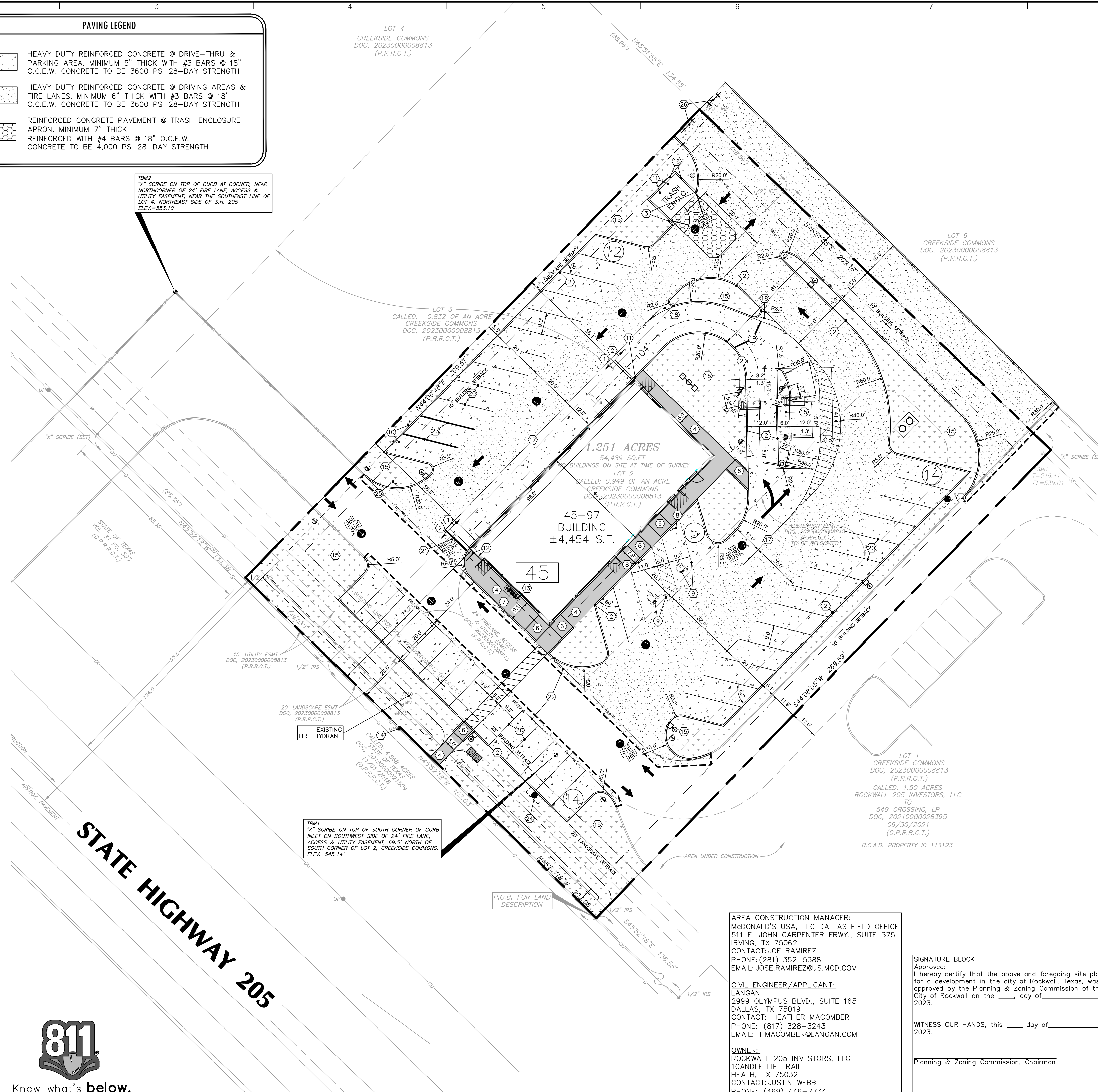


LEGEND	
LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24" CLEAR FROM BACK OF CURB)	
McDONALD'S DIGITAL MENU BOARD	
McDONALD'S ORDER HERE CANOPY	
McDONALD'S DIGITAL PRE-BROWSE BOARD	
McDONALD'S DOUBLE GATEWAY	
McDONALD'S DIRECTIONAL SIGN	
DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C10.0 STANDARD DETAILS)	
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW	
PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - COLOR : YELLOW *	
"THANK YOU" AT END OF PATH - COLOR : YELLOW	
"CIRCLE / ARROW" - COLOR : YELLOW	
ARROW PATH DIRECTION - COLOR : WHITE	
STRAIGHT DRIVE-THRU "ARROW MARKING" - COLOR : YELLOW	

PAVING LEGEND	
	HEAVY DUTY REINFORCED CONCRETE @ DRIVE-THRU & PARKING AREA. MINIMUM 5" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH
	HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & FIRE LANES. MINIMUM 6" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH
	REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.W. CONCRETE TO BE 4,000 PSI 28-DAY STRENGTH

KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
4	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
5	NOT USED
6	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
7	BENCH (G.C. TO COORDINATE WITH O/O & ACM)
8	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
9	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (RE: C10.1 STANDARD DETAILS)
10	McDONALD'S OOSP, MOBILE & ROLL FORWARD SIGNS (RE: C10.4 STANDARD DETAILS)
11	BOLLARD (RE: C10.0 STANDARD DETAILS)
12	5' GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
13	PLANTERS (G.C. TO COORDINATE WITH O/O & ACM)
14	POLE MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN)
15	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
16	8' TALL MASONRY SCREENING WALL (RE: ARCHITECTURAL PLANS)
17	6" DRIVE-THRU STRIPING - COLOR : YELLOW
18	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
19	6" MERGE POINT - COLOR : YELLOW
20	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
21	8" OOSP STRIPING - COLOR : YELLOW
22	FIRE LANE STRIPING PER CITY OF ROCKWALL FIRE CODE STANDARDS
23	4" OOSP & MOBILE PICK-UP STRIPING - COLOR : YELLOW
24	DRAINAGE STRUCTURE (RE: C8.1 POST DEVELOPED DRAINAGE PLAN)
25	DO NOT ENTER SIGN
26	TYPE III BARRICADE (PER MUTCD STANDARDS)

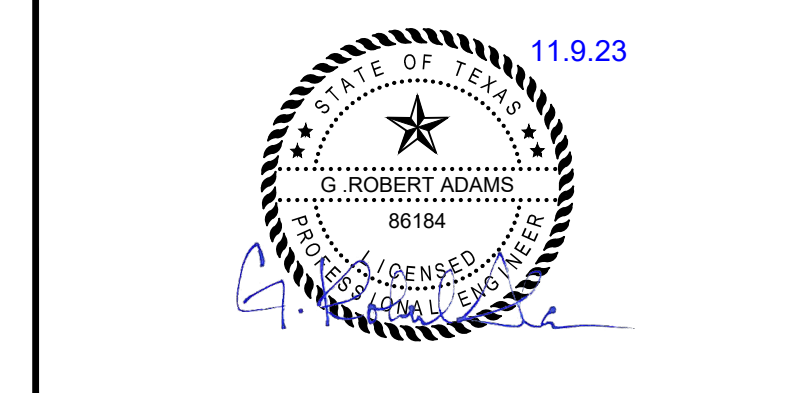
SITE INFORMATION	
LAND AREA:	54,489 SF (1.251 AC)
CURRENT ZONING:	C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT)
EXISTING USE:	VACANT LOT
PROPOSED USE:	McDONALD'S RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	4,454 GFA
BUILDING LOT COVERAGE:	4,454 SF/54,489 SF = 8.17%
PARKING CALCULATIONS:	1 SPACE PER 100 SF
PARKING SPACES REQUIRED:	44
PARKING SPACES PROVIDED:	45
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
LANDSCAPE SETBACK:	20' FRONT; 5' REAR & SIDE
BUILDING SETBACK:	25' FRONT; 10' SIDES & REAR
EXISTING IMPERVIOUS AREAS:	13.9% (7,592 SF)
PROPOSED IMPERVIOUS AREAS:	64.0% (34,835 SF)
PROPOSED LANDSCAPE PERCENTAGE:	22.1% (12,062 SF)



SCALE: 1" = 20'

Date	Description	No.
Revisions		

**McDonald's USA, LLC**  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.



**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
2999 Olympus Blvd, Suite 165  
Dallas, TX 75019  
T: 817.328.3200 www.langan.com  
TBPE FIRM REG. #F-1709

Project  
**McDonald's Restaurant**  
L/C #042-3426 (NSN 41096)  
NWC S.H. 205 & FM 549  
PROPOSED LOT 2R, BLOCK A,  
CREEKSIDE COMMONS  
ROCKWALL

ROCKWALL COUNTY TEXAS  
Drawing Title

SITE PLAN	
Project No.	520061401
Date	11/09/2023
Drawn By	MNK
Checked By	HJM
Drawing No.	C4.0
Sheet	6 of 21

AREA CONSTRUCTION MANAGER:  
McDONALD'S USA, LLC DALLAS FIELD OFFICE  
511 E. JOHN CARPENTER FRWY., SUITE 375  
IRVING, TX 75062  
CONTACT: JOE RAMIREZ  
PHONE: (281) 352-5388  
EMAIL: JOSE.RAMIREZ@US.MCD.COM

CIVIL ENGINEER/APPLICANT:  
LANGAN  
2999 OLYMPUS BLVD., SUITE 165  
DALLAS, TX 75019  
CONTACT: HEATHER MACOMBER  
PHONE: (817) 328-3243  
EMAIL: HMACOMBER@LANGAN.COM

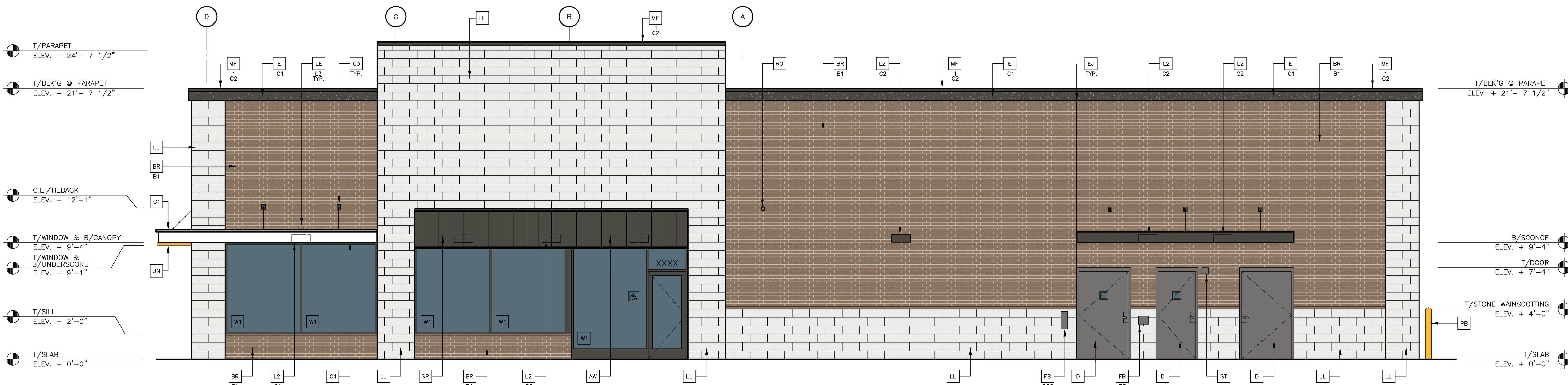
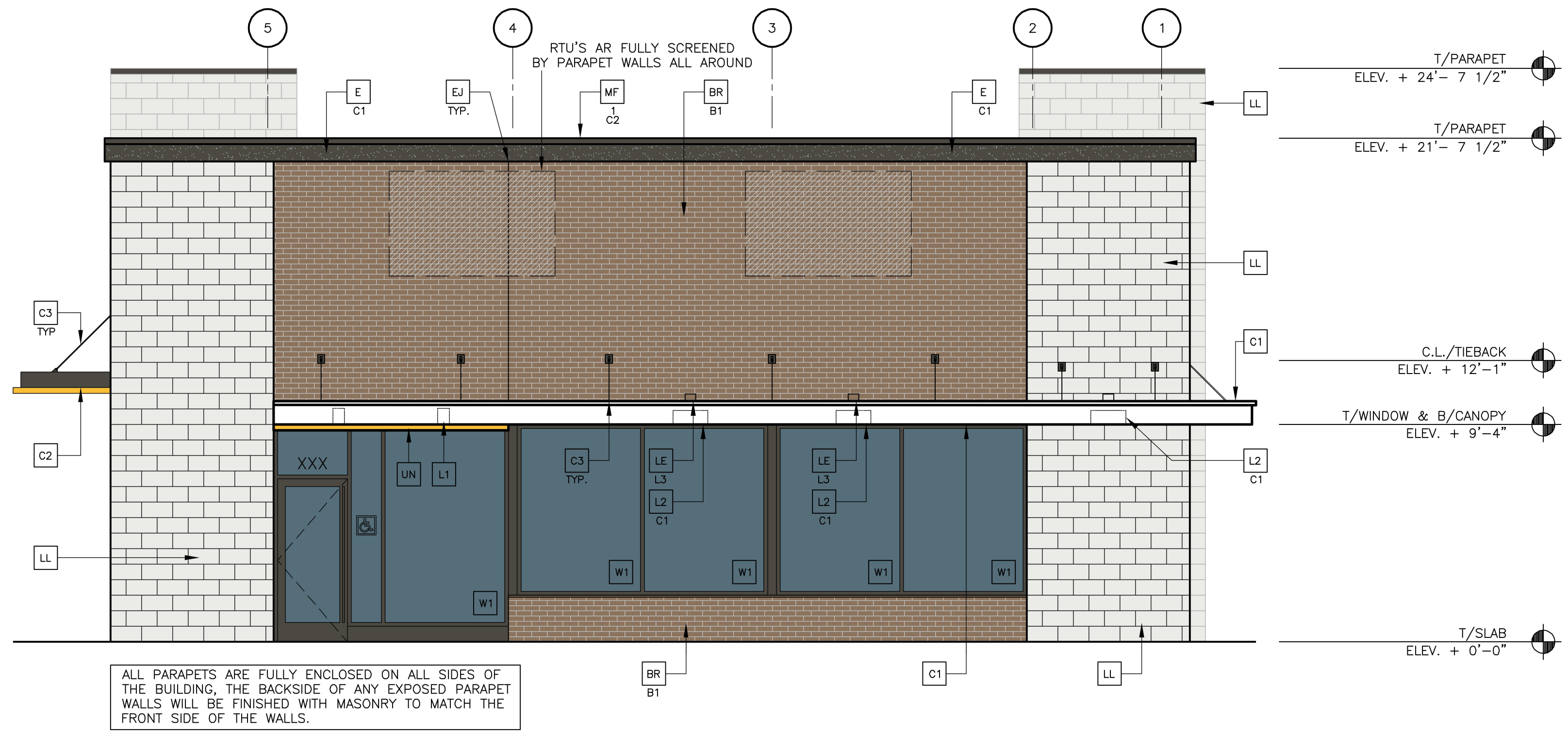
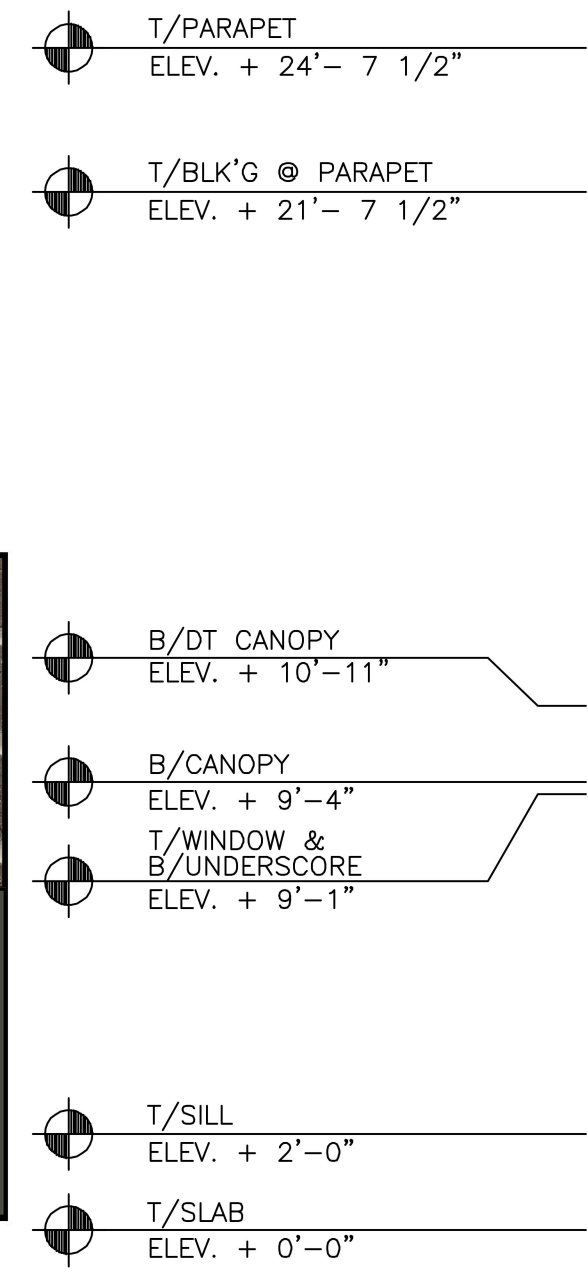
OWNER:  
ROCKWALL 205 INVESTORS, LLC  
1CANDLELITE TRAIL  
HEATH, TX 75032  
CONTACT: JUSTIN WEBB  
PHONE: (469) 446-7734  
EMAIL: JUSTINW@ALTURAHOMES.COM

SIGNATURE BLOCK  
Approved:  
I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_ 2023.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_ 2023.

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS BUILDING										
Materials	South Elevation		East Elevation		West Elevation		North Elevation		Totals	
	SF	%	SF	%	SF	%	SF	%	SF	%
Brick	410	55.03%	1,022	54.77%	924	48.71%	588	60.81%	2,944	53.77%
Limestone	289	38.79%	774	41.48%	766	40.38%	333	34.44%	2,162	39.49%
Stucco	46	6.17%	70	3.75%	70	3.69%	46	4.76%	232	4.24%
Metal Paneling	0	0.00%	0	0.00%	137	7.22%	0	0.00%	137	2.50%
<b>Totals (Excluding Glazing)</b>	<b>745</b>	<b>100%</b>	<b>1,866</b>	<b>100%</b>	<b>1,897</b>	<b>100%</b>	<b>967</b>	<b>100%</b>	<b>5,475</b>	<b>100%</b>



**KEY NOTES:**

- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK COLOR: B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY (MORTAR TO BE LIGHT BUFF TO MATCH LIMESTONE) B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY (MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022
- AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE)
- SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE)
- C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- D HOLLOW METAL DOOR PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT) COLOR: LINEN (RUNNING BOND) SIZE: 8"X16"X4" FINISH: SMOOTH
- OR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH USE STAINLESS STEEL OR GALVANIZED STEEL
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
- L2 RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL C1-COLOR: C1= WHITE C2= PLATINUM SILVER C3= DARK BRONZE
- LE ACCENT LIGHTING - SEE ELECTRICAL L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA C1-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES COLOR: C1= WEATHERED ZINC C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR MODEL: #WPT STD. CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. C1-COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM, SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- UN METAL UNDERSCORE COLOR: GOLD
- E 7/8" 3-COAT STUCCO SYSTEM, REF WALL ASSEMBLY NOTES C1-"IRON ORE" SW 7069 BY SHERWIN WILLIAMS

**REQUIRED ARCHITECTURAL ELEMENTS:**

- CANOPIES, AWNINGS OR PORTICOS (AWNINGS & CANOPIES PROVIDED)
  - ARTICULATED GROUND FLOOR LEVELS OR BASES (STONE BASE PROVIDED)
  - ARTICULATED CORNICE LINE (PROVIDED)
  - DISPLAY WINDOWS (PROVIDED)
- GENERAL OVERLAY DISTRICT STANDARDS:**
- INCREASED LANDSCAPING (PROVIDED REF CIVIL PACKAGE)
  - MASONRY BUILDING PERCENTAGES (97.50% PROVIDED)
  - INCLUSION OF NATURAL/CULTURED STONE (39.49% PROVIDED)
  - VERTICAL ARTICULATION PROVIDED ON EAST/WEST ELEVATIONS

PREPARED BY: **JAW** SHERWIN WILLIAMS ARCHITECT

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**McDonald's USA, LLC**

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DRAWN BY: JAW  
STD ISSUE DATE: 2023  
REVIEWED BY: JAW  
DATE ISSUED: 10/06/2023  
SITE ADDRESS: 042-3426 NMC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS

TITLE: 2023 CUSTOM BUILDING DESIGN 4597-WOOD/WOOD

DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH

JAW 23-0038

**A2.0**  
ELEVATIONS

CASE #SP2023-035

11/09/2023 PLANNING DEPARTMENT COMMENTS

REV. DATE DESCRIPTION



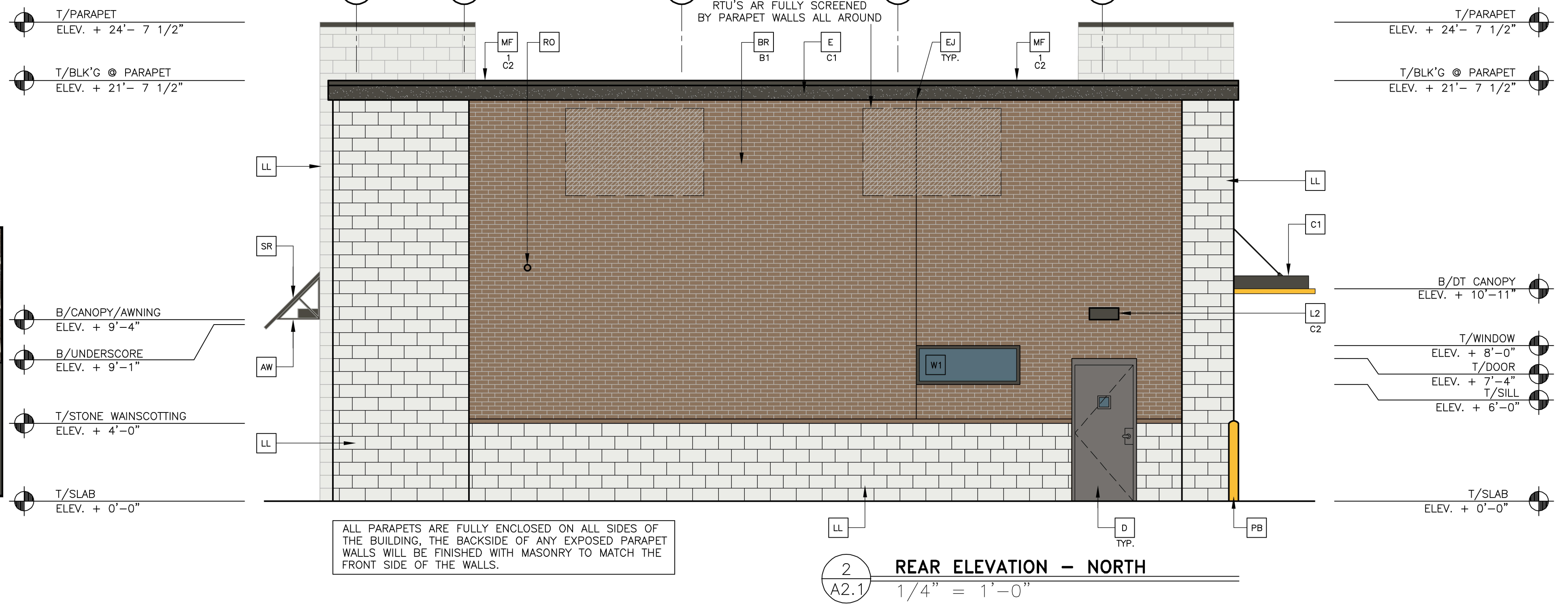
1 DRIVE THRU ELEVATION - WEST  
1/4" = 1'-0"

Materials	South Elevation		East Elevation		West Elevation		North Elevation		Totals	
	SF	%	SF	%	SF	%	SF	%	SF	%
Brick	410	55.03%	1,022	54.77%	924	48.71%	588	60.81%	2,944	53.77%
Limestone	289	38.79%	774	41.48%	766	40.38%	333	34.44%	2,162	39.49%
Stucco	46	6.17%	70	3.75%	70	3.69%	46	4.76%	232	4.24%
Metal Paneling	0	0.00%	0	0.00%	137	7.22%	0	0.00%	137	2.50%
<b>Totals (Excluding Glazing)</b>	<b>745</b>	<b>100%</b>	<b>1,866</b>	<b>100%</b>	<b>1,897</b>	<b>100%</b>	<b>967</b>	<b>100%</b>	<b>5,475</b>	<b>100%</b>

**B1 - BRICK "MUSHROOM BROWN"**    **LL - LIMESTONE "LINEN"**    **B2 - BRICK "EBONY"**

**CN - ALUM CANOPY WHITE**    **E - STUCCO "IRON SPOT"**    **AP - APOLIC METAL PANELS**

**UN - UNDERSCORE YELLOW**



2 REAR ELEVATION - NORTH  
1/4" = 1'-0"

ALL PARAPETS ARE FULLY ENCLOSED ON ALL SIDES OF THE BUILDING. THE BACKSIDE OF ANY EXPOSED PARAPET WALLS WILL BE FINISHED WITH MASONRY TO MATCH THE FRONT SIDE OF THE WALLS.

**KEY NOTES:**

- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK COLOR: B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY (MORTAR TO BE LIGHT BUFF TO MATCH LIMESTONE) B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY (MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022
- AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE)
- SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE)
- C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- D HOLLOW METAL DOOR SURFACE: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT) COLOR: LINEN (RUNNING BOND) SIZE: 8"X16"X4" FINISH: SMOOTH
- LIMESTONE TO HAVE 1/4" RAKED MORTAR JOINTS (MORTAR COLORS TO BE LIGHT BUFF) SUBMIT TO ARCHITECT FOR APPROVAL
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH USE STAINLESS STEEL OR GALVANIZED STEEL
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
- L2 RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL
- C1-COLOR: C1= WHITE C2= PLATINUM SILVER C3= DARK BRONZE
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
- C1-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
- COLOR: C1= WEATHERED ZINC C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR MODEL: JMWFT STD CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- C1-COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM, SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- UN METAL UNDERSCORE COLOR: GOLD
- E 7/8" 3-COAT STUCCO SYSTEM, REF WALL ASSEMBLY NOTES C1-"IRON OR" SW 7069 BY SHERWIN WILLIAMS

**REQUIRED ARCHITECTURAL ELEMENTS:**

1. CANOPIES, AWNINGS OR PORTICOS (AWNINGS & CANOPIES PROVIDED)
  2. ARTICULATED GROUND FLOOR LEVELS OR BASES (STONE BASE PROVIDED)
  3. ARTICULATED CORNICE LINE (PROVIDED)
  4. DISPLAY WINDOWS (PROVIDED)
- GENERAL OVERLAY DISTRICT STANDARDS:**
1. INCREASED LANDSCAPING (PROVIDED REF CIVIL PACKAGE)
  2. MASONRY BUILDING PERCENTAGES (97.50% PROVIDED)
  3. INCLUSION OF NATURAL/CULTURED STONE (39.49% PROVIDED)
  4. VERTICAL ARTICULATION PROVIDED ON EAST/WEST ELEVATIONS

11/09/2023 PLANNING DEPARTMENT COMMENTS

1 11/09/2023

REV DATE DESCRIPTION

REGISTERED ARCHITECT  
SHERWIN WILLIAMS  
STATE OF TEXAS  
1918  
JAW  
JAW ARCHITECTS, P.C.  
1100 W. WILSON ST.  
DALLAS, TX 75202  
PH: 214.750.2328  
WWW.JAWARCHITECTS.COM

PREPARED BY: JAW

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McDonald's USA, LLC

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DRAWN BY: JAW  
STD ISSUE DATE: 2023  
REVIEWED BY: JAW  
DATE ISSUED: 10/06/2023  
SITE ID: 042-3426  
NWC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS

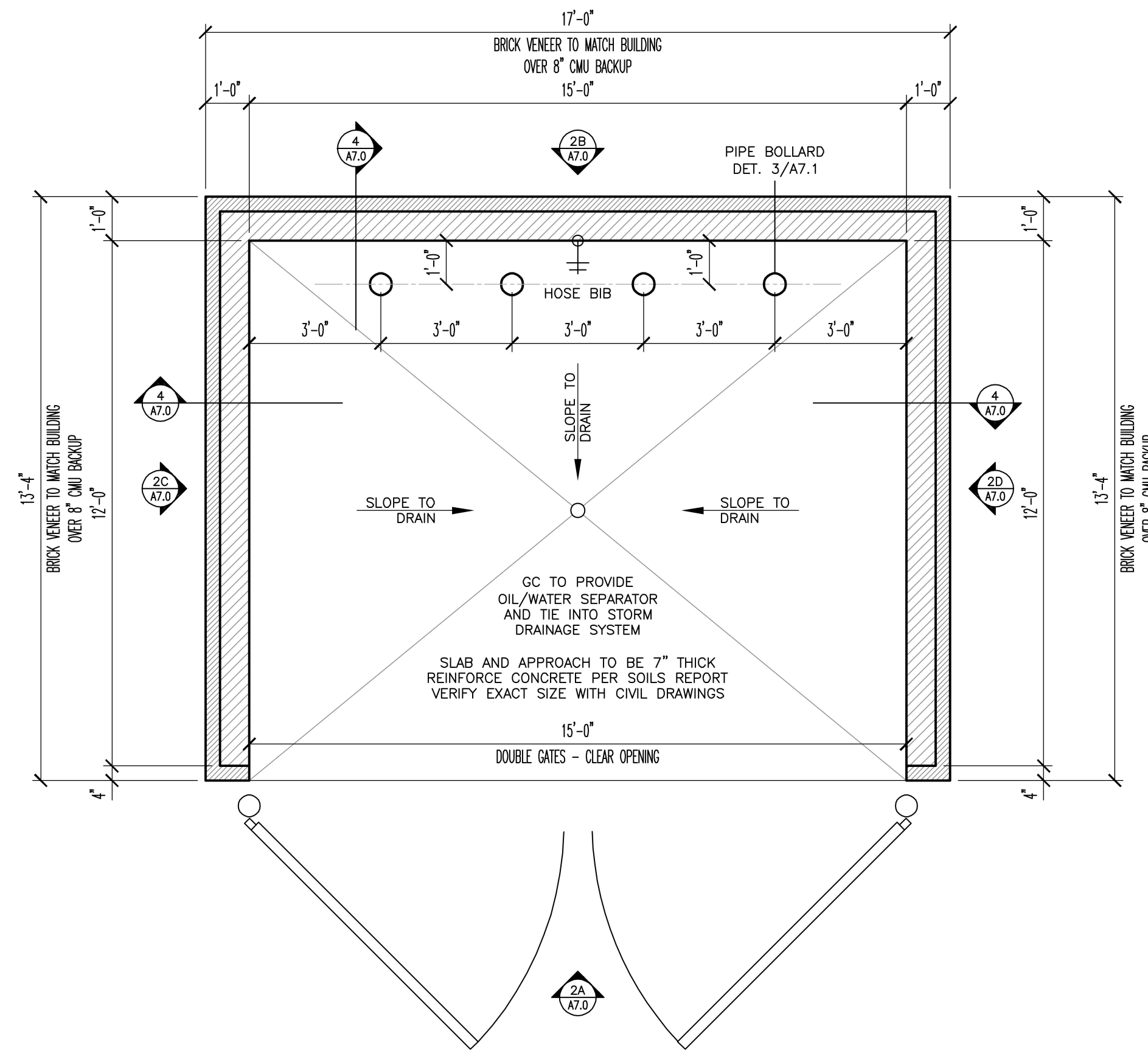
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DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH

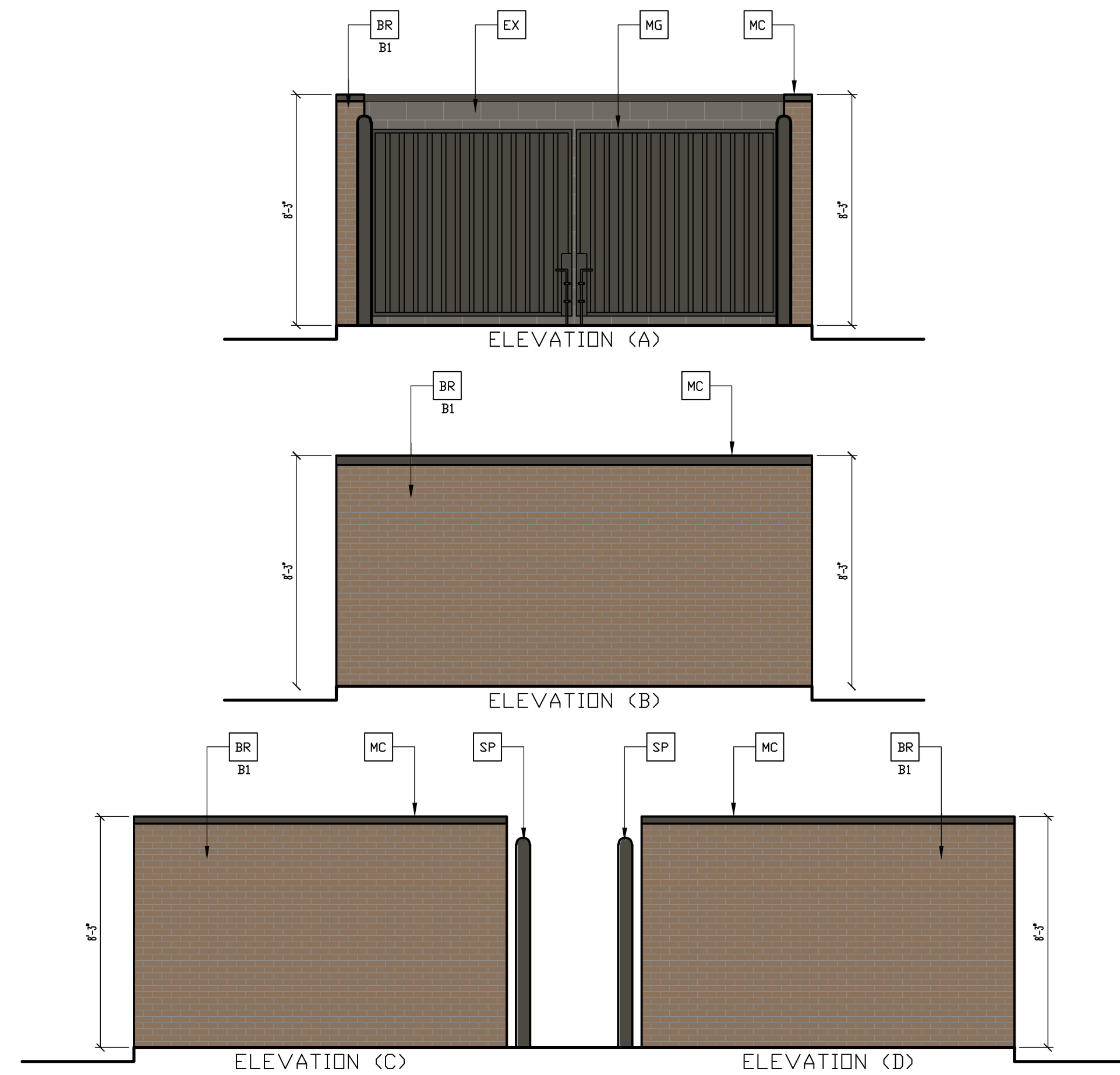
JAWA 23-0038

**A2.1**  
ELEVATIONS

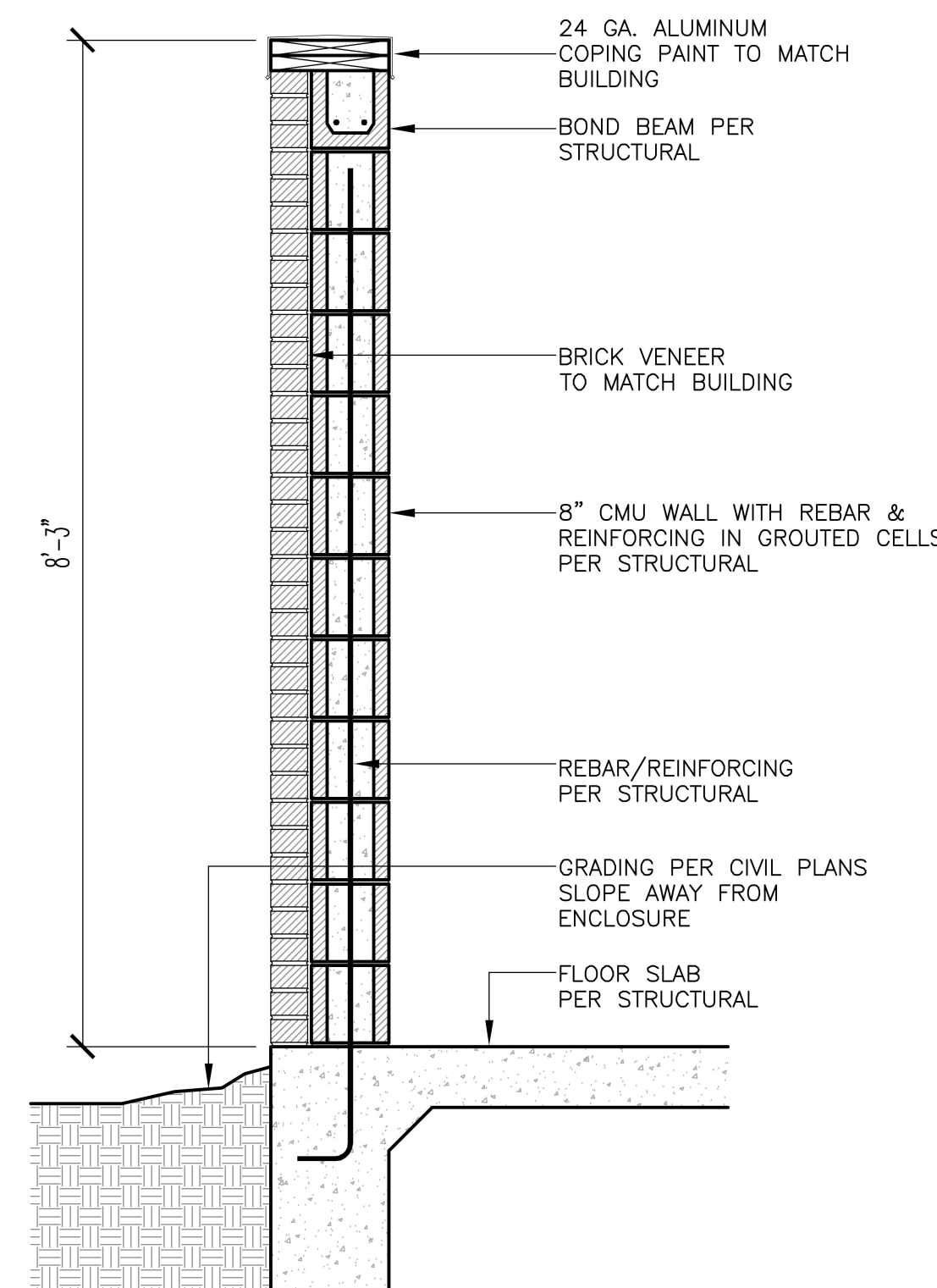
CASE #SP2023-035



1 DUMPSTER ENCLOSURE PLAN SCALE 3/8"=1'-0"



2 DUMPSTER ELEVATIONS SCALE 1/4"=1'-0"



4 WALL SECTION DETAIL SCALE 3/4"=1'-0"

**KEY NOTES:**

- BR MODULAR FACE BRICK
- B1 - COLOR: B1 = "MUSHROOM BROWN" BY AMCE BRICK COMPANY
- MC 24 GAUGE ALUMINUM COPING OVER CMU ENCLOSURE WALLS COLOR TO MATCH "MF-C2" RAL 7022
- SP STEEL CONCRETE FILLED POST PAINT TO MATCH BUILDING TRIM COLOR RAL 7022
- MG METAL DUMPSTER ENCLOSURE ENTRY GATES, REF METALS AND NOTES, COLOR RAL 7022
- EX GC TO PAINT EXPOSED CMU BLOCK (INSIDE ENCLOSURE) TO MATCH RAL 7022

ALL DUMPSTER ENCLOSURE GATES ARE TO BE SELF-LATCHING

**GENERAL NOTES:**

- GENERAL CONTRACTOR TO PROVIDE 6 INCHES OF EXPOSED GRADE BREASTS AROUND THE STORAGE BUILDING WITH THE EXCEPTION OF THE DOOR LOCATION, COORDINATE WITH THE CIVIL GRADING PLANS.
- 5/8" PUDDLE WELD B/N DECK & ALL ANGLE TYPICAL IN EACH DECK FLUTE, PROVIDE #12 SCREWS @ 6" O.C. AT ALL DECK SIDE LAPS.
- GENERAL CONTRACTOR TO SUPPLY AND INSTALL CORRUGATED METAL GATES (16 GAUGE) F-DECKING, ALL METAL TO BE PRIMED AND PAINTED TO MATCH THE BUILDING TRIM COLOR, VERIFY WITH ACM.
- PROVIDE A 12"x12" LOUVER VENT IN HOLLOW METAL DOOR, SEE ELEVATIONS.

**ELECTRICAL NOTES:**

- OCCUPANCY SENSOR: GC TO PROVIDE A WALL MOUNTED OCCUPANCY SENSOR, REF ELECTRICAL PLANS FOR MORE INFORMATION.
- GC TO INSTALL NEW STRIP LIGHT FIXTURE, PER MANF.'S RECOMMENDATIONS. F25 - 42W LED BY COLUMBIA LIGHTING #LCL4-40ML-EDU.
- GC TO PROVIDE A 20A, 120V, RECEPTACLE WITHIN 25 FEET OF THE HVAC EQUIPMENT, PER CODE.
- ALL LIGHTING/POWER SHALL BE CONNECTED TO AN APPROPRIATE CIRCUIT IN THE MAIN BUILDING PANELS, VERIFY CIRCUITING PRIOR TO ROUGH-IN.

PREPARED BY: JAW

REGISTERED ARCHITECT  
STATE OF TEXAS  
1926  
JAW ARCHITECTS, P.C.  
11770333  
Dallas, Texas 75242

REV	DATE	DESCRIPTION
1	11/06/23	PLANNING DEPARTMENT COMMENTS

DRAWN BY: JAW  
STD ISSUE DATE: 2023  
REVIEWED BY: JAW  
DATE ISSUED: 10/06/2023

TITLE: 2023 CUSTOM BUILDING DESIGN  
4597-WOOD/WOOD

DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER  
WOOD ROOF TRUSS FRAMING  
STONE/BATTEN/BRICK EXTERIOR FINISH

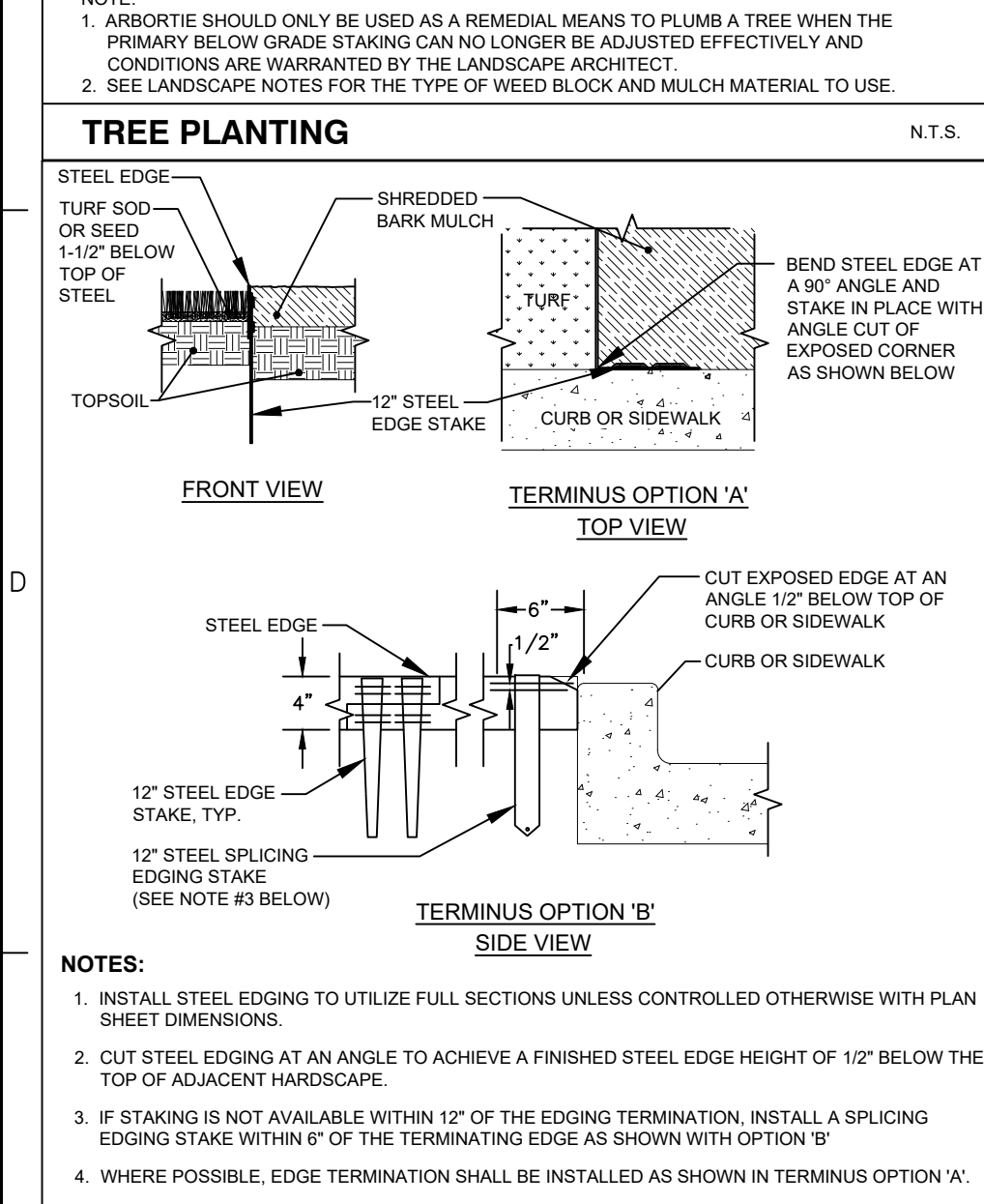
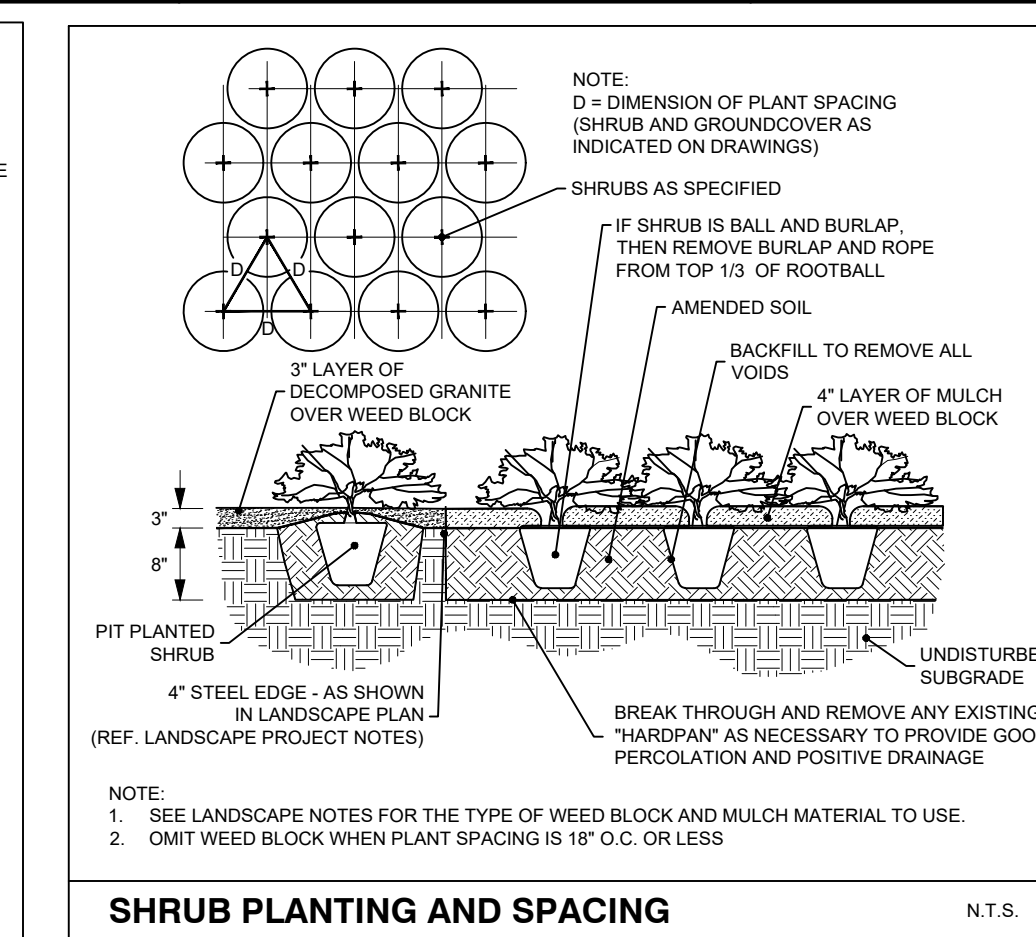
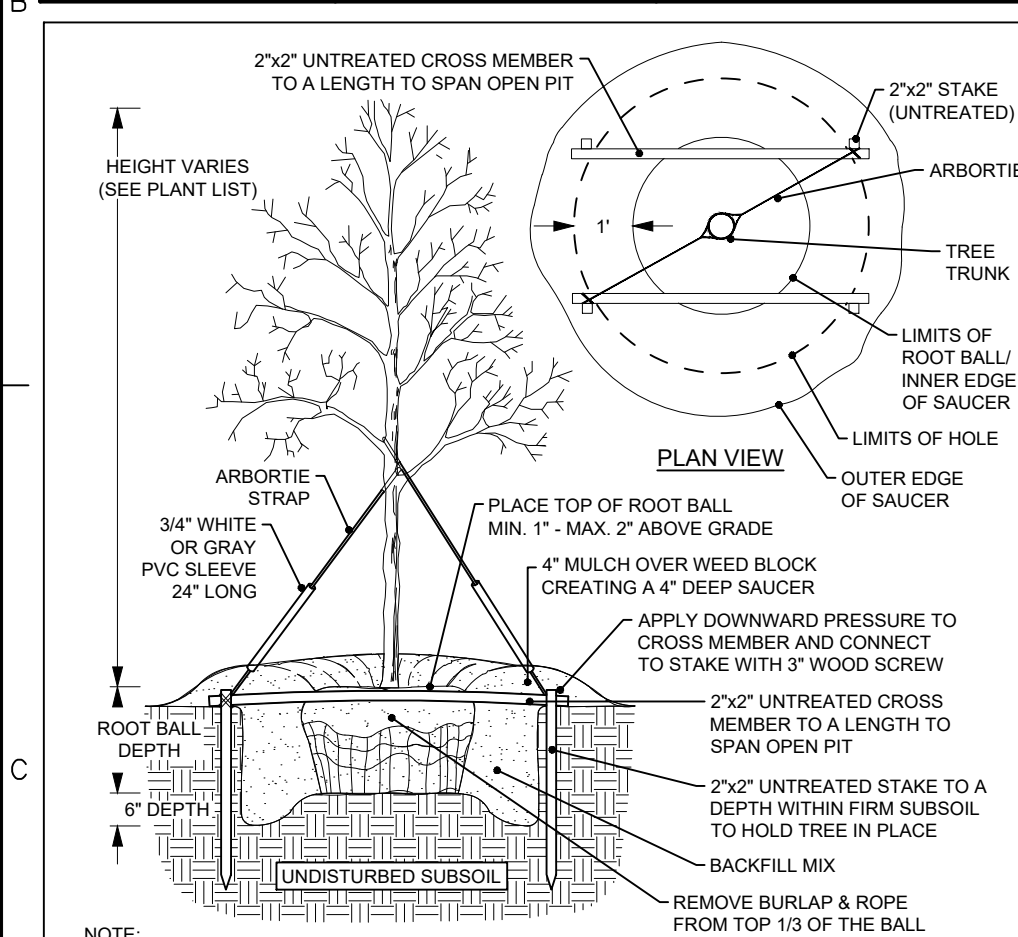
SITE ID: 042-3428  
SITE ADDRESS: NMC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS

SHEET NO. A7.0

CASE #SP2023-035

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LANDSCAPE ORDINANCE COMPLIANCE CHART			
ORDINANCE SECTION	DESCRIPTION	REQUIRED/PROVIDED	COMPLIANCE
Section 5.01	Minimum of 20' wide landscape buffer along all State Highway 205	REQUIRED: 20' wide buffer PROVIDED: 20' wide buffer	COMPLIES
	All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up 30" tall berm and minimum 30" tall shrubbery along the entire length of the frontage	REQUIRED: 30" tall berm, 30" tall shrubs and groundcover along entire length of frontage PROVIDED: 30" tall berm, 30" tall shrubs and groundcover along entire length of frontage	COMPLIES
	Also a minimum of one (2) canopy tree and one (4) accent tree shall be incorporated into the landscape buffer per 100-linear feet of frontage along the State Highway 205	REQUIRED: 180 LF/50' = 3.6 Canopy Trees and 7.2 Accent Trees PROPOSED: 4 Canopy Trees and 8 Accent Trees	COMPLIES
Section 5.03	Minimum of 20% of the total site must be landscaped	REQUIRED: 54,489 Sq.Ft x 0.2 = 10,897.8 Sq.Ft PROPOSED: 11,627 Sq.Ft (21.3%)	COMPLIES
	Minimum 5% or 200 Sq.Ft of Landscaping (whichever is greater) in the interior parking lot area. And must have a tree within 80' of each required parking space.	REQUIRED: 9,297.46 Sq.Ft (Proposed parking area) x 0.05 = 464.87 Sq.Ft of Landscaping required PROPOSED: 723.12 Sq.Ft (7.8%) and every parking space has a tree within 80' of it	COMPLIES
	Minimum of 50% of required landscape must be located in the front yard or side yards of the site.	REQUIRED: 10,897.8 Sq.Ft x 0.5 = 5,448.9 Sq.Ft PROPOSED: 7,981.32 Sq.Ft	COMPLIES



**SHRUB PLANTING AND SPACING** N.T.S.

**LANDSCAPE PROJECT NOTES**

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (filled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors, and said irrigation shall be designed by a qualified professional and installed by a licensed irrigator.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the city. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the city.

**206 A.4.B TREE PLACEMENT AND CLEARANCES**

- if a required canopy tree is proposed within 12 feet of a building foundation, an alternate planting location on-site may be approved by the director of planning.
- no tree shall be planted closer than four feet to a right-of-way line, nor closer than eight feet to any public water line, wastewater line, fire protection connection, or drainage line, nor within any detention pond, unless approved by the director of engineering.
- a landscape area in which trees are to be provided shall not overlap or otherwise infringe upon a utility easement, unless no alternative is available.
- no tree that has a mature height of 25 feet or greater shall be planted within ten feet of an existing or proposed overhead utility line, where canopy trees are required adjacent to or underneath overhead utility lines, ornamental trees shall be provided instead of the required canopy trees at a ratio of two ornamental trees per every one required canopy tree.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

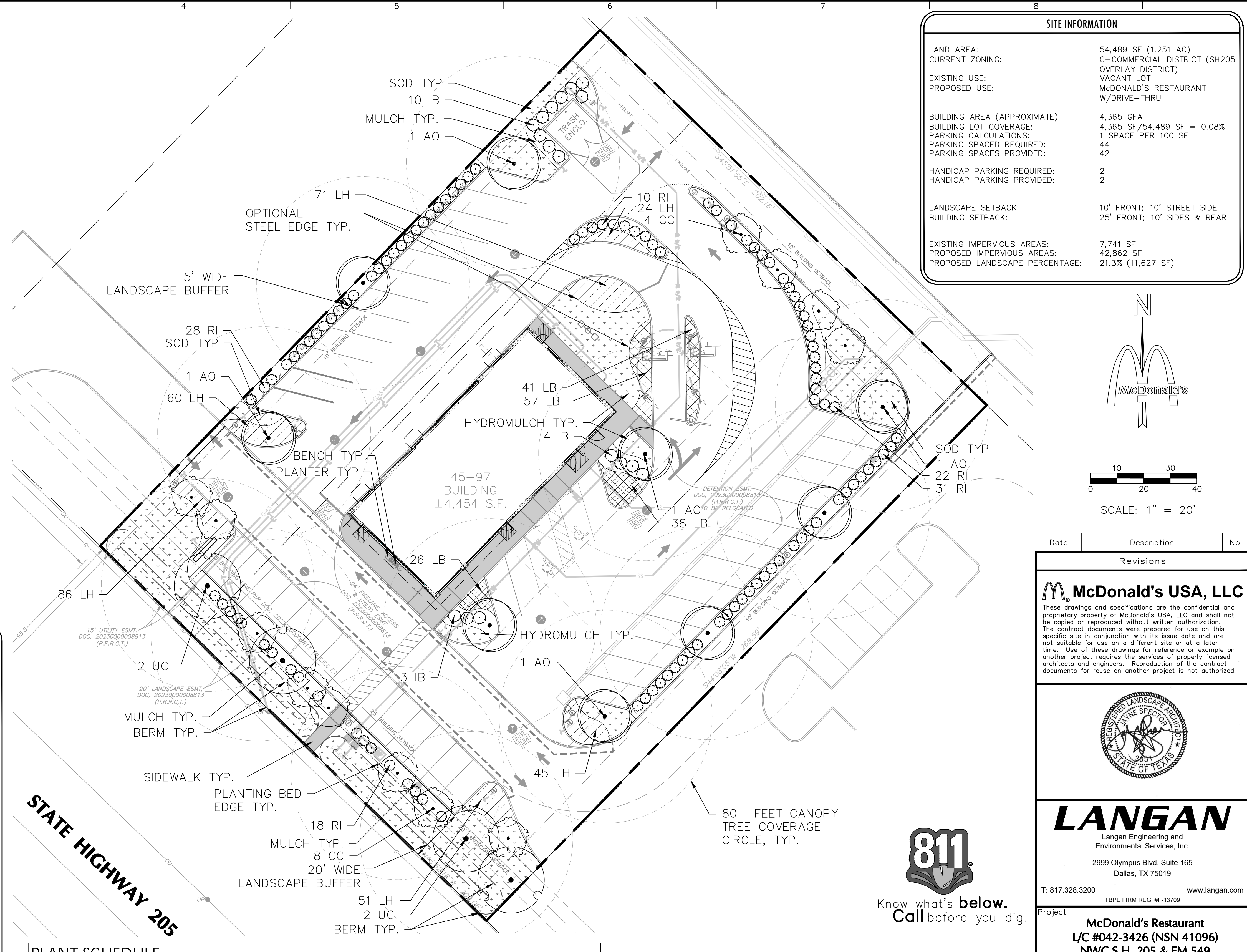
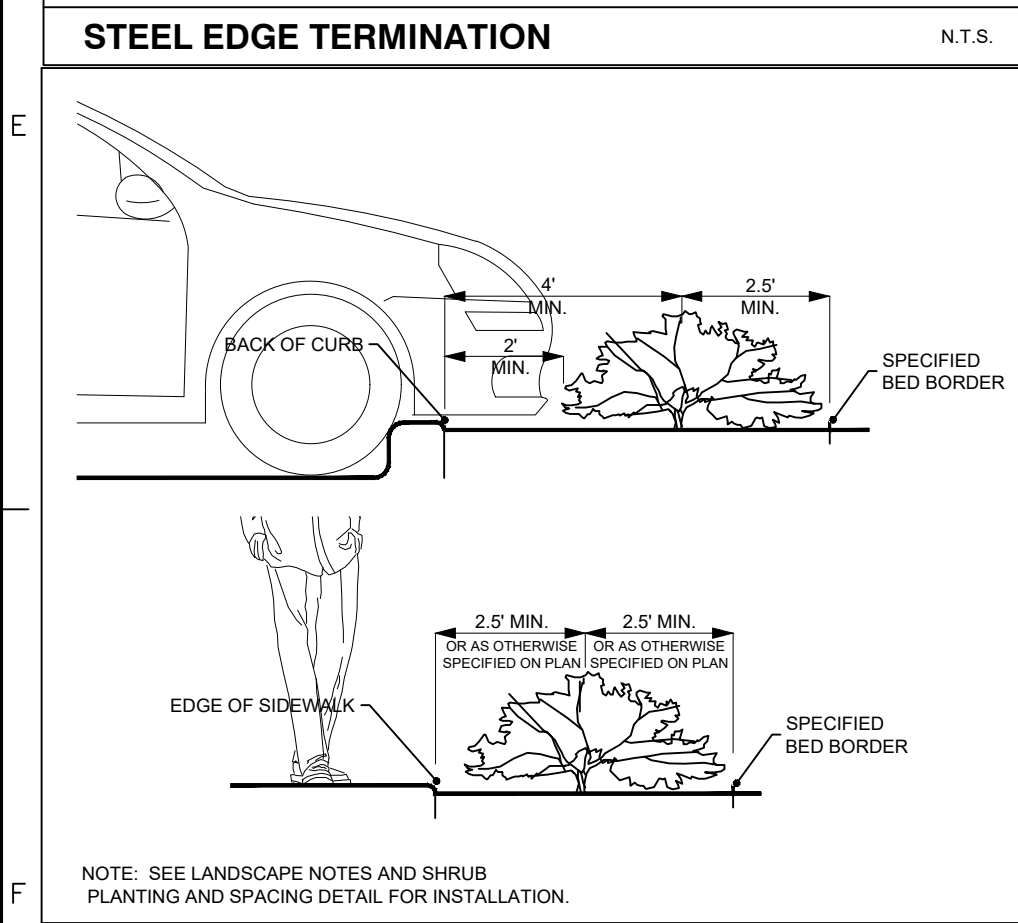
All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to river rock beds shall have a 1/4" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

**IRRIGATION REQUIREMENT**

Irrigation system must meet the requirements of the UDC.

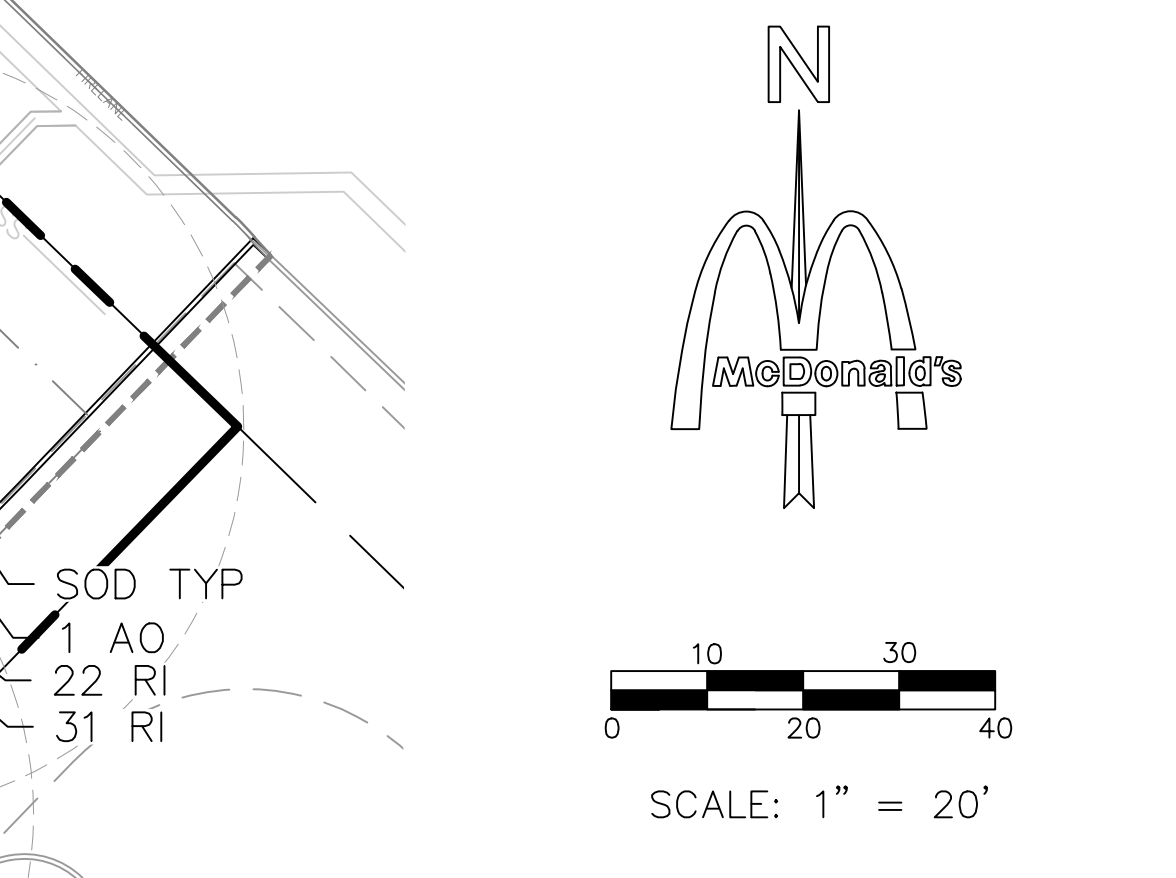


PLANT SCHEDULE									
TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT/WIDTH	SPACING		
	AO	9	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	1"	4" CAL.	B&B	14-16' H 7-8' W		
	CC	12	CERCIS CANADENSIS / TEXAS REDBUD	2"	2" CAL.	B&B	8-10' H 4-5' W	25' O.C.	
	UC	4	ULMUS CRASSIFOLIA / CEDAR ELM	4"	4" CAL.	B&B	14-16' H 7-8' W	50' O.C.	
SHRUBS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT/WIDTH	SPACING		
	IB	17	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	5 GAL.	CONTAINER	2-4' H 2-4' W	4' O.C.		
	RI	109	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL.	CONTAINER	2-4' H 2-4' W	4' O.C.		
GROUND COVERS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT/WIDTH	SPACING		
	LB	162	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	1 GAL.	CONTAINER	6-18" H 6-12" W	24" O.C.		
	LH	334	LANTANA X 'NEW GOLD' / NEW GOLD LANTANA	1 GAL.	CONTAINER	6-12" H 6-10" W	24" O.C.		

**NOTE:**

- WRAP TRUNKS OF MAPLE SPECIES FOR 1ST YEAR TO PREVENT BARK SUN SCALD AND EVENTUAL LOSS OF TREES.

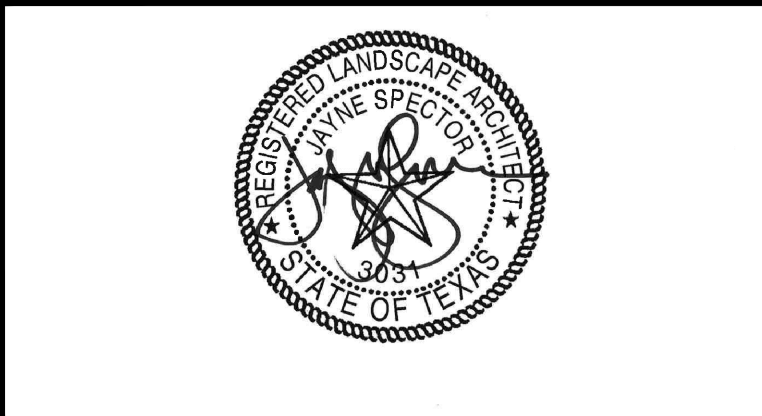
SITE INFORMATION	
LAND AREA:	54,489 SF (1.251 AC)
CURRENT ZONING:	C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT)
EXISTING USE:	VACANT LOT
PROPOSED USE:	McDONALD'S RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	4,365 GFA
BUILDING LOT COVERAGE:	4,365 SF/54,489 SF = 0.08%
PARKING CALCULATIONS:	1 SPACE PER 100 SF
PARKING SPACES REQUIRED:	44
PARKING SPACES PROVIDED:	42
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
LANDSCAPE SETBACK:	10' FRONT; 10' STREET SIDE
BUILDING SETBACK:	25' FRONT; 10' SIDES & REAR
EXISTING IMPERVIOUS AREAS:	7,741 SF
PROPOSED IMPERVIOUS AREAS:	42,862 SF
PROPOSED LANDSCAPE PERCENTAGE:	21.3% (11,627 SF)



Date	Description	No.
Revisions		

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**LANGAN**

Langan Engineering and Environmental Services, Inc.

2999 Olympus Blvd, Suite 165  
Dallas, TX 75019

T: 817.328.3200 www.langan.com  
TBPE FIRM REG. #F-13709

Project **McDonald's Restaurant**  
**L/C #042-3426 (NSN 41096)**  
**NWC S.H. 205 & FM 549**  
**PROPOSED LOT 2R, BLOCK A, CREEKSIDE COMMONS**  
**ROCKWALL**

**LANDSCAPE PLAN**

Project No. **520061401** Drawing No. **L1.0**

Date **11/09/2023**

Drawn By **DH**

Checked By **AM/JS**

Sheet **12** of **21**

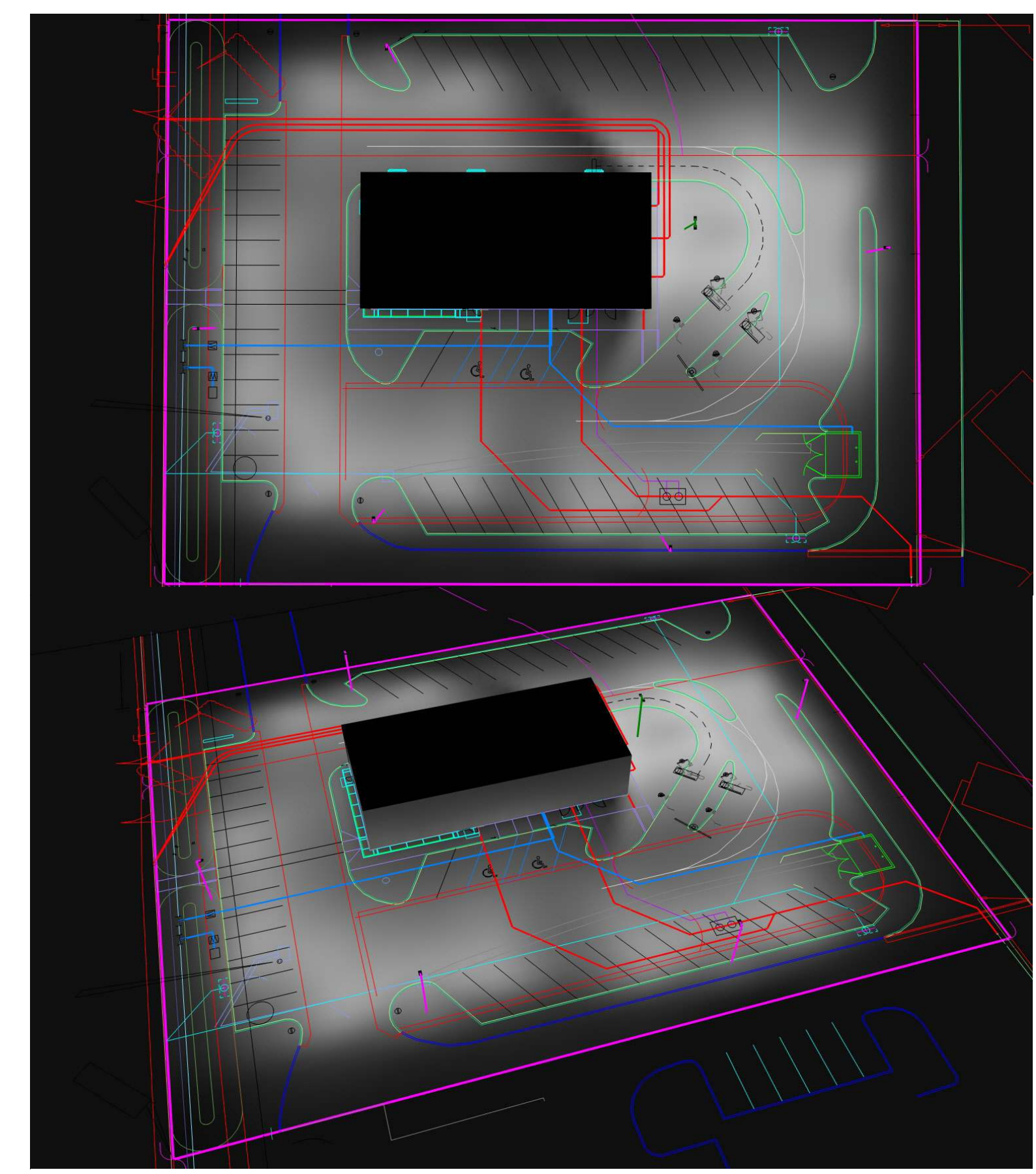
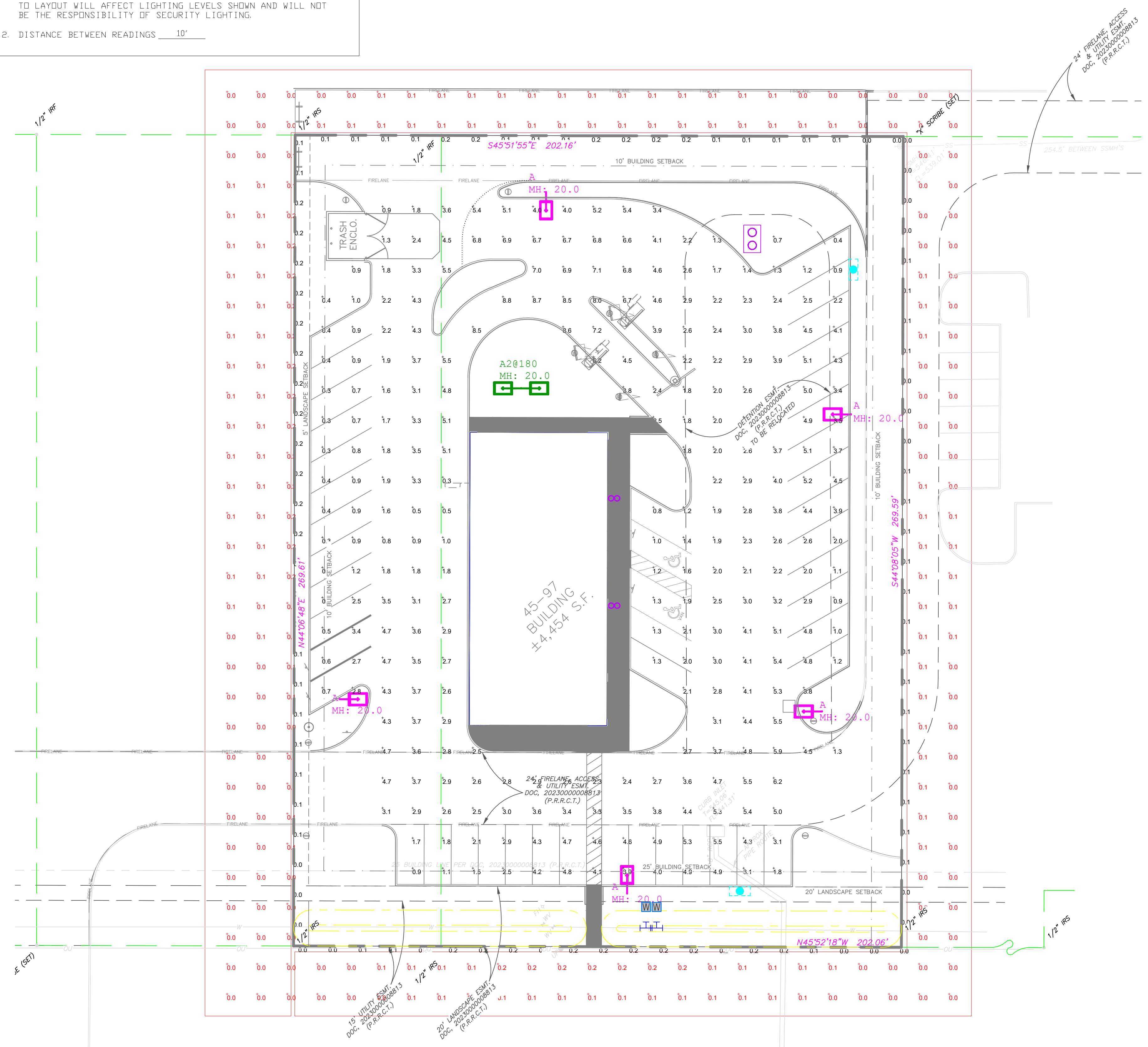
**SIGNATURE BLOCK**

Approved: \_\_\_\_\_  
I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the planning & Zoning Commission of the City of Rockwall on \_\_\_\_ day of \_\_\_\_\_ 2023.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_ 2023.

\_\_\_\_\_  
Director of Planning and Zoning

NOTES:  
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.  
 2. DISTANCE BETWEEN READINGS \_\_\_\_\_ 10'



Pole Fixtures Are Full Cutoff  
 Tilt=0  
 Calculation Grids Are At Grade  
 Pole Light Mounting Height=20ft  
 (17' Pole + 3' Base)

SITE INFORMATION	
LAND AREA:	54,489 SF (1.251 AC)
CURRENT ZONING:	C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT)
EXISTING USE:	VACANT LOT
PROPOSED USE:	MCDONALD'S RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	4,365 GFA
BUILDING LOT COVERAGE:	4,365 SF/54,489 SF = 8.01%
PARKING CALCULATIONS:	1 SPACE PER 100 SF
PARKING SPACES REQUIRED:	44
PARKING SPACES PROVIDED:	45
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
LANDSCAPE SETBACK:	20' FRONT; 5' REAR & SIDE
BUILDING SETBACK:	25' FRONT; 10' SIDES & REAR
EXISTING IMPERVIOUS AREAS:	13.9% (7,592 SF)
PROPOSED IMPERVIOUS AREAS:	64.4% (35,072 SF)
PROPOSED LANDSCAPE PERCENTAGE:	21.7% (11,825 SF)

**SIGNATURE BLOCK**  
 Approved:  
 I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2023.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.  
 Planning & Zoning Commission, Chairman  
 Director of Planning and Zoning  
 CASE NUMBER: SP2023-035

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ADJACENT PROPERTY READINGS	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.
PAVED SURFACE READINGS	Illuminance	Fc	3.16	8.8	0.3	10.53	29.33
PROPERTY LINE READINGS	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type	
	5	A	Single	1.000	VP-2-320L-145-5K7-4W-DBS-HSS-90-B	145.6	0.607	20	SES-17-40-1-TA-GL-DB (4")	
	1	A2@180	Back-Back	1.000	VP-2-320L-145-5K7-4W-DBS	150	0.607	20	SES-17-40-1-TA-GL-DB (4")	

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

Regional Drawing  
 # 423426

PROJECT WIND LOAD CRITERIA BASED ON:  
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)  
 50 YEAR MEAN RECURRENCE INTERVAL  
 ALLOWED EPA XX-X @ WIND LOAD XX MPH

**SECURITY LIGHTING™**  
 2100 Gulf Road, Suite 400, Rolling Meadows, IL 60008  
 1-800-544-6446  
 UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES  
 SCALE 1"=20' 0"  
 DRAWN BY: CLB LEED AP BD+C  
 POINT-BY-POINT FOOTCANDLE PLOT FOR  
 MCDONALD'S  
 550 FARM TO MARKET RD 549  
 ROCKWALL, TX 75082  
 NATIONAL STORE NUMBER  
 41096  
 DATE: 9/15/2023  
 DRAWING NUMBER: A231820A.AGI

# VIPER Area/Site

VIPER LUMINAIRE

## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



## CONTROL TECHNOLOGY



## SERVICE PROGRAMS



## SPECIFICATIONS

### CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

### OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

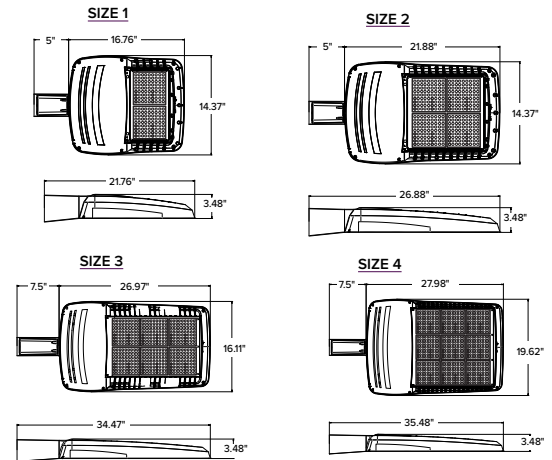
### CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

### CONTROLS (CONTINUED)

- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

## MICRO STRIKE | STRIKE OPTICS



	EPA				Config
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions ([link to https://www.currentlighting.com/resources/america-solutions](https://www.currentlighting.com/resources/america-solutions))

### WARRANTY

- 5 year warranty

# VIPER Area/Site

VIPER LUMINAIRE

## MICROSTRIKE OPTICS – ORDERING GUIDE

Gray Shading = Service Program Limit of 15 luminaires

**Example:** VP-2-320L-145-3K7-2-R-UNV-A3-BLT

CATALOG # \_\_\_\_\_

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	Micro Strike	1 Size 1	160L-35 <sup>6</sup> 5500 lumens 160L-50 <sup>6</sup> 7500 lumens 160L-75 10000 lumens 160L-100 12500 lumens 160L-115 15000 lumens 160L-135 18000 lumens 160L-160 21000 lumens 320L-145 21000 lumens 320L-170 24000 lumens 320L-185 27000 lumens 320L-210 30000 lumens 320L-235 33000 lumens 320L-255 36000 lumens 320L-315 <sup>6</sup> 40000 lumens 480L-285 40000 lumens 480L-320 44000 lumens 480L-340 48000 lumens 480L-390 52000 lumens 480L-425 55000 lumens 480L-470 60000 lumens 720L-435 60000 lumens 720L-475 65000 lumens 720L-515 70000 lumens 720L-565 <sup>6</sup> 75000 lumens 720L-600 <sup>6</sup> 80000 lumens CLO Custom Lumen Output <sup>1</sup>	AP AP-Amber Phosphor Converted 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 35K8 3500K, 80 CRI 3K9 3000K, 90 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI 4K9 4000K, 90 CRI 5K7 5000K, 70 CRI 5K8 5000K, 80 CRI	2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide 5QW Type 5 Square Wide	BLANK No Rotation L Optic rotation left R Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
		2 Size 2					
		3 Size 3					
		4 Size 4					

Mounting	
A	Arm mount for square pole/flat surface (B3 Drill Pattern) (Does not include round pole adapter)
A_	Arm mount for round pole <sup>2</sup>
ASQU	Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern
A_U	Universal arm mount for round pole <sup>2</sup>
AAU	Adjustable arm for pole mounting (universal drill pattern)
AA_U	Adjustable arm mount for round pole <sup>2</sup>
ADU	Decorative upswept Arm (universal drill pattern)
AD_U	Decorative upswept arm mount for round pole <sup>2</sup>
MAF	Mast arm fitter for 2-3/8" OD horizontal arm
K	Knuckle
T	Trunnion
WB	Wall Bracket, horizontal tenon with MAF
WM	Wall mount bracket with decorative upswept arm
WA	Wall mount bracket with adjustable arm

Color	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Bronze Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
LGT	Light Grey Gloss Textured
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color Option	
CC	Custom Color

Options	
F	Fusing
2PF	Dual Power Feed
2DR	Dual Driver
TE	Toolless Entry
BC	Backlight Control <sup>8</sup>
TB	Terminal Block

Network Control Options	
NXWS16F	NX Networked Wireless Enabled Integral NX SMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,3,4</sup>
NXWS40F	NX Networked Wireless Enabled Integral NX SMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,3,4</sup>
NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor <sup>3,4</sup>
WIR	LightGRID+ In-Fixture Module <sup>3,4</sup>
WIRSC	LightGRID+ Module and Occupancy Sensor <sup>3,4</sup>
Stand Alone Sensors	
BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
7PR	7-Pin Receptacle <sup>4</sup>
7PR-SC	7-Pin Receptacle with shorting cap <sup>4</sup>
3PR	3-Pin twist lock <sup>4</sup>
3PR-SC	3-Pin receptacle with shorting cap <sup>4</sup>
3PR-TL	3-Pin PCR with photocontrol <sup>4</sup>
Programmed Controls	
SCP-_F	Sensor Control Programmable, 8F or 40F <sup>9</sup>
ADD	AutoDim Timer Based Dimming <sup>4</sup>
ADT	AutoDim Time of Day Dimming <sup>4</sup>
Photocontrols	
PC	Button Photocontrol <sup>4,7</sup>

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information

2 – Replace “\_” with “2” for 2.5”-3.4” OD pole, “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole

3 – Networked Controls cannot be combined with other control options

4 – Not available with 2PF option

5 – Not available with Dual Driver option

6 – Some voltage restrictions may apply when combined with controls

7 – Not available with 480V

8 – BC not available on 4F and type 5 distributions

9 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.



# VIPER Area/Site

VIPER LUMINAIRE

## ORDERING GUIDE (CONT'D)

CATALOG # \_\_\_\_\_

Accessory Type	Size	Option	Color	
SHD Shield	1 Size 1	<b>HSS-90-B</b> House Side Shield 90° Back	<b>BLS</b> Black Gloss Smooth <b>BLT</b> Black Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Gray Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHS</b> White Gloss Smooth <b>WHT</b> White Matte Textured <b>VGT</b> Green Landscape Decorative <b>LEG</b> Legacy Colors <b>Color Option</b> <b>CC</b> Custom Color	
	2 Size 2	<b>HSS-90-F</b> House Side Shield 90° Front		
	3 Size 3	<b>HSS-90-S</b> House Side Shield 90° Side		
	4 Size 4	<b>HSS-270-BSS</b> House Side Shield 270° Back/Side/Side		
		<b>HSS-270-FSS</b> House Side Shield 270° Front/Side/Side		
		<b>HSS-270-FSB</b> House Side Shield 270° Front/Side/Back		
		<b>HSS-360</b> House Side Shield 360°		
	MTG Mounting			<b>BC</b> Back Light Control
				<b>A</b> Arm Mount for square pole/flat surface
				<b>ASQU</b> Universal Arm Mount for square pole
		<b>AAU</b> Adjustable Arm for pole mounting		
		<b>ADU</b> Decorative upswept Arm		
		<b>RPA</b> Round Pole Adapter		
		<b>MAF</b> Mast Arm Fitter for 2-3/8" OD horizontal arm		
		<b>K</b> Knuckle		
		<b>T</b> Trunion		
		<b>WB</b> Wall Bracket (compatible with universal arm mounts)		
Accessory Type			Option	
				<b>BIRD SPK</b> Bird Spike

**Current Control Solutions — Accessories (Sold Separately)**
**NX Lighting Controls**
 **NXOFM-1R1D-UNV** On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with NX Radio and Bluetooth® Radio, 120–480VAC

**LightGRID+ Lighting Control**
 **WIR-RME-L** On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with LightGRID+ Radio, 110–480VAC

 **SCP-REMOTE** Remote Control for SCP/\_F option. Order at least one per project to program and control the occupancy sensor

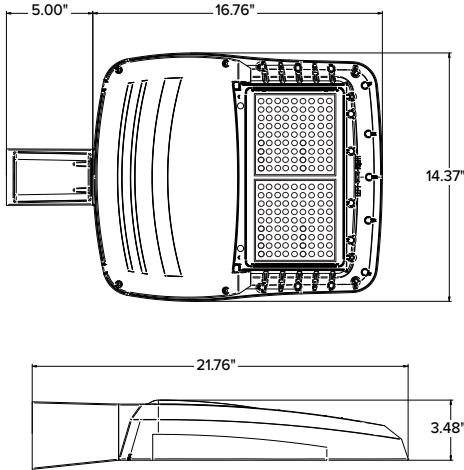
For additional information related to these accessories please visit [currentlighting.com/beacon](http://currentlighting.com/beacon). Options provided for use with integrated sensor, please view specification sheet ordering information table for details.

# VIPER Area/Site

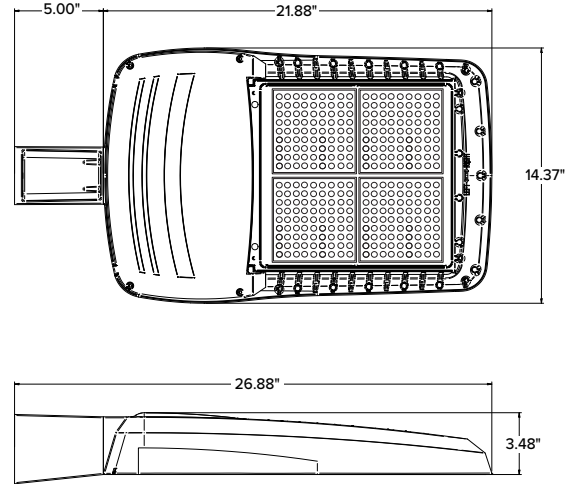
VIPER LUMINAIRE

## DIMENSIONS

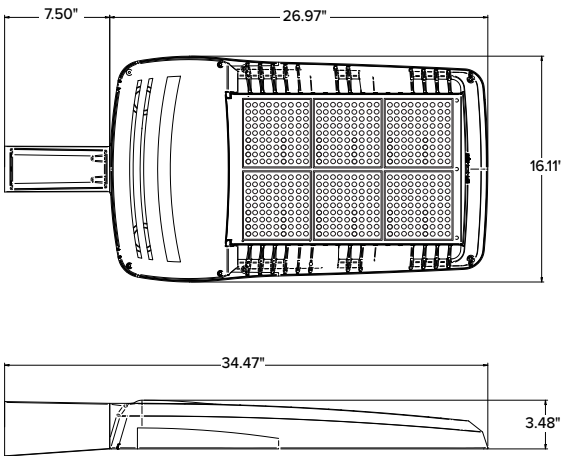
### SIZE 1



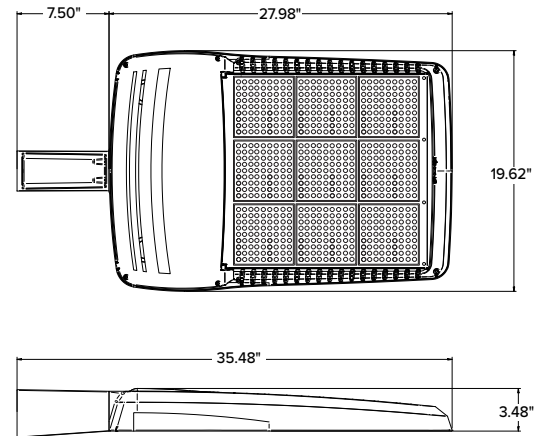
### SIZE 2









### SIZE 3



### SIZE 4



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9

# VIPER Area/Site

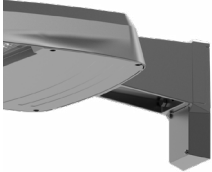
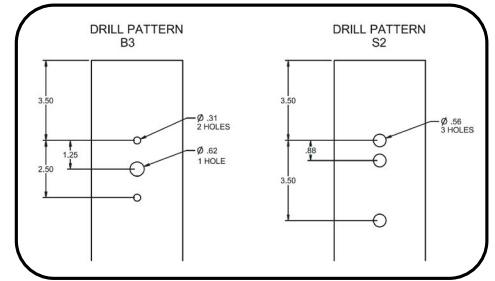
VIPER LUMINAIRE

## MOUNTING



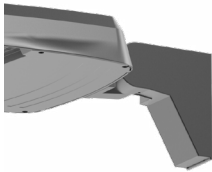
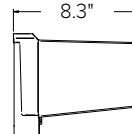
### A-STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)



### ASQU-UNIVERSAL ARM MOUNT

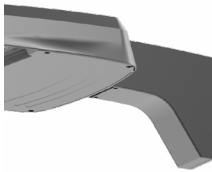
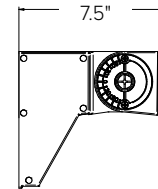
Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



### AAU-ADJUSTABLE ARM FOR POLE MOUNTING

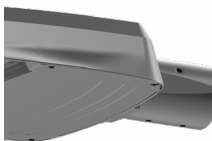
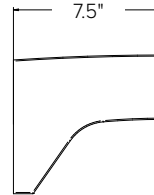
Rotatable arm mounts directly to pole. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 15° aiming angle increments. Micro Strike configurations have a 45° aiming limitation.

Strike configurations have a 30° aiming limitation.



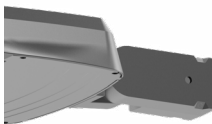
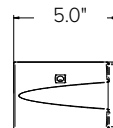
### ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).



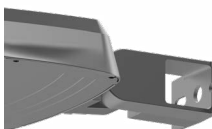
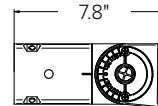
### MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons.



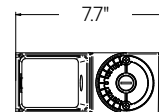
### K-KNUCKLE

Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



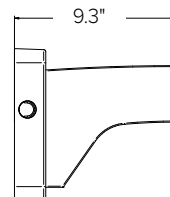
### T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



### WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



# VIPER Area/Site

VIPER LUMINAIRE

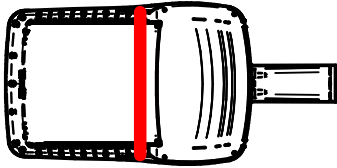
## ADDITIONAL INFORMATION (CONTINUED)

### HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

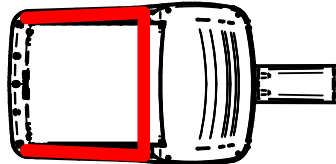
HSS has a depth of 5" for all Viper sizes

Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

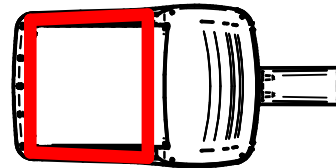
VPR2x HSS-90-B-xx



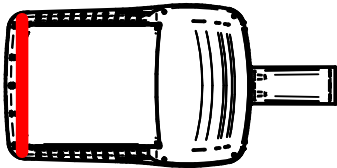
VPR2x HSS-270-BSS-xx



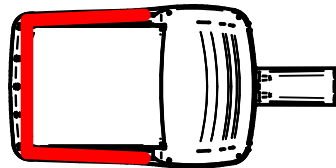
VPR2x HSS-360-xx



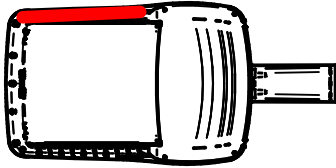
VPR2x HSS-90-F-xx



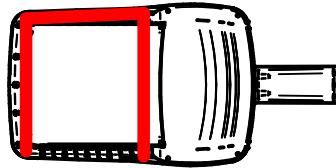
VPR2x HSS-270-FSS-xx



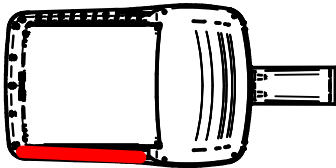
VPR2x HSS-90-S-xx



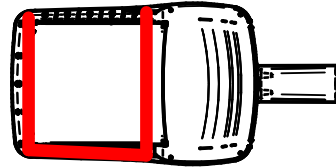
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx





# RWSC

## LED RADIUS WALL SCONCE

The RWSC LED radius wall sconce series offers a combination of light distributions that wash the building facade while the radial soft form housing accentuates building architectural design elements in all commercial and residential applications.

The RWSC LED provides excellent illumination with a high efficiency LED light source of 72 or 36 mid power LEDs that deliver up to 2,400 lumens and up to 109 lumens per watt.

The RWSC LED fixture has become a building standard and is stocked as a quick ship item in many colors and distributions.

### Features

- Durable cast aluminum housing
- Integrated design eliminates high angle brightness
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations
- DLC, Downlight only, full cut-off

### Operating Temperature

- -30°C to 40°C

### Electrical:

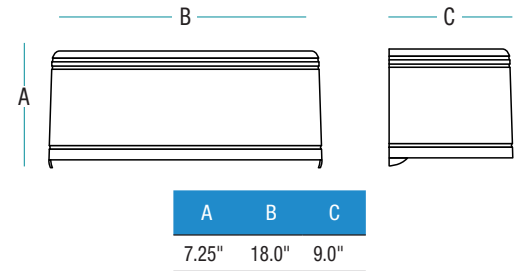
- Dimming is an option (consult factory)

### Mounting

RWSC features Intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very user friendly and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.



### Dimensions



### Certifications/Listings



### Ordering Information

Ordering Example: RWSC - XXL - XK - XX - U - XX - XX

## RWSC

Series		# of LED's		CCT		Distribution		Voltage		Finish		Options	
<b>RWSC</b>	Radius Wall Sconce	<b>36L</b> <sup>1</sup>	36 Mid-Power LED's	<b>3K</b>	3000K	<b>DO</b>	Down only	<b>U</b>	Universal 120/277V	<b>DB</b>	Dark Bronze	<b>PC</b>	Photocontrol <sup>6,7</sup>
		<b>72L</b> <sup>2</sup>	72 Mid-Power LED's	<b>5K</b>	5000K	<b>UD</b>	Up/Down			<b>WH</b>	White		
										<b>BK</b>	Black		
										<b>PS</b>	Platinum Silver		
										<b>RA</b>	RAL Color <sup>4</sup>		
										<b>CC</b>	Custom Color <sup>5</sup>		

#### Quick Ship:

- RWSC36LU5KD0BK
- RWSC36LU5KD0WH
- RWSC36LU5KD0DB
- RWSC36LU5KD0PS
- RWSC72L5KUDUWH
- RWSC72LU5KUDBK
- RWSC72LU5KUDDB
- RWSC72LU5KUDPS

#### Accessories

- LG125T** Remote Emergency Inverter (grid mount only)<sup>3</sup>
- LG125S** Remote Emergency Inverter (surface mount only)<sup>3</sup>

<sup>1</sup> 36L Only available in DO distribution  
<sup>2</sup> 72L Only available in UD distribution  
<sup>3</sup> One remote inverter required to operate every 8 down only or 5 up/down fixtures requiring EM operation  
<sup>4</sup> Must provide RAL color at time of ordering  
<sup>5</sup> Must provide color sample at time of ordering  
<sup>6</sup> PC must be factory installed  
<sup>7</sup> PC available on down only



## Performance Data

# of LEDs	Drive Current (Milliamps)	System Watts	Distribution Type	5K (5000K nominal, 80 CRI)					3K (3000K nominal, 80 CRI)				
				Lumens	LPW <sup>1</sup>	B	U	G	Lumens	LPW <sup>1</sup>	B	U	G
36	350	14.4	down	1565	108.7	0	0	0	1561	109.1	0	0	0
72	350	25	up/down	2400	96	n/a	n/a	n/a	2391	97.6	n/a	n/a	n/a

<sup>1</sup>Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

## Photometric Data

### LUMINAIRE DATA

RWSC-36L-5K-DO-U-PS

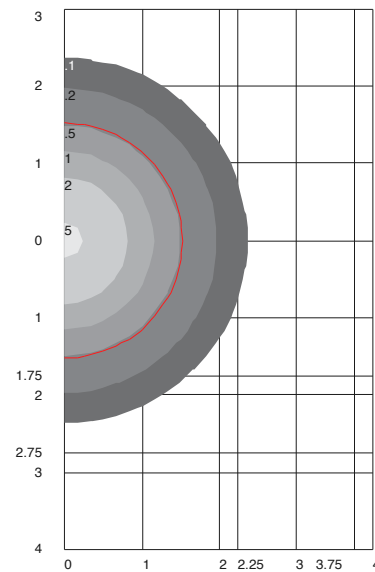
Wall Mounting Outdoor Fixture

DRIVER LED30W-085-C0350

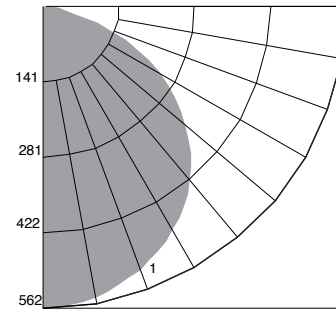
Lamp	LED
Lumens	1565
Watts	14.4
Efficacy	109
Mounting	Wall
Spacing Criterion (0-180)	1.20

ZONE	LUMENS	% FIXT.
Front Low (0-30)	218.6	14.0
Front Medium (30-60)	424.2	27.1
Front High (60-80)	135.5	8.7
Front Very High (80-90)	4.2	0.3
Back Low (0-30)	218.6	14.0
Back Medium (30-60)	424.2	27.1
Back High (60-80)	135.5	8.7
Back Very High (80-90)	4.2	0.3
Uplight Low (90-100)	0.0	0.0
Uplight High (100-180)	0.0	0.0

### ISOMETRIC FOOT CANDLES



### POLAR GRAPH



### LUMINAIRE DATA

RWSC-72L-5K-UD-U-PS

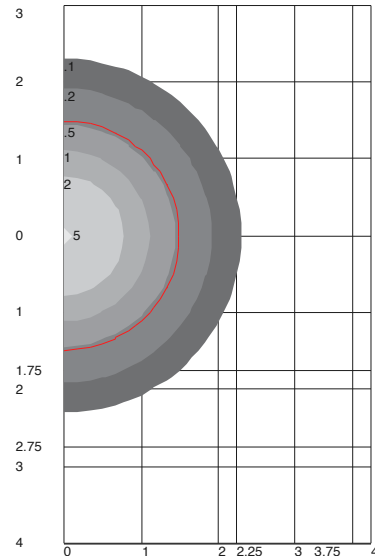
Wall Mounting Outdoor Fixture

DRIVER LED50W-142-C0350

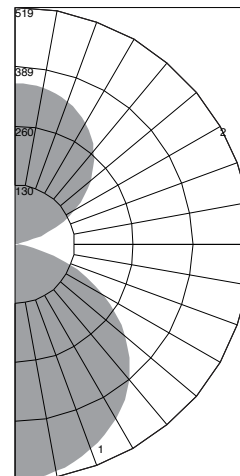
Lamp	LED
Lumens	2400
Watts	25
Efficacy	96
Mounting	Wall
Spacing Criterion (0-180)	1.20

ZONE	LUMENS	% FIXT.
Front Low (0-30)	201.4	8.4
Front Medium (30-60)	387.5	16.1
Front High (60-80)	119.6	5.0
Front Very High (80-90)	3.5	0.1
Back Low (0-30)	201.4	8.4
Back Medium (30-60)	387.5	16.1
Back High (60-80)	119.6	5.0
Back Very High (80-90)	3.5	0.1
Uplight Low (90-100)	5.6	0.2
Uplight High (100-180)	970.7	40.4

### ISOMETRIC FOOT CANDLES



### POLAR GRAPH





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Juan Vasquez; *Vasquez Engineering, LLC*  
**CASE NUMBER:** SP2023-036; *Site Plan for Kennor Rockwall*

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### SUMMARY

Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57 [Case No. A1983-002]*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a General Retail (GR) District at some point between November 7, 1983 and December 7, 1993. On February 15, 2016, the City Council approved a preliminary plat [Case No. P2016-004] for Lots 1-6, Block A, Dalton-Goliad Addition. This approval was followed by a final plat [Case No. P2016-034], which was approved by the City Council on August 1, 2016. This final plat created Lots 1-3, Block A, Dalton-Goliad Addition. On December 4, 2017, the City Council approved a replat [Case No. P2017-062] subdividing Lot 2, Block A into Lots 4 & 5, Block A and establishing the subject property (*i.e. Lot 4, Block A, Dalton-Goliad Addition*); however, this replat was never filed. Prior to the replat, a Specific Use Permit (SUP) [S-171; *Ordinance No. 17-39; Case No. Z2017-029*] was approved by the City Council on August 7, 2017. This approval allowed a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In (i.e. Freddy's Frozen Custard)* on the subject property. On September 12, 2017, the Planning and Zoning Commission approved a site plan [Case No. SP2017-024] for the proposed restaurant; however, the restaurant was never constructed, and the site plan and the Specific Use Permit (SUP) have since expired. On December 7, 2020, the City Council approved a conveyance plat [Case No. P2020-048] for the purpose of subdividing one (1) lot (*i.e. Lot 2, Block A, Dalton-Goliad Addition*) into four (4) lots (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) to convey the property. This conveyance plat established the subject property as Lot 5, Block A, Dalton-Goliad Addition. On March 15, 2021, the City Council denied a Specific Use Permit (SUP) request [Case No. Z2021-002] for a *Self-Service Car Wash*. On June 1, 2021, the City Council approved a replat [Case No. P2021-016] that established the subject property as Lots 8 & 9, Block A, Dalton-Goliad Addition. On October 2, 2023, the City Council approved a Specific Use Permit (SUP) [Case No. Z2023-042] for a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In*. The subject property is currently vacant.

### PURPOSE

On October 20, 2023, the applicant – *Juan Vasquez of Vasquez Engineering, LLC* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing two (2) restaurant/retail buildings on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3611 & 3775 N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Harlan Park Subdivision, which consists of 30 single-family residential lots. Beyond this is Phase 1 of the Harlan Park Subdivision, which consists of 65 single-family residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are Lots 1, 3, & 6, Block A, Dalton-Goliad Addition. Lot 3 is currently occupied by a strip retail center with several tenants (i.e. Marco's Pizza, Hittson Dental, and Venice Nail Salon). Adjacent to and south of the strip center is Lot 1, which is occupied with an Aldi's Grocery Store. These properties are zoned General Retail (GR) District. South of this is Dalton Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the corporate limits of the City followed by properties in the City's Extraterritorial Jurisdiction (ETJ) that have existing single-family homes situated on them. Adjacent to and south of this area is a Sonic Drive-In and 7-Eleven Gas Station, both of which are situated within the City limits and are zoned General Retail (GR) District.

West: Directly west of the subject property is a vacant 2.402-acre parcel of land (i.e. Lot 6, Block A, Dalton-Goliad Addition). This property is zoned General Retail (GR) District. Beyond this is the Nebbie Williams Elementary School, which is situated on a 11.599-acre parcel of land (i.e. Lot 1, Block A, Rockwall School North Addition). This property is zoned Single-Family 10 (SF-10) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *General Retail Building* is permitted *by-right* in a General Retail (GR) District. In addition, *Specific Use Permit No. S-316* allows a *Restaurant, 2,000 SF or Greater, with Drive Through or Drive-In* on the subject property in accordance with the requirements of *Ordinance No. 23-57*. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X=1.93-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 278.84-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=292.95-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	36-Feet	X=22-feet; In Conformance
<i>Max Building/Lot Coverage</i>	40%	X=14.73%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/100 SF (Restaurant) 1 Parking Space/250 SF (Retail) 92 Required Parking Spaces	X=96; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=20.72%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=79.27%; In Conformance

**CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide *limited* retail and service uses for one (1) or more neighborhoods. The land uses specified in this district include most types of retail and office activity, and are typically located on/at the intersections of major roadways." In this case, the applicant is proposing two (2) restaurant/retail buildings. In addition, the subject property is close to the intersection of FM-552 and N. Goliad Street [SH-



205], and has access to both of these roadways. This section goes on to state that “(t)he General Retail (GR) District is not a major commercial/retail district, and should avoid intensive commercial land uses that carry large volumes of retail traffic. The noise, traffic, litter, late night hours, and other influences that could be harmful to residential areas require adequate buffering and screening from residential areas.” Staff should point out that the subject property is directly adjacent to a residentially zoned property along the northern boundary. Given this, the applicant is proposing three (3) tiered screening (*i.e.* [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers) along the northern property line. Based on staff’s review of the applicant’s project compared to the City’s codes, the request does appear to meet the City’s requirements.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the North Lakeshore District and is designated for Commercial/Retail land uses. More specifically the North Lakeshore District describes these land uses as Neighborhood/Convenience Centers, which should “... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures.” In this case, the proposed request is consistent with the adjacent Commercial/Retail development, and is in conformance with the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant to match the materials of the adjacent building, remove the stucco banding, and provide awnings over the west side doors. The applicant has made the changes to the building elevations, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for the construction of two (2) restaurant/retail buildings on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Not assigned yet

SUBDIVISION Dalton Goliad Addition

LOT 8&9

BLOCK A

GENERAL LOCATION West side of S.H. 205 two lots north of Dalton Road

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING GR w/N SH 205 Overlay

CURRENT USE Vacant

PROPOSED ZONING Same

PROPOSED USE Retail/Rest. Shopping Center

ACREAGE 1.93

LOTS [CURRENT] 2

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kennor Rockwall Retail, LLC

APPLICANT Vasquez Engineering, LLC

CONTACT PERSON Shane Shoulders

CONTACT PERSON Juan J. Vasquez

ADDRESS 8848 Greenville Ave.

ADDRESS 1919 S. Shiloh Road

Suite 440

CITY, STATE & ZIP Dallas, TX 75243

CITY, STATE & ZIP Garland, TX 75042

PHONE 903-819-1208

PHONE 972-278-2948

E-MAIL sshoulders@sbcglobal.net

E-MAIL jvasquez@vasquezengineering.com

### NOTARY VERIFICATION [REQUIRED]

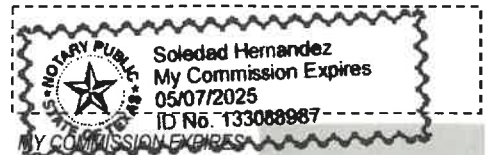
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Shane Shoulders [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

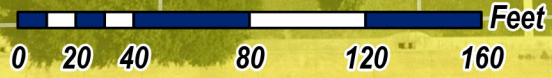
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 288.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF October, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SHANNON DR

SF-10

GR

N GOLIAD ST

205

Case Location Map =

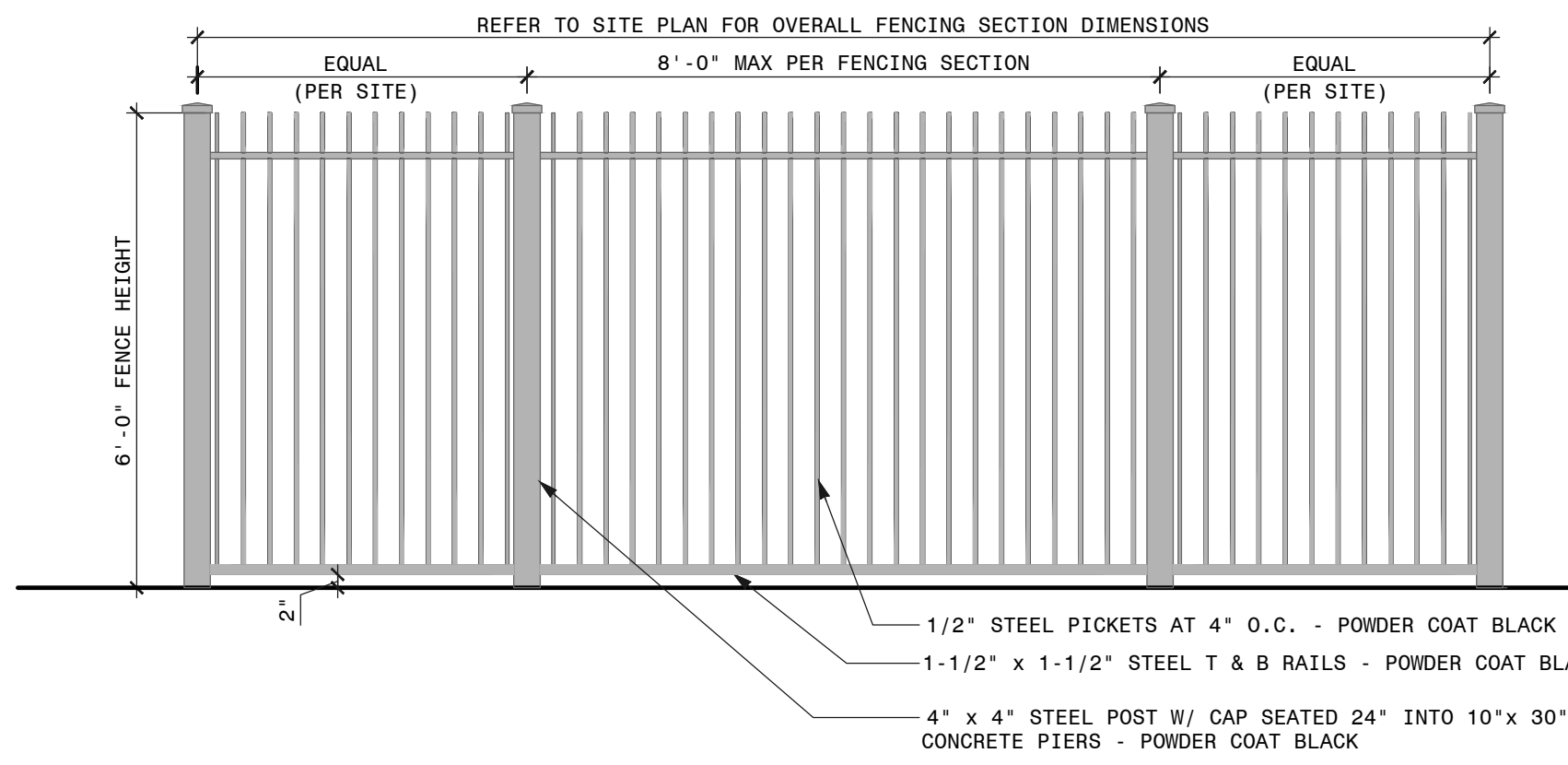


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

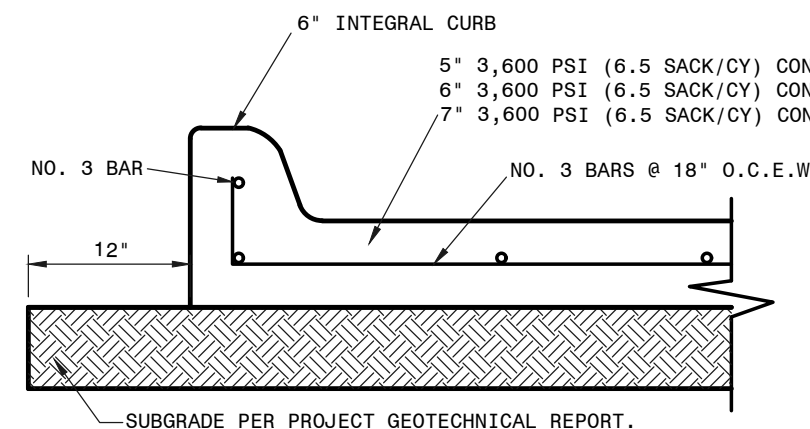
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





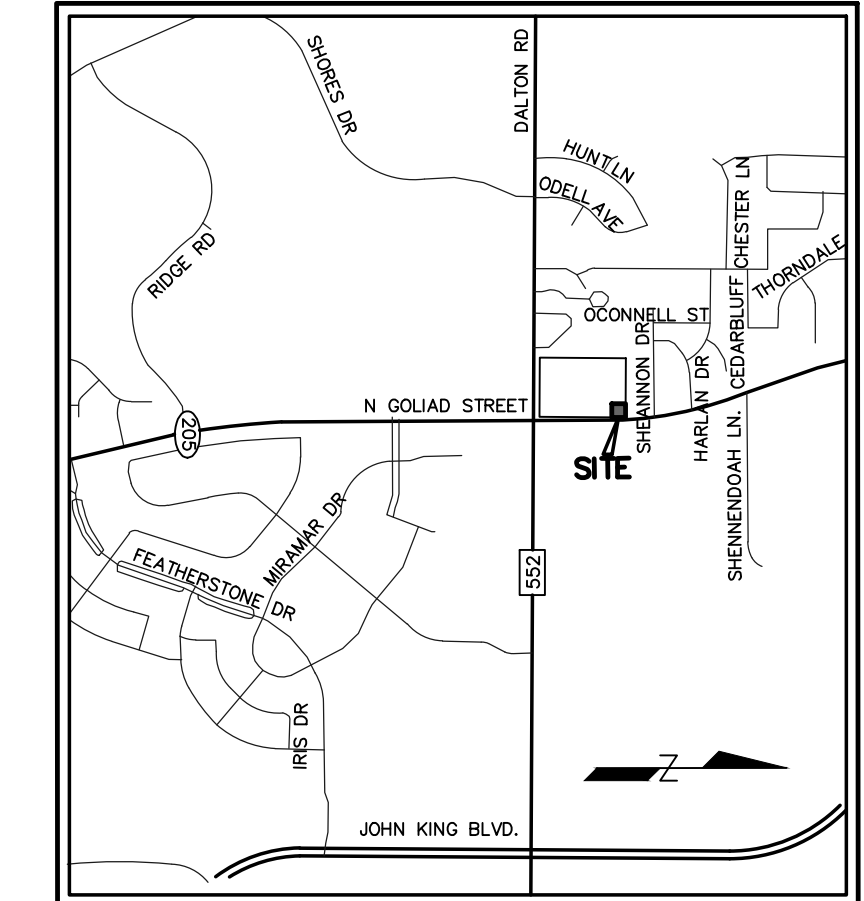
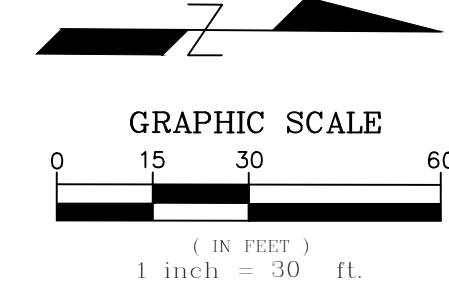
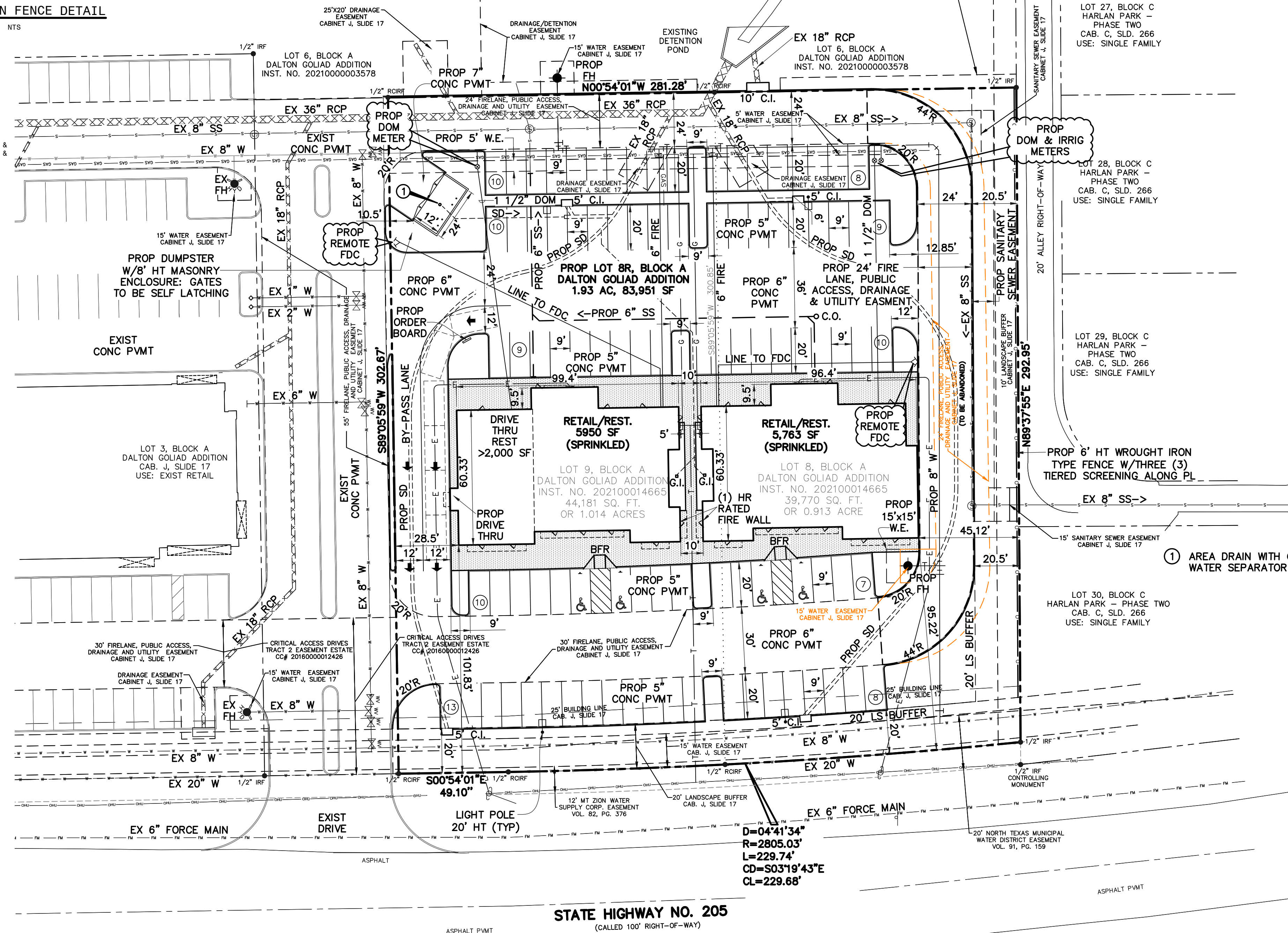
**WROUGHT IRON FENCE DETAIL**

NTS



**TYPICAL CONCRETE PVMT SECTION**

NTS



**LOCATION MAP**

N.T.S.

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
---	CENTER LINE	---
---	CONC WALK	---
---	PARKING COUNT	(13)
---	STACKING	9'
---	WATER	---
---	SEWER	---
---	FORCE MAIN	---
---	STORM SEWER	---
---	ELEC	E
---	GAS	G
---	TELEPHONE	T
---	FENCE	O
---	WATER VALVE	
---	FIRE HYDRANT	●
---	FDC	◇
---	WATER METER	◇
---	SAN. SEWER MH	◇
---	CURB INLET	□
---	GRATE INLET	□
---	LIGHT POLE	□
---	C.I.	□
---	G.I.	□

SITE SUMMARY TABLE	
Site Address	GOLIAD
County	ROCKWALL
Project Name	KENNOR ROCKWALL RETAIL
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT
Proposed use	RETAIL/REST.
Site Area:	1.93 Acres 83,951 S.F.
Building Area	11,713 S.F.
Building Height:	1 Story
Lot Coverage:	11,713 / 83,951 = 13.95%
Floor Area Ratio:	11,713 S.F. / 83,951 = 1:14.0
Parking Required Building:	11,713 S.F.
	RETAIL 1 SPCS/250 SF (4,713 SF/250) = 19 SPACES
	REST. 1 SPCS/100 SF (7,000 SF/100) = 70 SPACES
Total Parking Required:	= 89 SPACES
Parking Provided:	REGULAR = 90 SPACES
	ACCESSIBLE = 4 SPACES
	TOTAL = 94 SPACES
Impervious Area:	67,179 S.F.
Impervious Area Ratio:	67,179 S.F. / 83,951 = 80.02%
Pervious Area Ratio:	16,772 S.F. / 83,951 = 19.98%

**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_  
 WITNESS OUT HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

- NOTES**
- TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC., DATED 06/28/2023.
  - PROPERTY OWNER RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEM.

**OWNER/DEVELOPER:**  
 KENNOR ROCKWALL RETAIL, LLC.  
 8848 GREENVILLE AVE.  
 DALLAS, TEXAS 75243  
 PHONE: 903-819-1208  
 CONTACT: SHANE SHOULDERS

**ENGINEER:**  
 VASQUEZ ENGINEERING, L.L.C.  
 1919 S. SHILOH ROAD, SUITE 440  
 GARLAND, TEXAS 75042  
 PHONE: 972-272-4610  
 CONTACT: JUAN J. VASQUEZ, P.E.

**SITE PLAN**  
**KENNOR ROCKWALL RETAIL**  
 LOTS 8 & 9, BLOCK A  
 DALTON GOLIAD ADDITION  
 1.93 ACRES  
 ROCKWALL, ROCKWALL COUNTY, TEXAS  
 NOVEMBER 09, 2023  
 CASE #SP2023-036

Scale:	1" = 30'
Designed by:	JUV
Drawn by:	DRS
Checked by:	JUV
720-0100/SITE PLANS/SITE PLAN.dwg	
Date:	11/09/2023

**DEVELOPER:**  
 KENNOR ROCKWALL RETAIL, LLC  
 8848 GREENVILLE AVE.  
 DALLAS, TEXAS 75243

**SITE PLAN**  
 KENNOR ROCKWALL RETAIL  
 LOTS 8 & 9, BLOCK A  
 DALTON GOLIAD ADDITION  
 CITY OF ROCKWALL, TX.

**APP.**

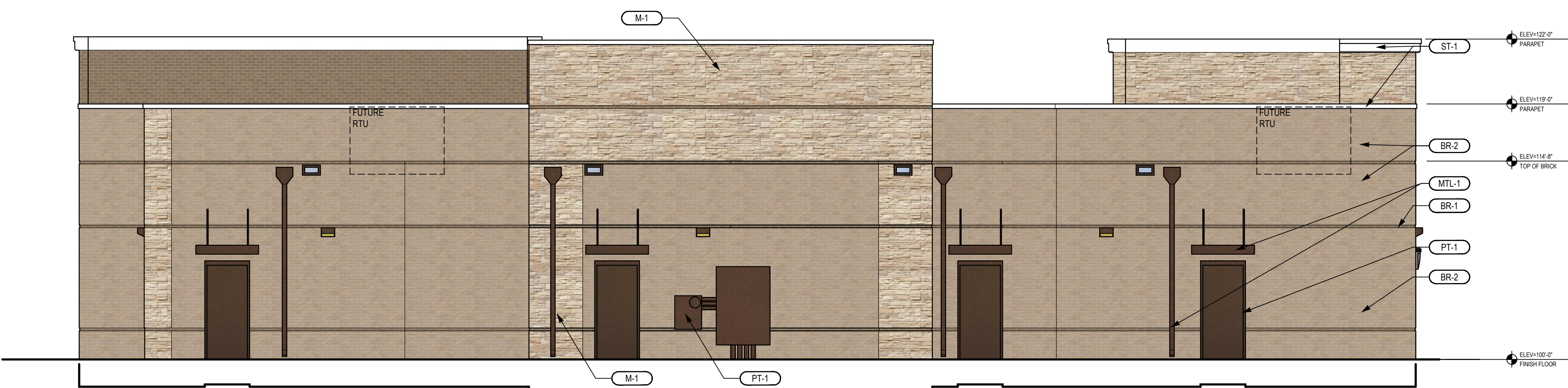
NO.	DATE	APP.

**VASQUEZ ENGINEERING, L.L.C.**  
 1919 S. Shiloh Road  
 Suite 440, LB 44  
 Garland, Texas 75042  
 Ph: 972-272-4610  
 TX Registration # F-12266

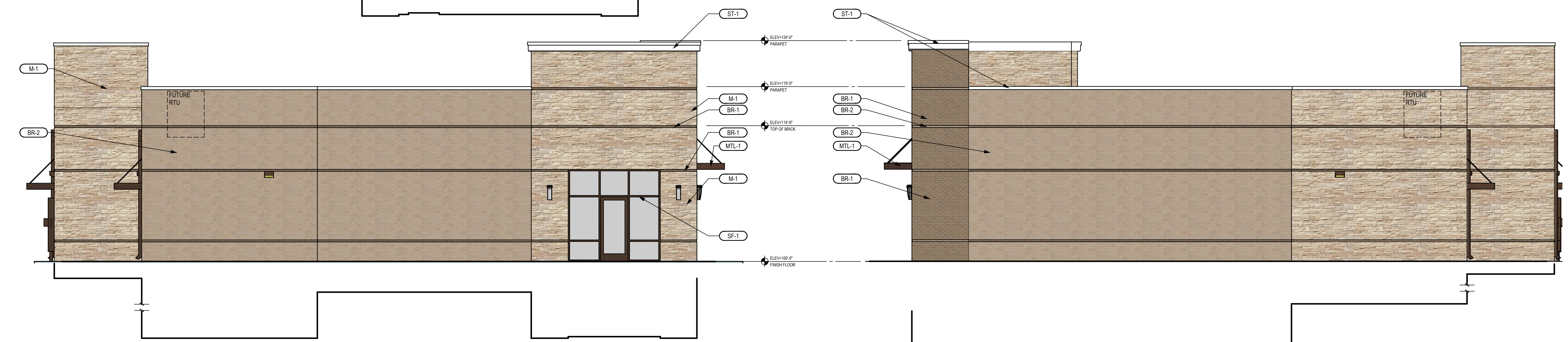
**SHEET**  
**SP1**



**01 EAST ELEVATION-BLDG 01 (PRIMARY FACADE)**  
3/16" = 1'-0"



**02 WEST ELEVATION-BLDG 01**  
3/16" = 1'-0"



**04 SOUTH ELEVATION-BLDG 01**  
3/16" = 1'-0"

**03 NORTH ELEVATION-BLDG 01**  
3/16" = 1'-0"

FINISH KEY	DESCRIPTION / LOCATION	COLOR / MATERIAL	MANUFACTURER / FINISH	NOTES
PT-1	PAINT	SW7645 THUNDER GRAY	SHERWIN WILLIAMS	MED BRONZE MATCH
BR-1	BRICK VENEER	BROWN MUSHROOM	ACME BRICK	GRAY MORTAR
BR-2	BRICK VENEER	AMERICANA	ACME BRICK	GRAY MORTAR
SF-1	STOREFRONT SYSTEM	MEDIUM BRONZE	KAWNEER	CENTER SET
M-1	STONE	LUEDERS	LUEDERS STONE	
MLT-1	METAL TRIM/CANOPIES	MED BRONZE	BERRIDGE	DOWNSPOUTS TO MATCH
ST-1	SYNTHETIC STUCCO	35237 CLOUD	STO	FINE FINISH SW6203 COLOR MATCH

MATERIAL CALCULATIONS								
WALL AREA (ALL IN SF)	NORTH	SOUTH	EAST	WEST				
TOTAL FACADE AREA	1297	1289	2080	1960				
FACADE SF EXCLUDING DOORS & WINDOWS	1197	1273	1480	1876				
DOORS & WINDOWS	100	16	600	84				
FACADE CALCULATIONS								
STONE	434	36%	370	29%	416	28%	588	31%
BRICK (BR1)	143	12%	0	0%	535	36%	0	0%
BRICK (BR2)	614	51%	883	69%	479	32%	1258	67%
SYNTHETIC STUCCO (ST-1)	6	1%	20	2%	50	3%	30	2%
TOTAL SF / % OF FACADE	1197	100%	1273	100%	1480	100%	1876	100%

NOTE - EAST ELEVATION FACES PUBLIC RIGHT OF WAY  
NOTE - PARAPET TO BE ENCLOSED. BACKS OF PARAPETS TO BE FINISHED SAME AS FACING SIDE WHERE VISIBLE.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. WITNESS OUT HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**OWNER / DEVELOPER:**  
KENNOR ROCKWALL RETAIL, LLC.  
8848 GREENVILLE AVE.  
DALLAS, TEXAS 75243  
PHONE: 903-819-1208  
CONTACT: SHANE SHOULDERS

**ENGINEER:**  
VASQUEZ ENGINEERING, L.L.C.  
1919 S. SHILOH ROAD, SUITE 440  
GARLAND, TEXAS 75042  
PHONE: 972-272-4610  
CONTACT: JUAN J. VASQUEZ, P.E.

**BUILDING ELEVATIONS**  
KENNOR ROCKWALL RETAIL  
LOT 8 & 9, BLOCK A  
DALTON GOLIAD ADDITION  
1.93 ACRES  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
OCTOBER 20, 2023  
CASE #SP2023-036

**NCA Partners**  
ARCHITECTURE

5646 MILTON ST.  
SUITE 610  
DALLAS, TX 75206  
214.361.9901  
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ncapartners.com

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**DEVELOPER:**  
KENNOR ROCKWALL RETAIL, LLC  
8848 GREENVILLE AVE.  
DALLAS, TEXAS 75243

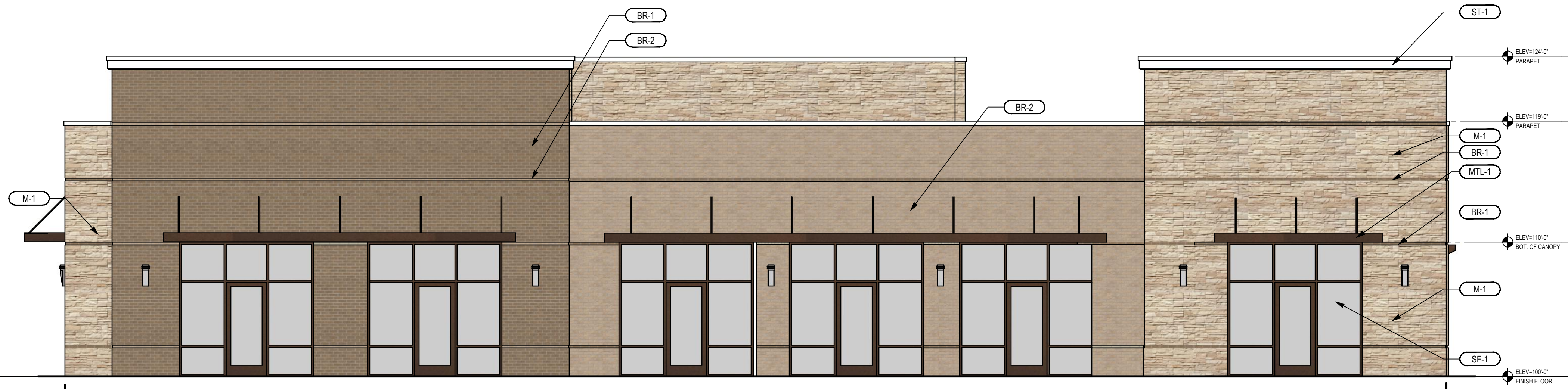
**BUILDING ELEVATIONS - BLDG 01**  
KENNOR ROCKWALL RETAIL  
LOT 8R, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX.

Scale: 3/16" = 1'-0"  
Designed by: KKB  
Drawn by: KAB  
Checked by: KAB  
Date: 11/06/2023

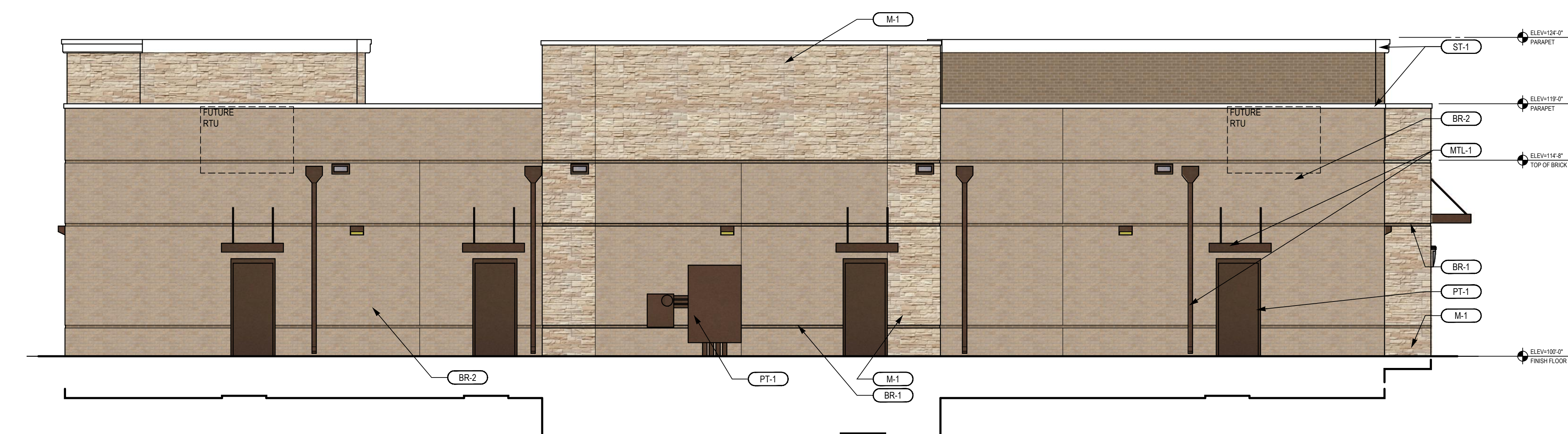
SHEET  
**A301**

**VASQUEZ ENGINEERING, L.L.C.**  
1919 S. Shiloh Road  
Suite 440, LB 44  
Garland, Texas 75042  
Ph: 972-272-2948  
TX Registration # F-12266

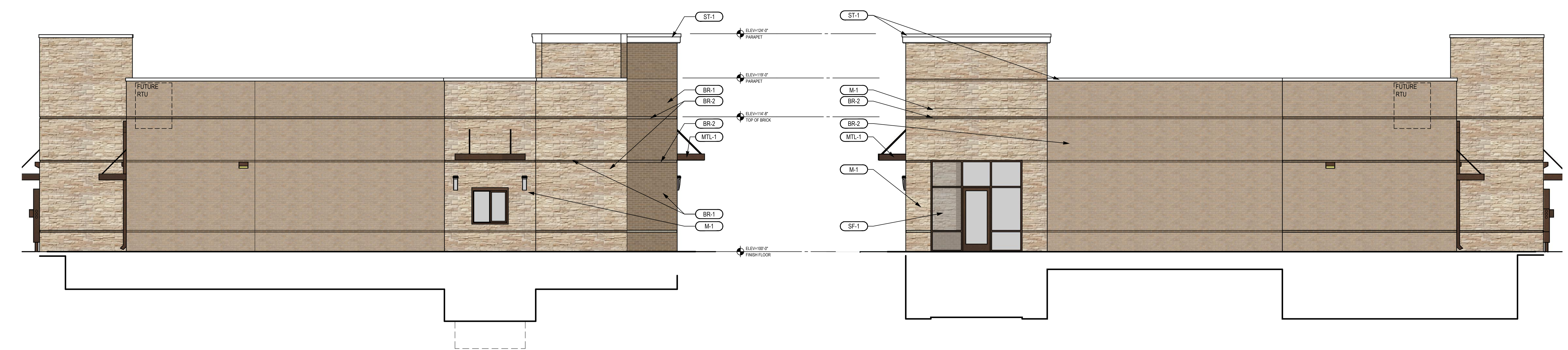
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**01 EAST ELEVATION-BLDG 02 (PRIMARY FACADE)**  
3/16" = 1'-0"



**02 WEST ELEVATION-BLDG 02**  
3/16" = 1'-0"



**04 SOUTH ELEVATION-BLDG 02**  
3/16" = 1'-0"

**03 NORTH ELEVATION-BLDG 02**  
3/16" = 1'-0"

FINISH KEY	DESCRIPTION / LOCATION	COLOR / MATERIAL	MANUFACTURER / FINISH	NOTES
PT-1	PAINT	SW7645 THUNDER GRAY	SHERWIN WILLIAMS	MED BRONZE MATCH
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SF-1	STOREFRONT SYSTEM	MEDIUM BRONZE	KAWNEER	CENTER SET
M-1	STONE	LUEDERS	LUEDERS STONE	
MLT-1	METAL TRIM/CANOPIES	MED BRONZE	BERRIDGE	DOWNSPOUTS TO MATCH
ST-1	SYNTHETIC STUCCO	35237 CLOUD	STO	FINE FINISH SW6203 COLOR MATCH

MATERIAL CALCULATIONS								
WALL AREA (ALL IN SF)	NORTH	SOUTH	EAST	WEST				
TOTAL FACADE AREA	1297	1289	2224	2097				
FACADE SF EXCLUDING DOORS & WINDOWS	1197	1273	1624	2013				
DOORS & WINDOWS	100	16	600	84				
FACADE CALCULATIONS								
STONE	254	21%	375	29%	415	27%	378	19%
BRICK (BR1)	0	0%	115	9%	514	34%	0	0%
BRICK (BR2)	937	78%	763	60%	551	36%	1600	79%
SYNTHETIC STUCCO (ST-1)	6	1%	20	2%	50	3%	35	2%
TOTAL SF / % OF FACADE	1197	100%	1273	100%	1530	100%	2013	100%

NOTE - EAST ELEVATION FACES PUBLIC RIGHT OF WAY  
NOTE - PARAPET TO BE ENCLOSED. BACKS OF PARAPETS TO BE FINISHED SAME AS FACING SIDE WHERE VISIBLE.

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WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

**OWNER/DEVELOPER:**  
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**BUILDING ELEVATIONS**  
KENNOR ROCKWALL RETAIL  
LOT 8 & 9, BLOCK A  
DALTON GOLIAD ADDITION  
1.93 ACRES  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
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APP. \_\_\_\_\_  
NO. \_\_\_\_\_ DATE \_\_\_\_\_

**VASQUEZ ENGINEERING, L.L.C.**  
1919 S. SHILOH ROAD  
SUITE 440, LB 44  
GARLAND, TEXAS 75042  
PH: 972-272-2948  
TX REGISTRATION # F-12266

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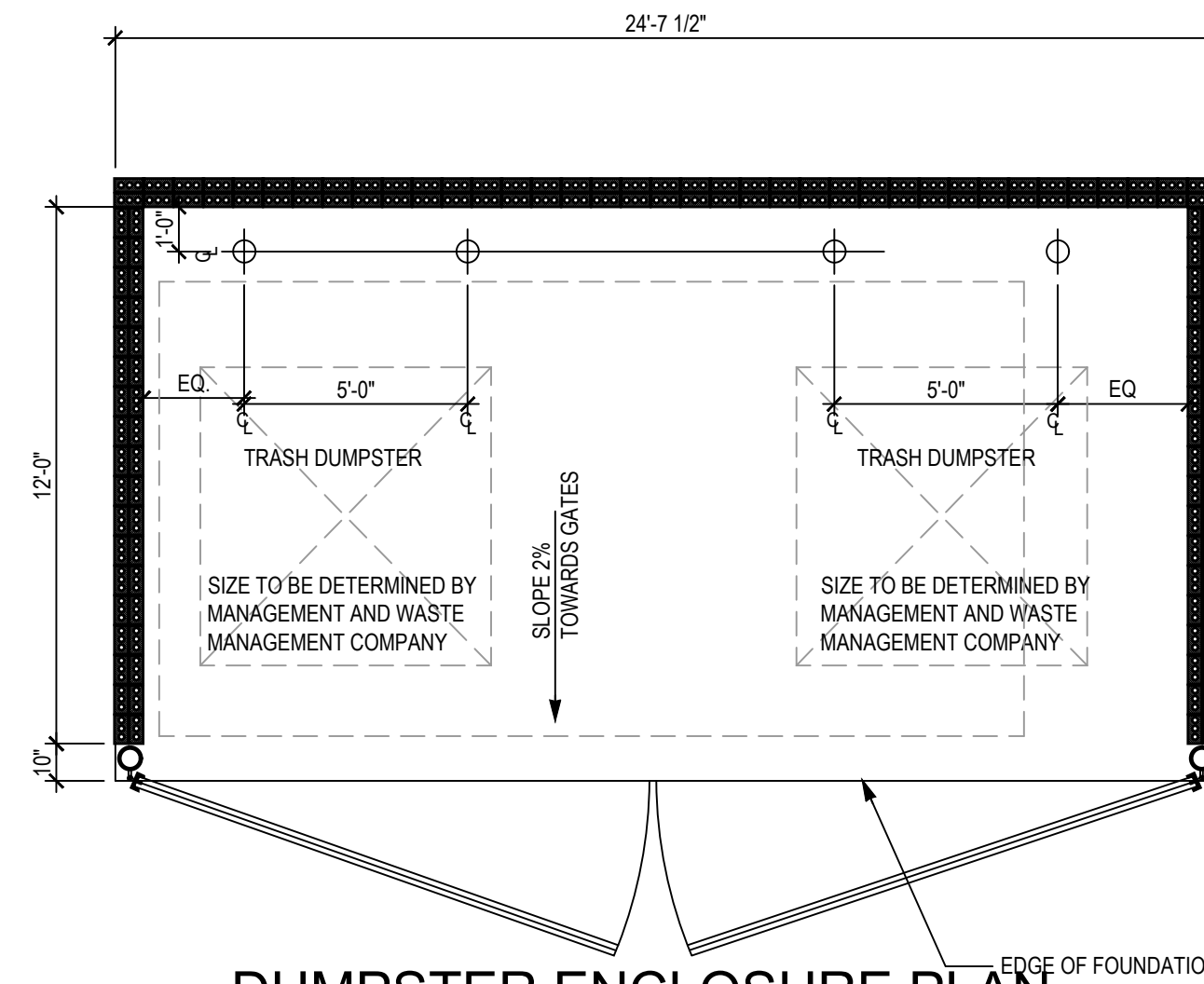
**DEVELOPER:**  
KENNOR ROCKWALL RETAIL, LLC  
8848 GREENVILLE AVE.  
DALLAS, TEXAS 75243

**BUILDING ELEVATIONS - BLDG 02**

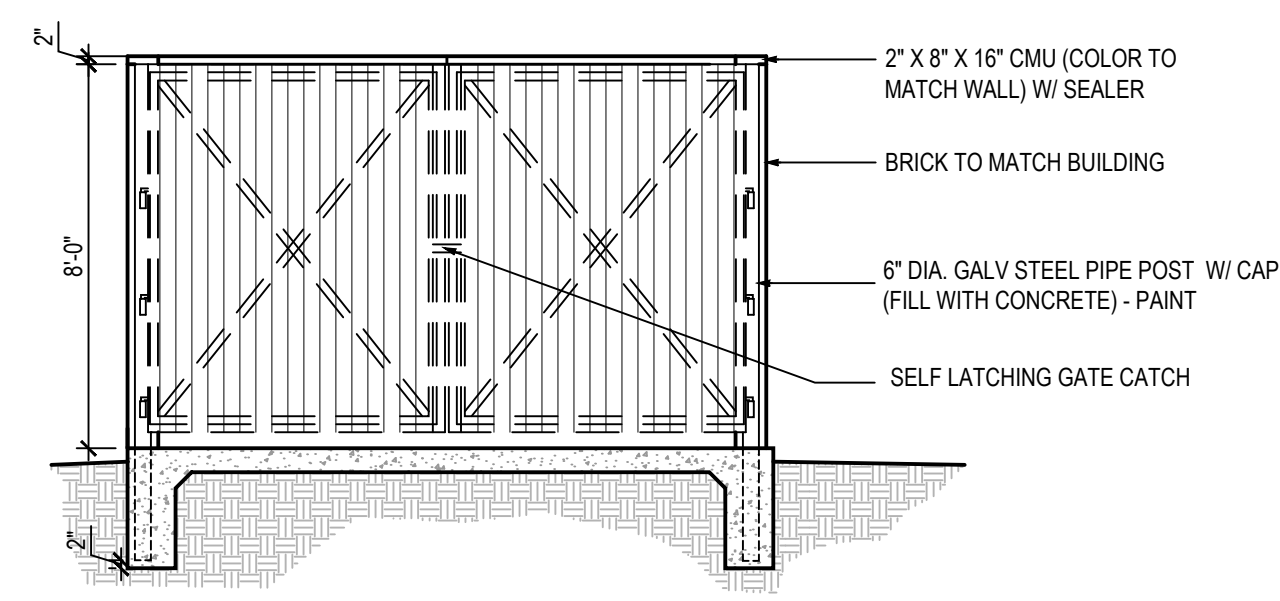
KENNOR ROCKWALL RETAIL  
LOT 8R, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX.

Scale: 3/16" = 1'-0"  
Designed by: KAB  
Drawn by: KAB  
Checked by: KAB  
Date: 11/06/2023

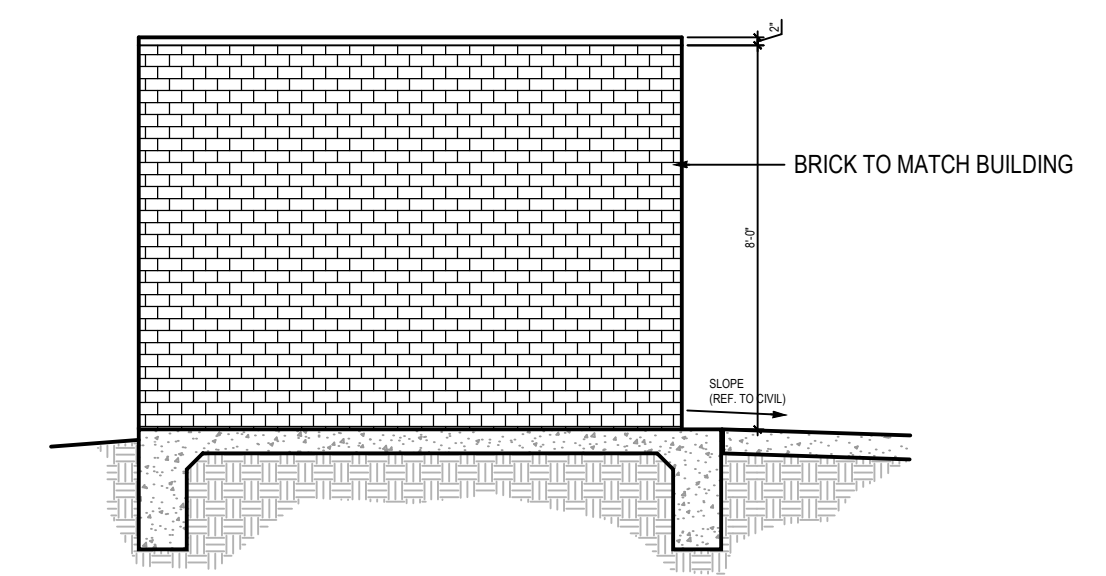
SHEET  
**A302**



**04 DUMPSTER ENCLOSURE PLAN**  
1/4"=1'



**05 DUMPSTER ENCLOSURE FRONT ELEVATION**  
1/4"=1'-0"



**06 DUMPSTER ENCLOSURE SIDE ELEVATION**  
1/4"=1'-0"

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PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

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BUILDING ELEVATIONS  
KENNOR ROCKWALL RETAIL  
LOT 8 & 9, BLOCK A  
DALTON GOLIAD ADDITION  
1.93 ACRES  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
OCTOBER 20, 2023  
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**DEVELOPER:**  
KENNOR ROCKWALL RETAIL, LLC  
8848 GREENVILLE AVE.  
DALLAS, TEXAS 75243

**DUMPSTER DETAIL**  
KENNOR ROCKWALL RETAIL  
LOT 8R, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX.

Scale: 3/16" = 1'-0"  
Designed by: KAB  
Drawn by: KAB  
Checked by: KAB  
Date: 11/08/2023

SHEET  
**A303**

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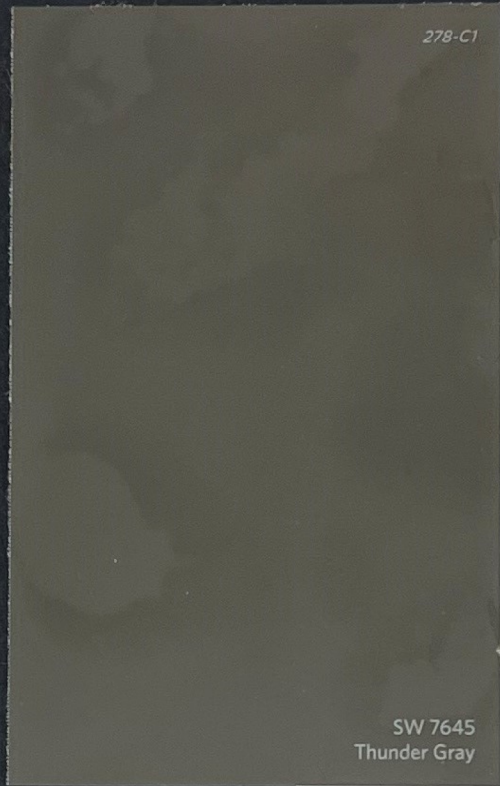
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JUAN J. VASQUEZ, P.E.  
VASQUEZ ENGINEERING, L.L.C.  
TX REG # F-12266

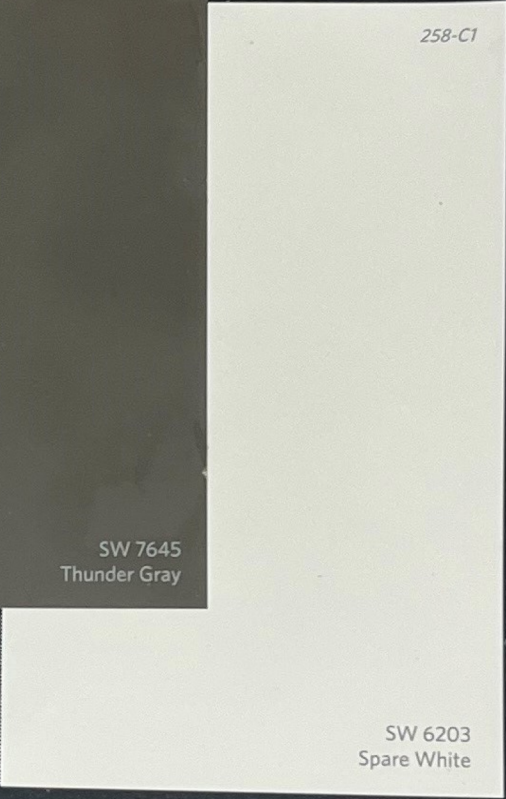


P1-SW7645  
THUNDER GRAY

M1-STONE  
CHAPEL BUFF

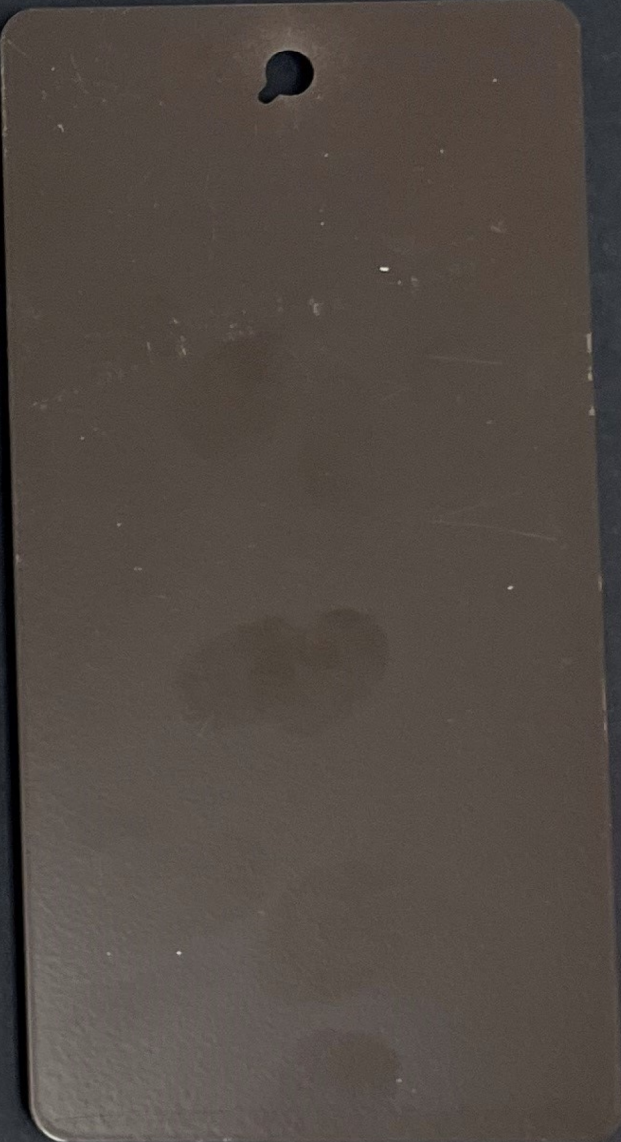


SW 7645  
Thunder Gray

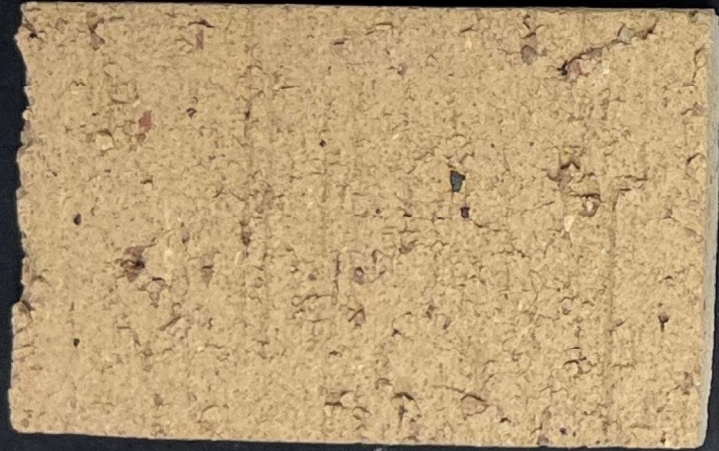


SW 6203  
Spare White

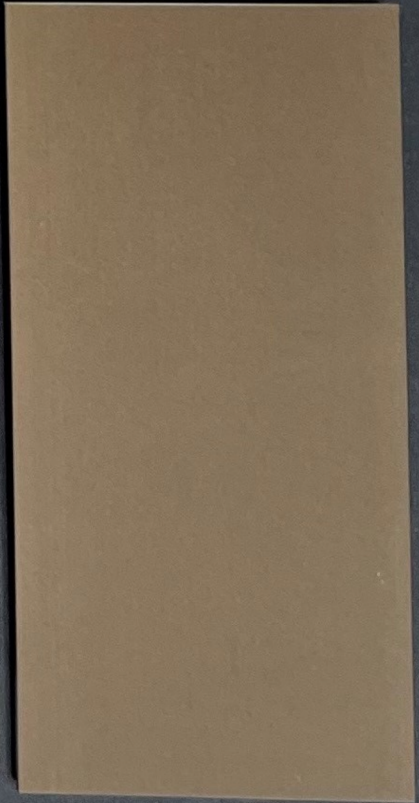
ST-1 STUCCO  
SW6203 SPARE WHITE



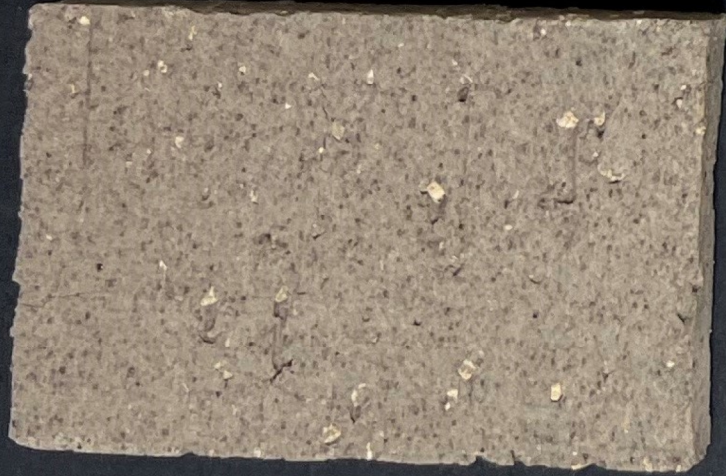
MLT-1 METAL  
MED. BRONZE



BR2-BRICK  
DOESKIN

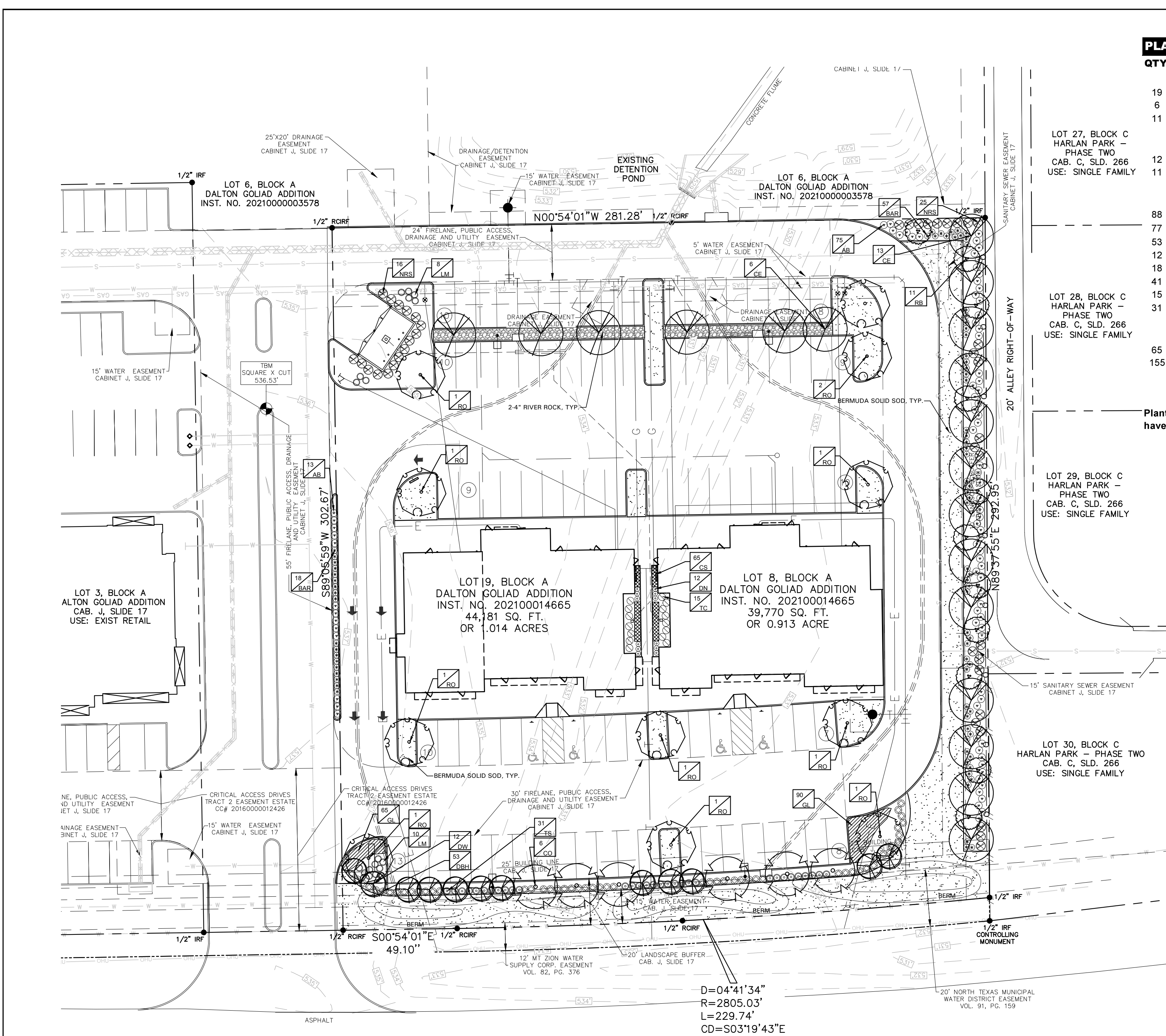


SF1-STOREFRONT  
MED. BRONZE



BR1-BRICK  
MARBLE GRAY

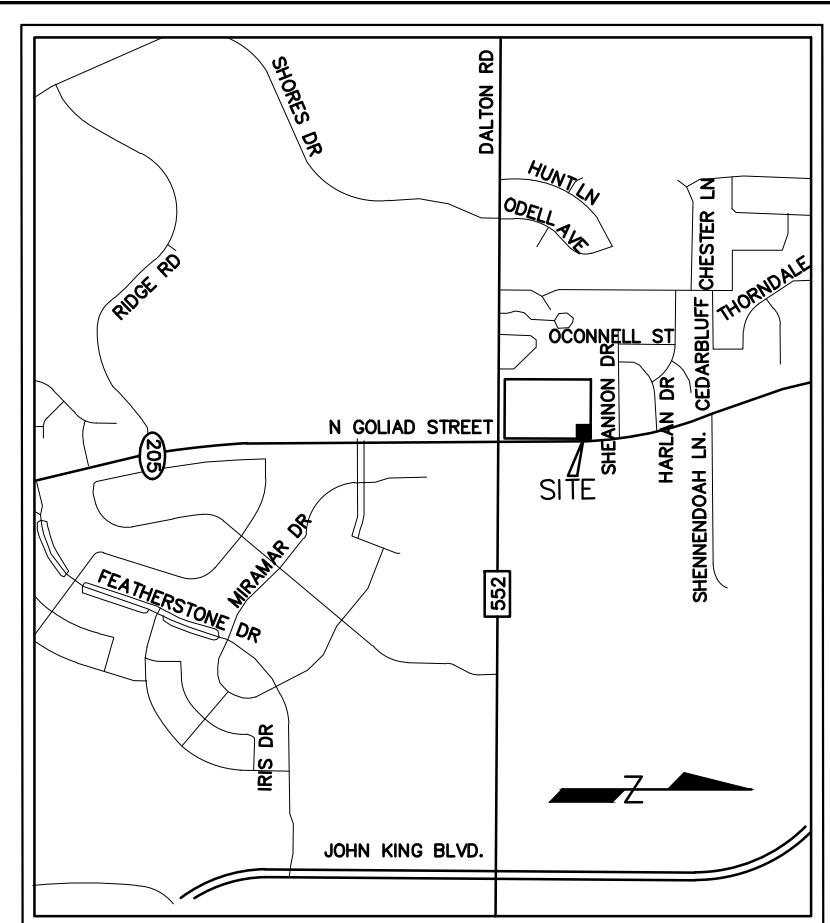




### PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
19	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	12' ht., 4' spread, matching
6	CO	Chinkapin Oak	<i>Quercus muhlenbergii</i>	4" cal.	12' ht., 4' spread, matching
11	RO	Texas Red Oak	<i>Quercus texana</i>	4" cal.	12' ht., 4' spread, matching
<b>ORNAMENTAL TREES</b>					
12	DW	Desert Willow	<i>Chilopsis linearis</i>	30 gal.	8' ht., 4' spread, multi trunk, 3 cane min.
11	RB	Oklahoma Redbud	<i>Cercis reniformis 'Oklahoma'</i>	30 gal.	8' ht., 4' spread, 3 trunk min.
<b>SHRUBS</b>					
88	AB	Edward Goucher Abelia	<i>Abelia x grandiflora 'Edward Goucher'</i>	5 gal.	full, 20" spread, 36" o.c.
77	BAR	Crimson Pymy Barberry	<i>Berberis thunbergii 'Crimson Pymy'</i>	5 gal.	full, 20" sprd, 30" o.c.
53	DBH	Dwarf Burford Holly	<i>Ilex comuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
12	DN	Dwarf Nandina 'Flirt'	<i>Nandina domestica 'Flirt'</i>	5 gal.	full, 30" o.c.
18	LM	Lindheimer Muhly Grass	<i>Muhlenbergia lindheimeri</i>	5 gal.	full, 24" spread, 36" o.c.
41	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	full, 40" o.c.
15	TC	Turk's Cap	<i>Malvaviscus arboreus var. 'Drummondii'</i>	7 gal.	full, 24" sprd, 30" o.c.
31	TS	Texas Sage 'Green Cloud'	<i>Leucophyllum frutescens 'Green Cloud'</i>	5 gal.	full, 24" sprd, 36" o.c.
<b>GROUND COVER/VINES/GRASS</b>					
65	CS	Carex Sedge 'Everillo'	<i>Carex Everillo</i>	1 gal.	full, 18" o.c.
155	GL	Giant Lirope	<i>Liriope gigantea</i>	1 gal.	full, 18" o.c.
		Bermuda Solid Rock TidTuf			2-4" River Rock

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



LOCATION MAP  
N.T.S.

### LANDSCAPE TABULATIONS ROCKWALL, TEXAS

#### NON RESIDENTIAL BUFFERS ABUTTING R-O-W

1. Buffer strips shall be a minimum of 20' wide along the entire length of the property's frontage abutting the right of way. All landscape buffers shall incorporate groundcover, a built up berm and shrubbery. Berms and shrubs shall have a minimum height of 30".
2. One canopy tree and one accent tree shall be incorporated for every 50 l.f.
3. Per Article 5, subsection 6.02 - Two shade trees shall be provided for every 100 l.f.

State Highway 205 = 278 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
6 canopy trees, 4" cal.	6 canopy trees, 4" cal.
12 accent trees, 4" ht.	12 accent trees, 4" ht.

#### NON RESIDENTIAL ABUTTING RESIDENTIAL

1. Buffer of 20' shall be placed between non residential and residential properties
2. 6' wrought iron fence with three tiered screening (1 small to mid sized shrub, large shrubs or accent trees and canopy trees along the entry length of adjacency with canopy trees being placed 20' o.c.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
6' ht. wrought iron fence	6' ht. wrought iron fence
3 tier landscape	3 tier landscape

#### PARKING LOT LANDSCAPE

1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.

REQUIRED	PROVIDED
36" screen	36" screen
10 canopy trees, 4" cal.	10 canopy trees, 4" cal.

#### GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
3. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
6. PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
7. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
8. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
9. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (1-1/4"), EXCLUDING TOP GROWTH AND TRASH.
10. CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
11. TREES SHALL BE PLANTED AT A MINIMUM OF 8' FROM ANY UTILITY LINE. SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
12. 4" OF SHREDDED HARDWOOD MULCH 1/2" SETTLED (THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
13. WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
14. CONTRACTOR TO PROVIDE UNIT PRICES OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

#### HYDROMULCH

1. SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
2. BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEEDS SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE LOCAL LAW REQUIREMENTS.
3. FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWAY" OR EQUAL.
4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE "TERRO-TACK ONE", AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
5. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
6. USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
7. IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
8. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT. AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDS ARE IMMEDIATELY AFTER INSTALLATION TO SATURATION.
10. ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

#### IRRIGATION

1. ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

#### MAINTENANCE REQUIREMENTS

1. VEGEATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
2. MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
3. ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

#### MISCELLANEOUS MATERIALS

1. STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
2. RIVER ROCK SHALL BE ARIZONA RIVER ROCK 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (SUBSECTION 05.04, OF ARTICLE 08)

NO EXISTING TREES ON SITE.

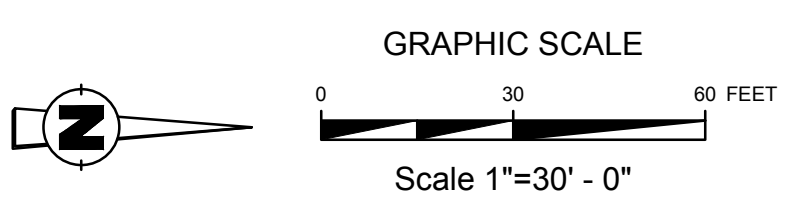
#### SITE SUMMARY TABLE

Site Address	GOLIAD
County	ROCKWALL
Project Name	KENNOR ROCKWALL RETAIL
Zoning District	GR W/N, SH 205 OVERLAY DISTRICT
Proposed use	RETAIL/REST.
Site Area:	1.93 Acres 83,951 S.F.
Building Area	11,713 S.F.
Building Height:	1 Story
Lot Coverage:	11,713 / 83,951 = 13.95%
Floor Area Ratio:	11,713 S.F. / 83,951 = 1:14.0
Parking Required Building:	11,713 S.F.
RETAIL	1 SPCS/250 SF (4,713 SF/250) = 19 SPACES
REST.	1 SPCS/100 SF (7,000 SF/100) = 70 SPACES
Total Parking Required:	= 89 SPACES
Parking Provided:	REGULAR = 90 SPACES
ACCESSIBLE	= 4 SPACES
TOTAL	= 94 SPACES
Impervious Area:	67,179 S.F.
Impervious Area Ratio:	67,179 S.F. / 83,951 = 80.02%
Pervious Area Ratio:	16,772 S.F. / 83,951 = 19.98%

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_



AWR Designs, LLC  
P.O. Box 1746  
Aledo, Texas 76008  
amanda@awr-designs.com  
c. 512.517.5589

OWNER/DEVELOPER:  
KENNOR ROCKWALL RETAIL, LLC.  
8848 GREENVILLE AVE.  
DALLAS, TEXAS 75243  
PHONE: 903-819-1208  
CONTACT: SHANE SHOULEDERS

ENGINEER:  
VASQUEZ ENGINEERING, L.L.C.  
1919 S. SHILOH ROAD, SUITE 440  
GARLAND, TEXAS 75042  
PHONE: 972-272-4610  
CONTACT: JUAN J. VASQUEZ, P.E.

LANDSCAPE PLAN  
KENNOR ROCKWALL RETAIL  
LOTS 8 & 9, BLOCK A  
DALTON GOLIAD ADDITION  
1.93 ACRES  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
NOVEMBER 9, 2023  
CASE #SP2023-036

NO.	DATE	APP.

Scale: 1" = 30'  
Designed by: JUV  
Drawn by: DRS  
Checked by: JUV  
T20-01DWG SITE PLANS/SP1 SITE PLAN.dwg  
Date: 11/9/2023

DEVELOPER:  
KENNOR ROCKWALL RETAIL, LLC  
8848 GREENVILLE AVE.  
DALLAS, TEXAS 75243

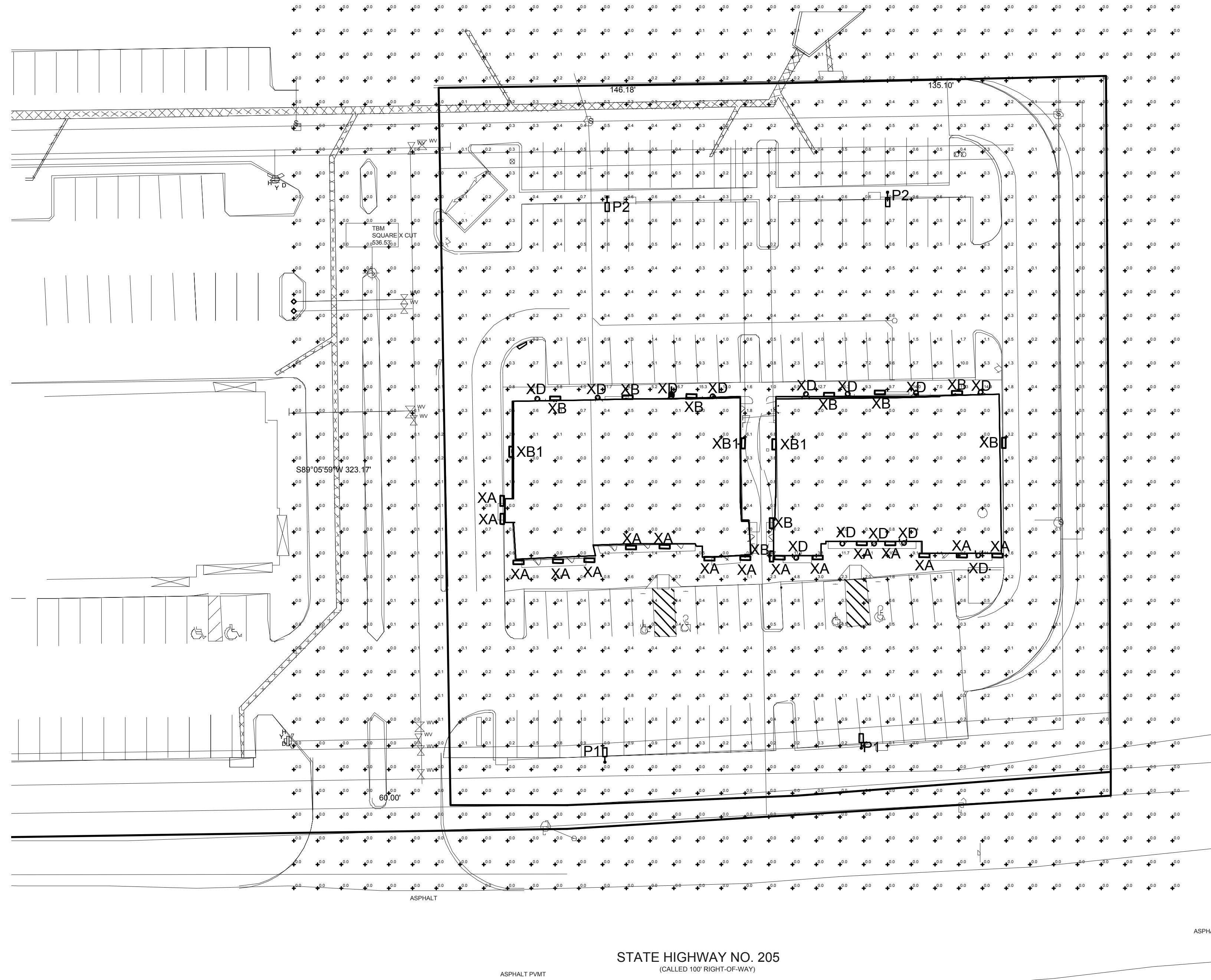
LANDSCAPE PLAN  
KENNOR ROCKWALL RETAIL  
LOT 8R, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX

VASQUEZ ENGINEERING, L.L.C.  
1919 S. Shiloh Road  
Suite 440, LB 44  
Garland, Texas 75042  
Ph: 972-272-2948  
TX Registration # F-12286

SHEET  
L1.1



LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP TYPE	WATTS	VOLTS	COMMENTS
XA	SCOTT ARCHITECTURAL	S9205-L16 40K [FINISH]	LED	16	120-277	LED EXTERIOR DECORATIVE WALL SCNCE
XB	LITHONIA	ARC2P4 40K MVOLT [FINISH]	LED	30	120-277	LED WALL PACK
XB1	LITHONIA	ARC2P1 40K MVOLT [FINISH]	LED	10.6	120-277	LED WALL PACK
XD	EELP	OMEL 20W C BZ SD CPY1 CW1	LED	20	120-277	LED MULLION MOUNT EMERGENCY OVER DOOR LIGHT
P1	ACUITY BRANDS	DSX0 LED P1 40K 80CRI BLC4	LED	33.2	120-277	D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 4 EXTREME BACKLIGHT CONTROLBLC4. MOUNTING HEIGHT 20'.
P2	ACUITY BRANDS	DSX0 LED P1 40K 80CRI T5M	LED	33.2	120-277	D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 5 MEDIUM. MOUNTING HEIGHT 20'.



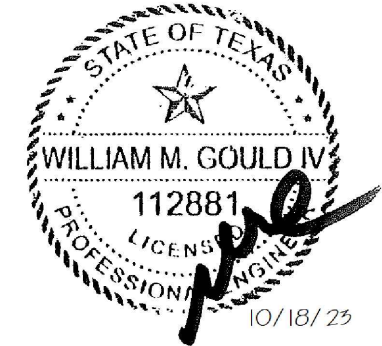
**1** PHOTOMETRIC PLAN  
SCALE = 1"=30'

PHOTOMETRIC PLAN  
KENNOR ROCKWALL RETAIL  
LOT 8 & 9, BLOCK A  
DALTON GOLIAD ADDITION  
1.93 ACRES  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
OCTOBER 20, 2023  
CASE #SP2023-036

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
WITNESS OUT HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



James F. Turner  
Engineers, L.P.  
1919 S. Shiloh Road  
Suite 440, LB 44  
Garland, Texas 75042  
Tel: 972-779-2948  
Fax: 972-779-2948  
TX REG. F-12286

APP.	
NO.	
DATE	
APPRO. WMG	
DESIGN. DSM	
EXAM. DSM	
DATE	10/20/2023
SCALE	1" = 30'
DESIGNED BY	JJV
DRAWN BY	DRS
CHECKED BY	JJV
FILE NAME	T20-01DWGSITE PLANS\SP1-SITE PLAN.dwg
DATE	10/20/2023

DEVELOPER:  
KENNOR ROCKWALL RETAIL, LLC  
8848 GREENVILLE AVE.  
DALLAS, TEXAS 75243

PHOTOMETRIC PLAN  
KENNOR ROCKWALL RETAIL  
LOT 8R, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX.

SHEET  
**E1**

VASQUEZ ENGINEERING, L.L.C.  
1919 S. Shiloh Road  
Suite 440, LB 44  
Garland, Texas 75042  
Ph: 972-779-2948  
TX Registration # F-12286



# D-Series Size 0 LED Area Luminaire



Catalog  
Number

Notes

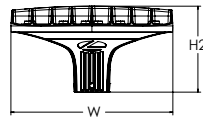
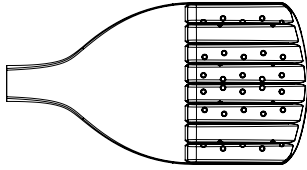
Type

Hit the Tab key or mouse over the page to see all interactive elements.

d<sup>#</sup>series

## Specifications

EPA:	0.44 ft <sup>2</sup> (0.04 m <sup>2</sup> )
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



## Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE:** DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED	Series	LEDs	Color temperature <sup>2</sup>	Color Rendering Index <sup>2</sup>	Distribution	Voltage	Mounting		
DSX0 LED	<b>Forward optics</b>	P1 P5	30K 3000K	70CRI	AFR Automotive front row	T5M Type V medium	MVOLT (120V-277V) <sup>4</sup>	<b>Shipped included</b> SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole) <sup>9</sup> RPA5 Round pole mounting (#5 drilling, 3" min. RND pole) <sup>9</sup> SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket <sup>10</sup> MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	
		P2 P6	40K 4000K	70CRI	T1S Type I short	T5LG Type V low glare	HVOLT (347V-480V) <sup>5,6</sup>		
		P3 P7	50K 5000K	70CRI	T2M Type II medium	T5W Type V wide	XVOLT (277V-480V) <sup>7,8</sup>		
		P4	(this section 80CRI only, extended lead times apply)		80CRI	T3M Type III medium	BLC3 Type III backlight control <sup>3</sup>		120 <sup>16,24</sup>
		P10 <sup>1</sup> P12 <sup>1</sup>	27K 2700K	T3LG Type III low glare <sup>3</sup>		BLC4 Type IV backlight control <sup>3</sup>	208 <sup>16,24</sup>		
		P11 <sup>1</sup> P13 <sup>1</sup>	30K 3000K	T4M Type IV medium		LCCO Left corner cutoff <sup>3</sup>	240 <sup>16,24</sup>		
		35K 3500K	T4LG Type IV low glare <sup>3</sup>	RCCO Right corner cutoff <sup>3</sup>		277 <sup>16,24</sup>			
		40K 4000K	TFTM Forward throw medium			347 <sup>16,24</sup>			
		50K 5000K				480 <sup>16,24</sup>			

Control options	Other options	Finish (required)
<p><b>Shipped installed</b></p> <p>NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.<sup>11,12,18,19</sup></p> <p>PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.<sup>13,18,19</sup></p> <p>PER NEMA twist-lock receptacle only (controls ordered separate)<sup>14</sup></p> <p>PER5 Five-pin receptacle only (controls ordered separate)<sup>14,19</sup></p>	<p><b>Shipped installed</b></p> <p>PER7 Seven-pin receptacle only (controls ordered separate)<sup>14,19</sup></p> <p>FAO Field adjustable output<sup>15,19</sup></p> <p>BL30 Bi-level switched dimming, 30%<sup>16,19</sup></p> <p>BL50 Bi-level switched dimming, 50%<sup>16,19</sup></p> <p>DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)<sup>17</sup></p> <p><b>Shipped separately</b></p> <p>EGSR External Glare Shield (reversible, field install required, matches housing finish)</p> <p>BSDB Bird Spikes (field install required)</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured dark bronze</p> <p>DBLBXD Textured black</p> <p>DNATXD Textured natural aluminum</p> <p>DWHGXD Textured white</p>



## Ordering Information

### Accessories

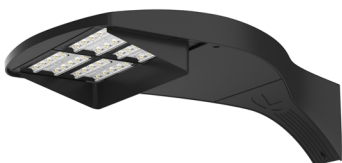
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>23</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>23</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>23</sup>
DSHORT SBK	Shorting cap <sup>23</sup>
DSX0HS P#	House-side shield (enter package number P1-7, P10-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSX0EGSR (FINISH)	External glare shield (specify finish)
DSX0SDB (FINISH)	Bird spike deterrent bracket (specify finish)

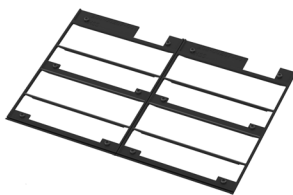
### NOTES

- 1 Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 2 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- 3 T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- 4 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 5 HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- 6 HVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- 7 XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- 8 XVOLT not available in packages P1, P2 or P10. XVOLT not available with fusing (SF or DF).
- 9 SPAS and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- 10 WBA cannot be combined with Type 5 distributions plus photocell (PER).
- 11 NLTAIR2 and PIRHN must be ordered together. For more information on nLight Air 2.
- 12 NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1, P2 and P10 using XVOLT. NLTAIR2 PIRHN not available with P1 using MVOLT.
- 13 PIR not available with NLTAIR2, PER, PER5, PER7, FAO BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1, P2 and P10 using XVOLT. PIR not available with P1 using MVOLT.
- 14 PER/PER5/PER7 not available with NLTAIR2, PIR, BL30, BL50. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 15 FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, or DMG.
- 16 BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO and DMG. BL30 or BL50 must specify 120, 277 or 347V. Consult tech support for 208, 240 or 480V.
- 17 DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50 and FAO.
- 18 Reference Motion Sensor Default Settings table on page 4 to see functionality.
- 19 Reference Controls Options table on page 4.
- 20 Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 21 CCE option not available with option B5 and EGSR. Contact Technical Support for availability.
- 22 Option HA not available with performance packages P6, P7, P12 and P13.
- 23 Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- 24 Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

## Shield Accessories



External Glare Shield (EGSR)

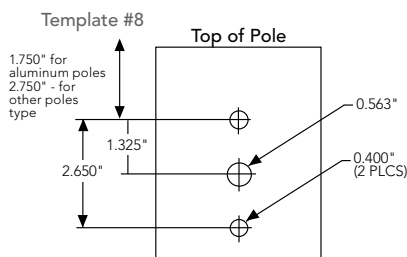
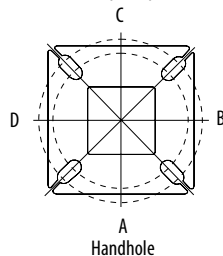


House Side Shield (HS)

## Drilling

### HANDHOLE ORIENTATION

(from top of pole)



### Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPAS	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

### DSX0 Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 with SPA	0.44	0.88	0.96	1.18	---	1.16
DSX0 with SPAS, SPA8N	0.51	1.02	1.06	1.26	---	1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
<b>25°C</b>	<b>77°C</b>	<b>1.00</b>
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

### FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

\*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

### Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
Rotated Optics (Requires L90 or R90)	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

### LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

### Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

### Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P1	33W	20	530	T1S	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157				
				T2M	4,545	1	0	2	137	4,736	1	0	2	143	4,829	1	0	2	145				
				T3M	4,597	1	0	2	138	4,791	1	0	2	144	4,885	1	0	2	147				
				T3LG	4,107	1	0	1	124	4,280	1	0	1	129	4,363	1	0	1	131				
				T4M	4,666	1	0	2	141	4,863	1	0	2	146	4,957	1	0	2	149				
				T4LG	4,244	1	0	1	128	4,423	1	0	1	133	4,509	1	0	1	136				
				TFTM	4,698	1	0	2	141	4,896	1	0	2	147	4,992	1	0	2	150				
				T5M	4,801	3	0	1	145	5,003	3	0	1	151	5,101	3	0	1	154				
				T5W	4,878	3	0	1	147	5,084	3	0	2	153	5,183	3	0	2	156				
				T5LG	4,814	2	0	1	145	5,018	2	0	1	151	5,115	2	0	1	154				
				BLC3	3,344	0	0	1	101	3,485	0	0	1	105	3,553	0	0	1	107				
				BLC4	3,454	0	0	2	104	3,599	0	0	2	108	3,670	0	0	2	111				
				RCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108				
				LCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108				
				AFR	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157				
				P2	45W	20	700	T1S	6,328	1	0	1	140	6,595	1	0	1	146	6,724	1	0	1	149
								T2M	5,862	1	0	2	130	6,109	1	0	2	135	6,228	1	0	2	138
								T3M	5,930	1	0	3	131	6,180	1	0	3	137	6,301	1	0	3	140
T3LG	5,297	1	0					1	117	5,521	1	0	1	122	5,628	1	0	1	125				
T4M	6,018	1	0					3	133	6,272	1	0	3	139	6,395	1	0	3	142				
T4LG	5,474	1	0					1	121	5,705	1	0	1	126	5,816	1	0	1	129				
TFTM	6,060	1	0					3	134	6,316	1	0	3	140	6,439	1	0	3	143				
T5M	6,192	3	0					1	137	6,453	3	0	2	143	6,579	3	0	2	146				
T5W	6,293	3	0					2	139	6,558	3	0	2	145	6,686	3	0	2	148				
T5LG	6,210	2	0					1	138	6,472	3	0	1	143	6,598	3	0	1	146				
BLC3	4,313	0	0					2	96	4,495	0	0	2	100	4,583	0	0	2	102				
BLC4	4,455	0	0					2	99	4,643	0	0	2	103	4,733	0	0	2	105				
RCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102				
LCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102				
AFR	6,328	1	0					1	140	6,595	1	0	1	146	6,724	1	0	1	149				
P3	69W	20	1050					T1S	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
								T2M	8,343	2	0	3	121	8,694	2	0	3	126	8,864	2	0	3	129
								T3M	8,439	2	0	3	122	8,795	2	0	3	128	8,967	2	0	3	130
				T3LG	7,539	1	0	2	109	7,857	1	0	2	114	8,010	1	0	2	116				
				T4M	8,565	2	0	3	124	8,926	2	0	3	129	9,100	2	0	3	132				
				T4LG	7,790	1	0	2	113	8,119	1	0	2	118	8,277	1	0	2	120				
				TFTM	8,624	1	0	3	125	8,988	1	0	3	130	9,163	2	0	3	133				
				T5M	8,812	3	0	2	128	9,184	4	0	2	133	9,363	4	0	2	136				
				T5W	8,955	4	0	2	130	9,333	4	0	2	135	9,515	4	0	2	138				
				T5LG	8,838	3	0	1	128	9,211	3	0	1	134	9,390	3	0	1	136				
				BLC3	6,139	0	0	2	89	6,398	0	0	2	93	6,522	0	0	2	95				
				BLC4	6,340	0	0	3	92	6,607	0	0	3	96	6,736	0	0	3	98				
				RCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95				
				LCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95				
				AFR	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139				
				P4	93W	20	1400	T1S	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130
								T2M	10,557	2	0	3	113	11,003	2	0	3	118	11,217	2	0	3	121
								T3M	10,680	2	0	3	115	11,130	2	0	3	120	11,347	2	0	3	122
T3LG	9,540	1	0					2	103	9,942	1	0	2	107	10,136	1	0	2	109				
T4M	10,839	2	0					3	117	11,296	2	0	3	121	11,516	2	0	4	124				
T4LG	9,858	1	0					2	106	10,274	1	0	2	110	10,474	1	0	2	113				
TFTM	10,914	2	0					3	117	11,374	2	0	3	122	11,596	2	0	3	125				
T5M	11,152	4	0					2	120	11,622	4	0	2	125	11,849	4	0	2	127				
T5W	11,332	4	0					3	122	11,811	4	0	3	127	12,041	4	0	3	129				
T5LG	11,184	3	0					1	120	11,656	3	0	2	125	11,883	3	0	2	128				
BLC3	7,768	0	0					2	83	8,096	0	0	2	87	8,254	0	0	2	89				
BLC4	8,023	0	0					3	86	8,362	0	0	3	90	8,524	0	0	3	92				
RCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90				
LCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90				
AFR	11,396	1	0					2	122	11,877	1	0	2	128	12,109	2	0	2	130				



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P5	90W	40	700	T1S	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146
				T2M	11,468	2	0	3	127	11,952	2	0	3	133	12,185	2	0	3	135
				T3M	11,601	2	0	3	129	12,091	2	0	3	134	12,326	2	0	4	137
				T3LG	10,363	2	0	2	115	10,800	2	0	2	120	11,011	2	0	2	122
				T4M	11,774	2	0	4	131	12,271	2	0	4	136	12,510	2	0	4	139
				T4LG	10,709	1	0	2	119	11,160	2	0	2	124	11,378	2	0	2	126
				TFTM	11,856	2	0	3	132	12,356	2	0	4	137	12,596	2	0	4	140
				T5M	12,114	4	0	2	134	12,625	4	0	2	140	12,871	4	0	2	143
				T5W	12,310	4	0	3	137	12,830	4	0	3	142	13,080	4	0	3	145
				T5LG	12,149	3	0	2	135	12,662	3	0	2	141	12,908	3	0	2	143
				BLC3	8,438	0	0	2	94	8,794	0	0	2	98	8,966	0	0	2	99
				BLC4	8,715	0	0	3	97	9,083	0	0	3	101	9,260	0	0	3	103
				RCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100
				LCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100
				AFR	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146
				P6	137W	40	1050	T1S	17,545	2	0	3	128	18,285	2	0	3	133	18,642
T2M	16,253	3	0					4	119	16,939	3	0	4	124	17,269	3	0	4	126
T3M	16,442	2	0					4	120	17,135	3	0	4	125	17,469	3	0	4	128
T3LG	14,687	2	0					2	107	15,306	2	0	2	112	15,605	2	0	2	114
T4M	16,687	2	0					4	122	17,391	3	0	5	127	17,730	3	0	5	129
T4LG	15,177	2	0					2	111	15,817	2	0	2	115	16,125	2	0	2	118
TFTM	16,802	2	0					4	123	17,511	2	0	4	128	17,852	2	0	5	130
T5M	17,168	4	0					2	125	17,893	5	0	3	131	18,241	5	0	3	133
T5W	17,447	5	0					3	127	18,183	5	0	3	133	18,537	5	0	3	135
T5LG	17,218	4	0					2	126	17,944	4	0	2	131	18,294	4	0	2	134
BLC3	11,959	0	0					3	87	12,464	0	0	3	91	12,707	0	0	3	93
BLC4	12,352	0	0					4	90	12,873	0	0	4	94	13,124	0	0	4	96
RCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94
LCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94
AFR	17,545	2	0					3	128	18,285	2	0	3	133	18,642	2	0	3	136
P7	171W	40	1300					T1S	20,806	2	0	3	122	21,683	2	0	3	127	22,106
				T2M	19,273	3	0	4	113	20,086	3	0	4	118	20,478	3	0	4	120
				T3M	19,497	3	0	5	114	20,319	3	0	5	119	20,715	3	0	5	121
				T3LG	17,416	2	0	2	102	18,151	2	0	2	106	18,504	2	0	2	108
				T4M	19,787	3	0	5	116	20,622	3	0	5	121	21,024	3	0	5	123
				T4LG	17,997	2	0	2	105	18,756	2	0	2	110	19,121	2	0	2	112
				TFTM	19,924	3	0	5	117	20,765	3	0	5	122	21,170	3	0	5	124
				T5M	20,359	5	0	3	119	21,217	5	0	3	124	21,631	5	0	3	127
				T5W	20,689	5	0	3	121	21,561	5	0	3	126	21,982	5	0	3	129
				T5LG	20,418	4	0	2	120	21,279	4	0	2	125	21,694	4	0	2	127
				BLC3	14,182	0	0	3	83	14,780	0	0	3	87	15,068	0	0	3	88
				BLC4	14,647	0	0	4	86	15,265	0	0	4	89	15,562	0	0	4	91
				RCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89
				LCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89
				AFR	20,806	2	0	3	122	21,683	2	0	3	127	22,106	2	0	3	129

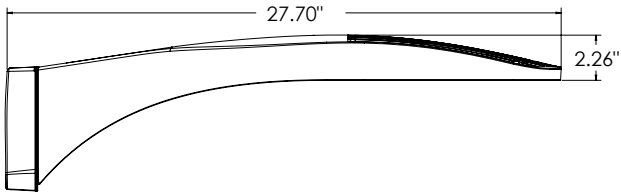
# Performance Data

## Lumen Output

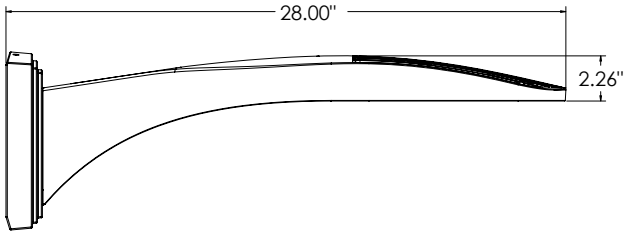
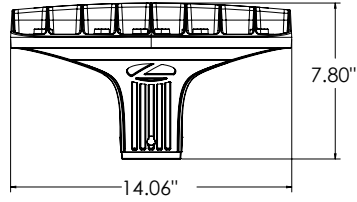
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Rotated Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P10	51W	30	530	T1S	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154				
				T2M	6,854	3	0	3	135	7,144	3	0	3	140	7,283	3	0	3	143				
				T3M	6,933	3	0	3	136	7,225	3	0	3	142	7,366	3	0	3	145				
				T3LG	6,194	2	0	2	122	6,455	2	0	2	127	6,581	2	0	2	129				
				T4M	7,036	3	0	3	138	7,333	3	0	3	144	7,476	3	0	3	147				
				T4LG	6,399	2	0	2	126	6,669	2	0	2	131	6,799	2	0	2	134				
				TFTM	7,086	3	0	3	139	7,385	3	0	3	145	7,529	3	0	3	148				
				T5M	7,239	3	0	2	142	7,545	3	0	2	148	7,692	3	0	2	151				
				T5W	7,357	3	0	2	145	7,667	3	0	2	151	7,816	4	0	2	154				
				T5LG	7,260	3	0	1	143	7,567	3	0	1	149	7,714	3	0	1	152				
				BLC3	5,043	3	0	3	99	5,256	3	0	3	103	5,358	3	0	3	105				
				BLC4	5,208	3	0	3	102	5,428	3	0	3	107	5,534	3	0	3	109				
				RCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106				
				LCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106				
				AFR	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154				
				P11	68W	30	700	T1S	9,358	3	0	3	138	9,753	3	0	3	143	9,943	3	0	3	146
								T2M	8,669	3	0	3	127	9,034	3	0	3	133	9,211	3	0	3	135
T3M	8,768	3	0					3	129	9,138	3	0	3	134	9,316	3	0	3	137				
T3LG	7,833	3	0					3	115	8,164	3	0	3	120	8,323	3	0	3	122				
T4M	8,899	3	0					3	131	9,274	3	0	3	136	9,455	3	0	3	139				
T4LG	8,093	3	0					3	119	8,435	3	0	3	124	8,599	3	0	3	126				
TFTM	8,962	3	0					3	132	9,340	3	0	3	137	9,522	3	0	3	140				
T5M	9,156	4	0					2	135	9,542	4	0	2	140	9,728	4	0	2	143				
T5W	9,304	4	0					2	137	9,696	4	0	2	143	9,885	4	0	2	145				
T5LG	9,182	3	0					1	135	9,569	3	0	1	141	9,756	3	0	1	143				
BLC3	6,378	3	0					3	94	6,647	3	0	3	98	6,777	3	0	3	100				
BLC4	6,587	3	0					3	97	6,865	3	0	3	101	6,999	3	0	3	103				
RCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101				
LCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101				
AFR	9,358	3	0					3	138	9,753	3	0	3	143	9,943	3	0	3	146				
P12	103W	30	1050					T1S	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136
								T2M	12,271	4	0	4	119	12,789	4	0	4	124	13,038	4	0	4	126
				T3M	12,412	4	0	4	120	12,935	4	0	4	125	13,187	4	0	4	128				
				T3LG	11,089	3	0	3	107	11,556	3	0	3	112	11,782	3	0	3	114				
				T4M	12,597	4	0	4	122	13,128	4	0	4	127	13,384	4	0	4	129				
				T4LG	11,457	3	0	3	111	11,940	3	0	3	116	12,173	3	0	3	118				
				TFTM	12,686	4	0	4	123	13,221	4	0	4	128	13,479	4	0	4	130				
				T5M	12,960	4	0	2	125	13,507	4	0	2	131	13,770	4	0	2	133				
				T5W	13,170	4	0	3	127	13,726	4	0	3	133	13,994	4	0	3	135				
				T5LG	12,998	3	0	2	126	13,546	3	0	2	131	13,810	3	0	2	134				
				BLC3	9,029	3	0	3	87	9,409	3	0	3	91	9,593	3	0	3	93				
				BLC4	9,324	4	0	4	90	9,718	4	0	4	94	9,907	4	0	4	96				
				RCCO	9,110	1	0	2	88	9,495	1	0	2	92	9,680	1	0	2	94				
				LCCO	9,110	1	0	2	88	9,494	1	0	2	92	9,680	1	0	2	94				
				AFR	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136				
				P13	129W	30	1300	T1S	15,704	3	0	3	122	16,366	3	0	3	127	16,685	4	0	4	130
								T2M	14,547	4	0	4	113	15,161	4	0	4	118	15,457	4	0	4	120
T3M	14,714	4	0					4	114	15,335	4	0	4	119	15,634	4	0	4	121				
T3LG	13,145	3	0					3	102	13,700	3	0	3	106	13,967	3	0	3	108				
T4M	14,933	4	0					4	116	15,563	4	0	4	121	15,867	4	0	4	123				
T4LG	13,582	3	0					3	105	14,155	3	0	3	110	14,431	3	0	3	112				
TFTM	15,039	4	0					4	117	15,673	4	0	4	122	15,979	4	0	4	124				
T5M	15,364	4	0					2	119	16,013	4	0	2	124	16,325	4	0	2	127				
T5W	15,613	5	0					3	121	16,272	5	0	3	126	16,589	5	0	3	129				
T5LG	15,409	3	0					2	120	16,059	3	0	2	125	16,372	4	0	2	127				
BLC3	10,703	4	0					4	83	11,155	4	0	4	87	11,372	4	0	4	88				
BLC4	11,054	4	0					4	86	11,520	4	0	4	89	11,745	4	0	4	91				
RCCO	10,800	1	0					2	84	11,256	1	0	2	87	11,475	1	0	3	89				
LCCO	10,800	1	0					2	84	11,255	1	0	2	87	11,475	1	0	3	89				
AFR	15,704	3	0					3	122	16,366	3	0	3	127	16,685	4	0	4	130				

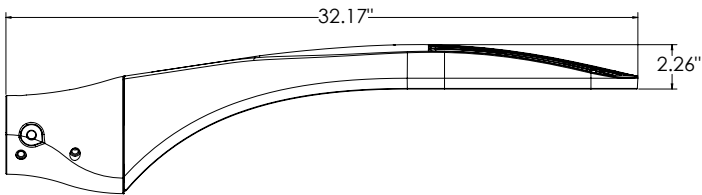
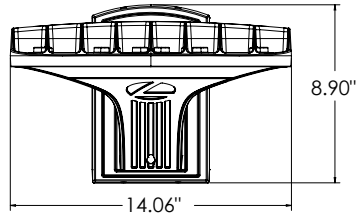
# Dimensions



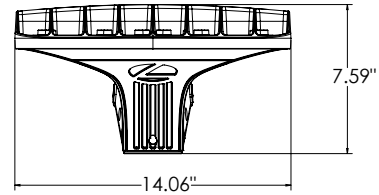
**DSX0 with RPA, RPA5, SPA5, SPA8N mount**  
**Weight: 25 lbs**



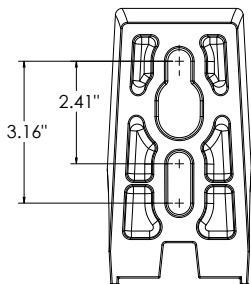
**DSX0 with WBA mount**  
**Weight: 27 lb**



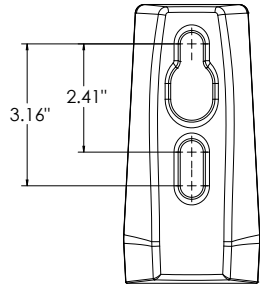
**DSX0 with MA mount**  
**Weight: 28 lbs**



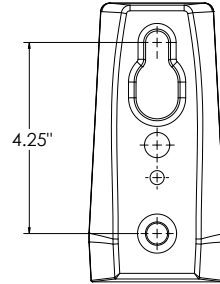
**SPA (STANDARD ARM)**



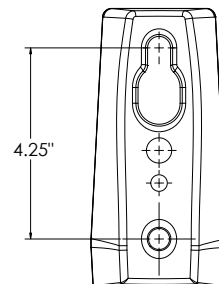
**RPA**



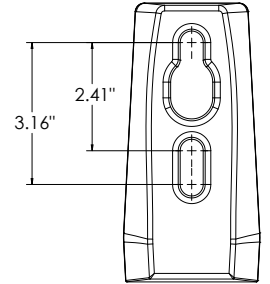
**SPA5**



**RPA5**

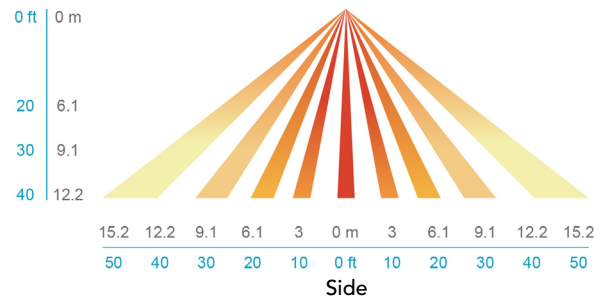
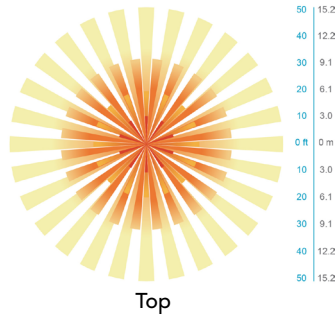
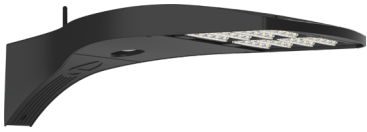


**SPA8N**



## nLight Sensor Coverage Pattern

### NLTAIR2 PIRHN



## FEATURES & SPECIFICATIONS

### INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G. Low EPA (0.44 ft<sup>2</sup>) for optimized pole wind loading.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

### COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

### OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

### nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

### INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

### LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

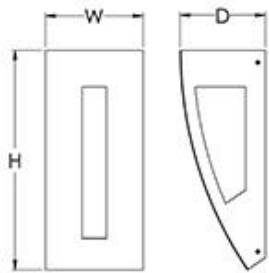
### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



#### DIMENSIONS



W	H	D	MC	BASE MODEL NO.
8"	18"	7"	7"	<b>S9205-L16</b>

#### SPECIFICATIONS

**Driver:** 0-10V dimming to 1%, 120/277

**Mounting:** Mounts to all Standard Electrical Junction Boxes (by others) With Hardware Provided. Silicone Seal Required (by others).

#### FEATURES

- Opal Acrylic Panels
- UL Listed for Wet Location
- LED 0-10V Dimming Driver

#### ORDER AS A COMPLETE UNIT:

**Model No. + Lamp Code + CCT + Finish + Option Code**

S9205-L16	+	27K	+	PT	+	Option
		30K		BA		
		35K				
		40K				

#### FINISHES

**BA** Brushed Aluminum      **PT** Powder Coated Finishes\*

\*(Specify Color Code from the list of Powder Coating Finishes [except interior only metallics])

#### OPTIONS

**EML** Remote 10W Emergency LED Battery Backup

#### LIGHT OUTPUT

**LXX** = ~ 61 LPW Delivered Lumens (Example: L16= 16W x 61LPW = 976 Lumens)

\*\* Try our new **Shimmer Metallic Paints**, Formulated for Exterior Conditions.



# ARC2 LED

## Architectural Wall Luminaire



Catalog Number

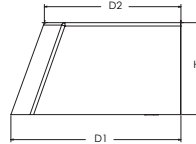
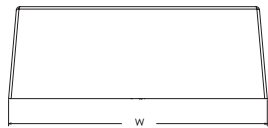
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

- Depth (D1):** 9.25"
- Depth (D2):** 7.5"
- Height:** 5"
- Width:** 14"
- Weight:** 11 lbs  
(without options)



### Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

### ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

### Ordering Information

**EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD**

Series	Package	Color Temperature	Voltage	Options	Finish
ARC2 LED	P1 1,500 Lumens	30K 3000K	MVOLT 347 <sup>1</sup>	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) <sup>1</sup>	DDBXD Dark bronze
	P2 2,000 Lumens	40K 4000K		E8WC Emergency battery backup, CEC compliant (8W, -20°C min) <sup>1</sup>	DBLXD Black
	P3 3,000 Lumens	50K 5000K		PE Button type photocell for dusk-to-dawn operation	DNAXD Natural aluminum
	P4 4,000 Lumens			DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>2</sup>	DWHXD White
	P5 6,500 Lumens			SPD6KV 6kV surge protection <sup>1</sup>	DSSXD Sandstone
			FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% <sup>2</sup>	DDBTXD Textured dark bronze	
				DBLTXD Textured black	
				DNATXD Textured natural aluminum	
				DWHGXD Textured white	
				DSSTXD Textured sandstone	

### Accessories

Ordered and shipped separately.

- WSBBW DDBXD U Surface - mounted back box (specify finish)

### NOTES

- 1 347V not available with E4WH, E8WC and SPD6KV.
- 2 FAO not available with DMG.



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ARC2 LED  
Rev. 03/02/22

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
		Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	11W	1,502	142	0	0	1	1,587	150	0	0	1	1,598	151	0	0	1
P2	16W	2,250	140	0	0	1	2,377	147	0	0	1	2,393	148	0	0	1
P3	24W	3,206	135	0	0	1	3,387	143	0	0	1	3,410	144	0	0	1
P4	30W	3,903	128	1	0	1	4,124	136	1	0	1	4,152	136	1	0	1
P5	51W	6,260	122	1	0	1	6,615	129	1	0	1	6,659	130	1	0	1

### Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	11W	0.090	0.055	0.049	0.046	0.045
P2	16W	0.141	0.081	0.072	0.064	0.059
P3	24W	0.202	0.117	0.103	0.091	0.079
P4	30W	0.280	0.162	0.144	0.128	0.095
P5	51W	0.471	0.272	0.239	0.212	0.158

### Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Lumens
E4WH	693
E8WC	1,413

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

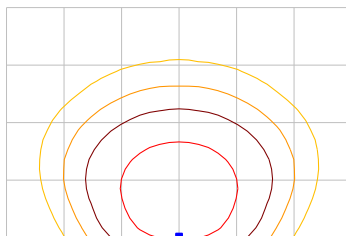
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.88

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting ARC LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

#### LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc



ARC2 LED P3 40K

MH = 15ft  
Grid = 15ft x 15ft

## Emergency Egress Options

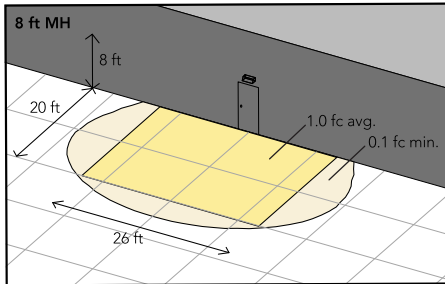
### Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

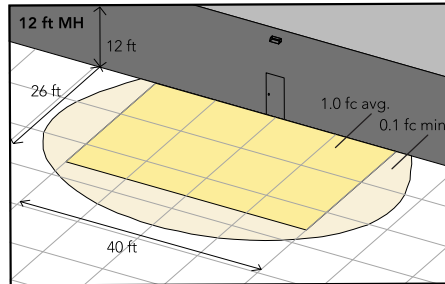
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode.

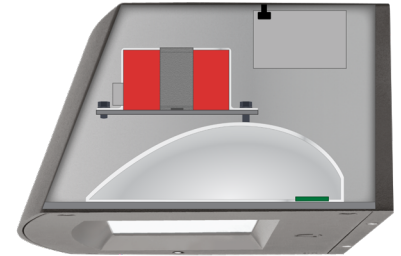
Grid = 10ft x 10ft



ARC2 LED 40K MVOLT E4WH



ARC2 LED 40K MVOLT E8WC



Self-contained solution for clean aesthetic

## Mounting, Options & Accessories

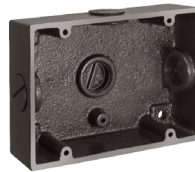


### E4WH and E8WC – Emergency Battery Backup

D = 6.5"

H = 5"

W = 11"



### BBW – Standard Back Box

D = 1.5"

H = 4"

W = 5.5"

For surface conduit applications.  
3/4" conduit entry holes.

## FEATURES & SPECIFICATIONS

### INTENDED USE

The clean architectural shape of the ARC LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs and driver make this luminaire nearly maintenance-free.

### CONSTRUCTION

The die-cast aluminum housing and door act as heat sinks to optimize thermal transfer from the light engine and driver to promote long-life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Recessed lens to cut off high angle light and reduce glare. Combination of diffused lens and reflector design has low surface brightness creating a visually comfortable environment with great distribution. LEDs are fully hidden from view to eliminate pixelization and harsh glare. The ARC LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long-life (up to L88/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

### INSTALLATION

The universal wall plate, supplied with the luminaire, fits multiple size junction boxes and supports it during wiring for easy installation. Built-in wet location wiring compartment on the luminaire to accommodate wiring connections for applications with no junction box. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International DarkSky Association (IDA) Fixture Seal of approval (FSA) is available for all products on this page utilizing 3000K color temperature only. Rated for -40°C minimum ambient.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

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ARC2 LED  
Rev. 03/02/22



**SPECIFICATIONS**

**EMERGENCY**

**HOUSING**

- Decorative low profile die-cast aluminum housing
- Available in white, black, brushed aluminum, or satin bronze finishes
- Stainless Steel hardware
- Full 90° Cutoff

**ELECTRICAL**

- Unit offered as AC only, or battery backup
- Dual 120/277V
- Operating Temperature: -20°C - 40°C (-4°F - 104°F)

**BATTERY**

- 3.6V, 5Ah Li-SOCI2 Battery
- LVD prevents battery from deep discharge
- Internal transfer switch automatically connects battery to lamp heads for 90-minute emergency illumination
- Two-rate charger initiates battery charge to recharge in battery in 24 hours

**ILLUMINATION**

- Sealed diffused lens
- 50,000 Hours
- 5300K standard; 2900 - 3800K available

**MOUNTING**

- Mounts directly to structural mullion beams in glass fronted entrances
- Suitable for wall or ceiling mount

**CODE COMPLIANCE**

- cETLus Listed for Outdoor Locations
- Meets UL924, NFPA 101, Life Safety Code, NEC, OSHA, Local and State Codes
- IP66 Rated
- BAA Compliant

**WARRANTY**

- 5 Year

**ORDERING INFORMATION**

CATALOG#	Description
OMEL-10W-*#	10W, 371 Lumens, AC Only
OMEL-10W-*EM-#	10W, 494 Lumens, Battery Backup
OMEL-20W-*#	20W, 742 Lumens, AC Only
OMEL-20W-*EM-#	20W, 988 Lumens, Battery Backup

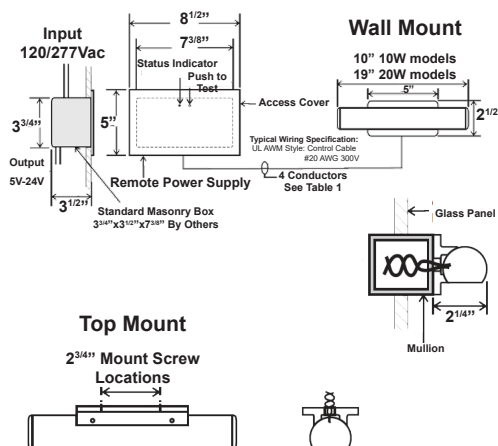
\*Specify Mounting; C-Ceiling Mount, W-Wall Mount  
 #Specify Color; WH-White; BA-Brushed Aluminum; BZ-Bronze, BK-Black

**OPTIONS (Factory Installed)**

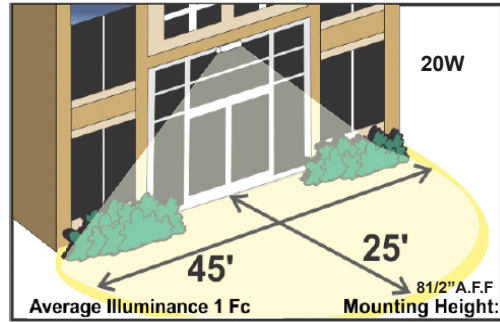
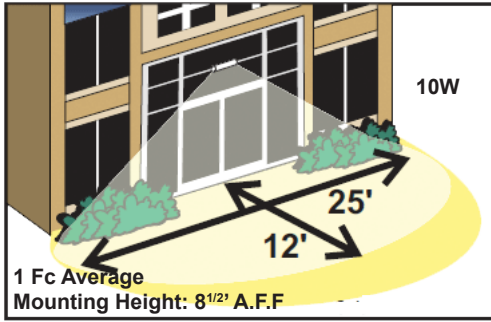
EM120	- 2 Hour Emergency Operation (replaces EM in part number)
SD	- Self Diagnostics (EM Models Only)
SW120	- Security Lighting with Control Switch-120V (Standard EM Models)
SW277	- Security Lighting with Control Switch-277V (Standard EM Models)
SW-SD	- Security Lighting with Control Switch for EM-SD models (120/277V)
2AC120	- Dual AC Output - 120V
2AC277	- Dual AC Output - 277V
CW1	- Custom Window Filter - 3800K
CW2	- Custom Window Filter - 3200K
CW3	- Custom Window Filter - 2900K
CPY1	- Canopy - 2" Height
CPY2	- Canopy - 5" Height
CC	- Custom Housing Color



**OMEL**  
**Mullion Mount LED**  
**AC/EM Unit**



## SPACING GUIDELINES



Model #	Mounting Height (ft)	3' Wide Egress Path	6' Wide Egress Path	10' Wide Egress Path
OMEL-10W	8'	25'	25'	25'

## SELF DIAGNOSTICS

STATUS	LED DISPLAY
NORMAL FULL CHARGE	● GREEN ON
NORMAL FAST CHARGE	● ORANGE ON
FAILED BATTERY	●● RED FLASH FAST
FAILED LAMP	●● GREEN FLASH
FAILED TRANSFER	●● ORANGE FLASH
FAILED CHARGER	●● RED FLASH SLOW



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** James Belt and Bart Gardner; *Gardner Construction*  
**CASE NUMBER:** SP2023-037; *Site Plan for Arms of America*

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### SUMMARY

Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a Site Plan for a *Light Industrial Building* on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.

### BACKGROUND

According to the Rockwall Central Appraisal District (RCAD) there is an 8,900 SF utility building on the subject property that was constructed in 1970. The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-28 [Case No. A1974-008]*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District and Commercial (C) District at some point between September 16, 1974 and May 16, 1983. On April 18, 1983, the City Council approved two (2) final plats that established portions of the subject property as Lots 1 & 2, Block A, Eastplex Inc. Park #2 Addition.

### PURPOSE

On October 20, 2023, the applicant -- *James Belt and Bart Gardner of Gardner Construction* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a light industrial building on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of the IH-30 Frontage Road and Enterprise Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 25.7125-acre tract of land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District. Beyond this is Justin Road, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is E. Interstate 30 [IH-30]. Beyond this is an 8.6860-acre parcel of land (*i.e. Lot 1 Block 1, Honda of Rockwall Addition*) developed with a *Car Dealership (i.e. Rockwall Honda)*, zoned Commercial (C) District.

East: Directly east of the subject property is a vacant 25.7125-acre tract of land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District. Beyond this is S. John King Boulevard, which is classified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant

18.175-acre tract of land (i.e. *Tract 3-5 of the J. Lockhart Survey, Abstract No. 134*), zoned Light Industrial (LI) District and Commercial (C) District.

West: Directly west of the subject property is a vacant 37.487-acre tract of land (i.e. *Tract 3 of the A. Hanna Survey, Abstract No. 99*) and several properties developed with commercial and light industrial land uses (i.e. *House of Worship, Office/Warehouse, and Car Dealership*). All of these properties are zoned Light Industrial (LI) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is permitted by-right in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the item(s) noted in the *VariANCES and EXCEPTIONS Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=6.58-acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 200-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=369.32-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=29.75-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=10.07%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/1000 SF (Warehouse)	X=28; In Conformance
	1 Parking Space/300SF (Office)	
	24 Required Parking Spaces	
<i>Minimum Landscaping Percentage</i>	15%	X>15%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X<90%; In Conformance

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses... Limitations have been placed on the uses in this district to significantly restrict outside activities and the storage of materials, noise, vibration, smoke, pollution, fire and explosive hazards, glare and any other potentially adverse externalities.” In this case, the applicant is proposing *Office/Warehouse Building*. In order to conform with the requirements of the *General Overlay District Standards* and the *General Industrial District Standards*, the applicant has indicated all work shall be done within the proposed building, there shall be no outside storage, and landscaping screening is provided in order to screen the bay doors. Based on staff’s review of the applicant’s project compared to the City’s codes, the request does appear to meet the City’s requirements with the exception of the variance(s) and exception(s) being requested as outlined in the *VariANCES and EXCEPTIONS Requested by the Applicant* section of this case memo.

**VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variances and exception:

- (1) Architectural Standards.
  - (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the proposed building does not meet the primary articulation requirements on all sides of the building. More specifically, the wall length

requirements are not met. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (b) Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades.” In this case the applicant has not met the 20.00% natural or quarried stone requirement. This will require a *variance* from the Planning and Zoning Commission.
- (c) Secondary Materials. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) maximum of 10% Secondary Materials...” may be used on each building façade. In this case the applicant has exceed the 10.00% secondary material requirement. This will require a *variance* from the Planning and Zoning Commission.
- (d) Roof Design Standards. According to Section 05.01(A), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides. In this case, the applicant is proposing a pitched roof with a slope of 3:12. This will require an *exception* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] a shrub row along the west and north sides of the proposed building, and [2] continuing the stone wainscot along the east side of the proposed building. Staff should note that the Architectural Review Board (ARB) asked for compensatory measure #2 in order to bring the proposed building closer into conformance with the Unified Development Code (UDC), so this measure is not truly compensatory in nature. That being said, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the IH-30 Corridor District. The IH-30 Corridor District is “approximately 55% developed, with the remaining 45% being vacant or raw land”. In this case the applicant is requesting to develop raw land that is identified as an opportunity zone within the IH-30 Corridor District, which is defined as land that is “...strategically placed or underutilized...that could be developed...with the highest and best use for the corridor.” In this case, the Future Land Use Map identifies the subject property for *Special Commercial Corridor* land uses, which does not include industrial land uses; however, the subject property is already zoned for Light Industrial (LI) District land uses. This means that while the proposed development does not conform to the OURHometown Vision 2040 Comprehensive Plan’s Future Land Use Map, the property’s zoning designation allows this development *by-right*. That being said, the proposed *Office/Warehouse Building* does not appear to be inconsistent or negatively impact the adjacent properties.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant to continue the stone wainscot along the east elevation. The applicant has made the requested change, which will be reviewed by the ARB prior to the November 14, 2023 meeting.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of *Light Industrial Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) A photometric plan that conforms to the Unified Development Code (UDC) must be submit before Civil Engineering plans may be submit for review; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

SP2023-037

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1601 WINTERSTATE 30, ROCKWALL, TEXAS 75087

SUBDIVISION J LOCKHART

LOT A0134 BLOCK 3-2

GENERAL LOCATION JOHN KING 1/4 1-30 (NW CORNER)

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C2

CURRENT USE VACANT

PROPOSED ZONING C2

PROPOSED USE

ACREAGE 6.5

LOTS [CURRENT] 5

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER C2LA, LLC

APPLICANT GARDNER CONSTRUCTION

CONTACT PERSON CORBY FLECK

CONTACT PERSON BART GARDNER/JAMES BELT

ADDRESS 382 RANCH TRAIL

ADDRESS 15950 STATE HIGHWAY 205

CITY, STATE & ZIP ROCKWALL TX 75032

CITY, STATE & ZIP TERNELL TX 75160

PHONE 469-338-0262

PHONE 214-675-4435

E-MAIL CORY@ARASOFAMERICA.COM

E-MAIL BART@GARDNER-CONSTRUCTION.COM

## NOTARY VERIFICATION [REQUIRED]

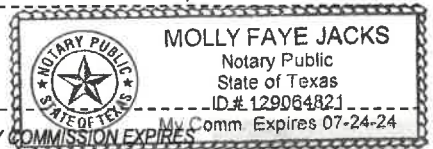
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Belt [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

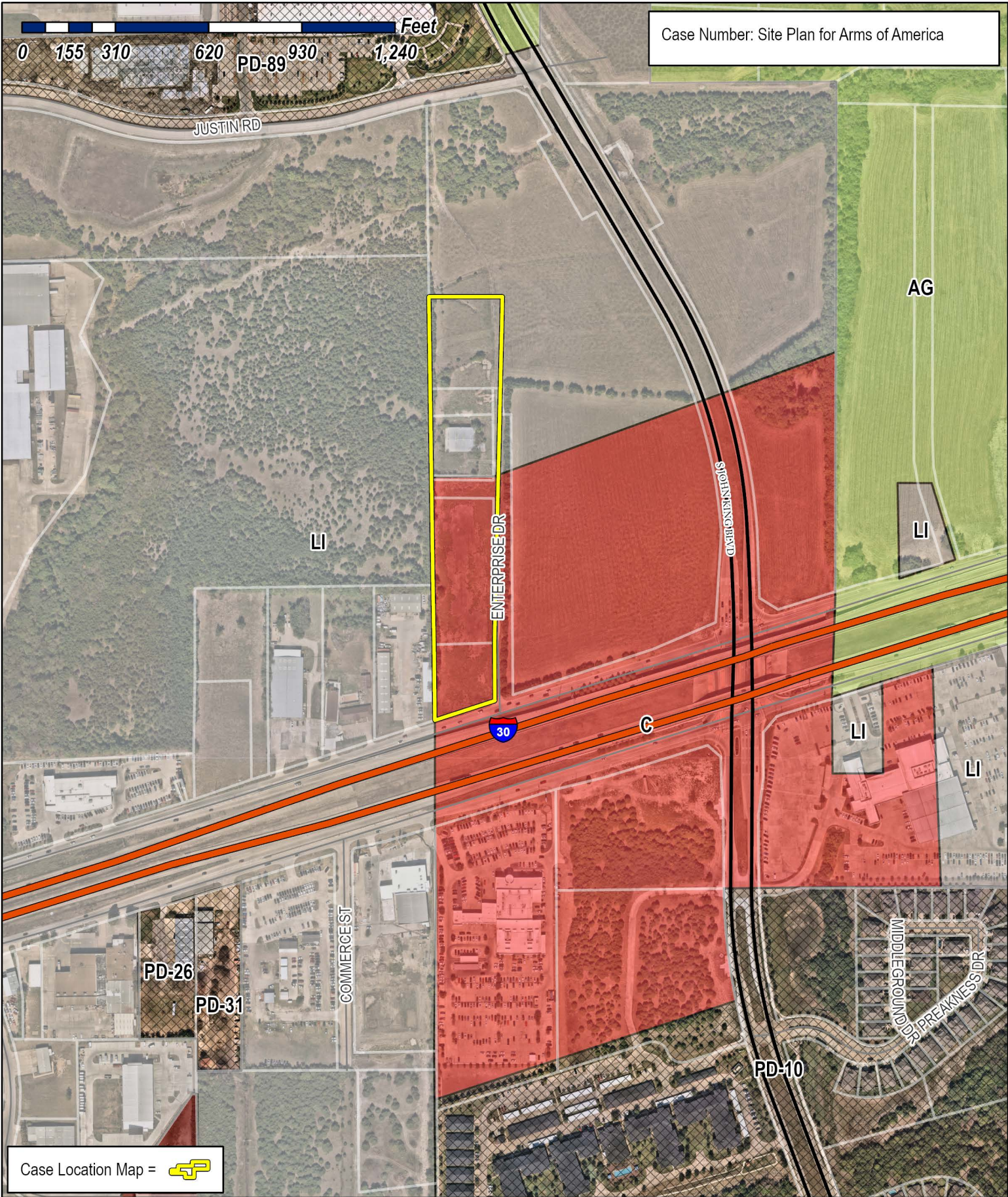
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 26 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 26 DAY OF Sept, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 26 DAY OF Sept, 2023


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Number: Site Plan for Arms of America

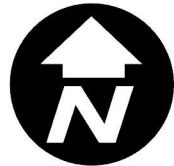
Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DATE: 11/7/2023

PROJECT NUMBER: SP2023-037  
PROJECT NAME: Site Plan for Arms of America  
SITE ADDRESS/LOCATIONS: 1601 E INTERSTATE 30



VARIANCE LETTER/REQUEST

Mr. Lee,

Thank you for your assistance concerning the Arms of America development located at 1601 E Interstate 30. The following exception(s) & variance(s) are requested:

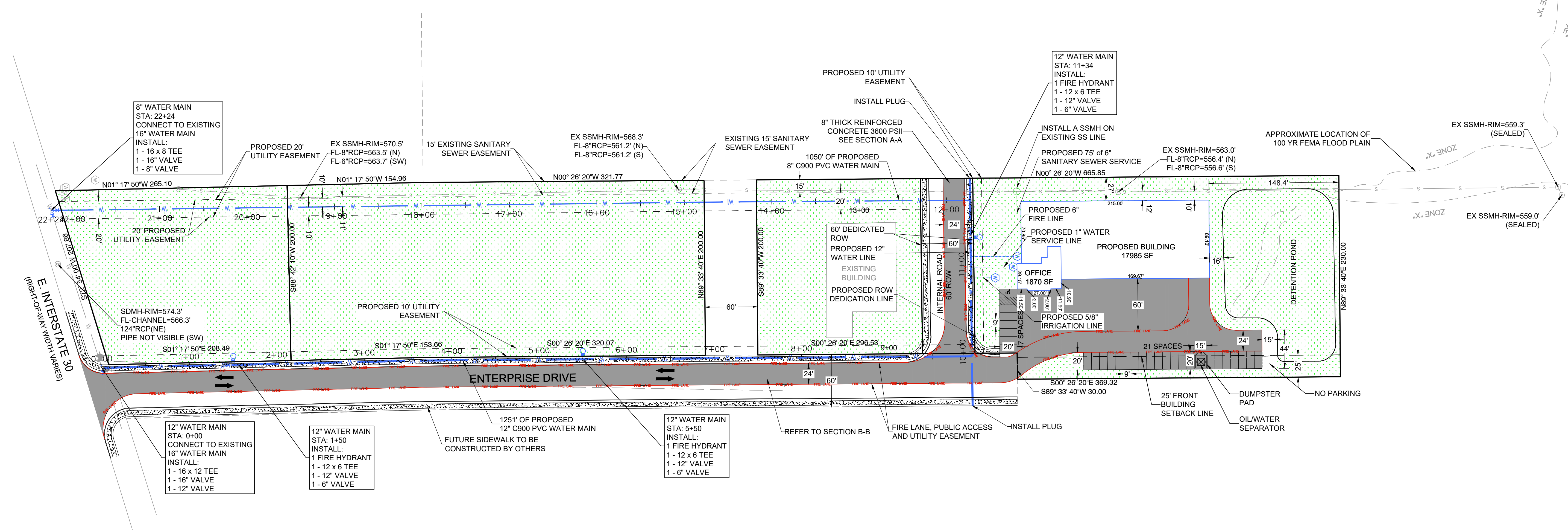
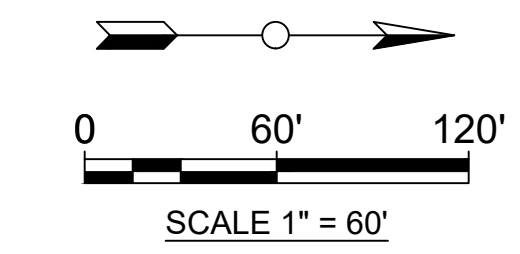
- [1] 20% stone
- [2] 90% masonry material
- [3] primary articulation
- [4] roof pitch

Per the Unified Development Code (Subsection 09.01, of Article 11), the following compensatory measures will be utilized:

- [1] providing a row of landscaping, composed of evergreen shrubs and accent trees, along the west and north sides of the proposed building
- [2] continue the stone wainscot along the east side of the building

Thank you,

James Belt  
Gardner Construction  
214.478.0240

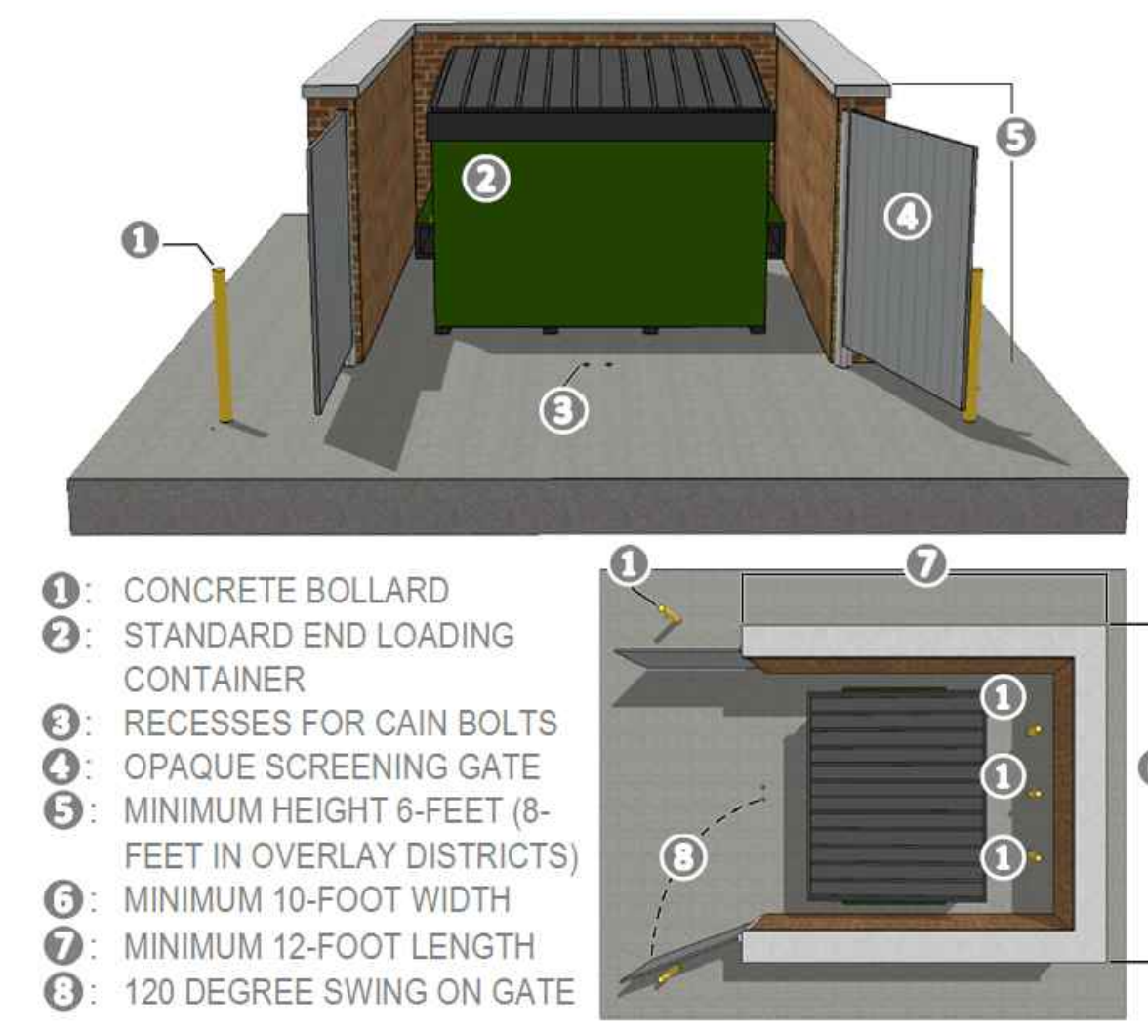
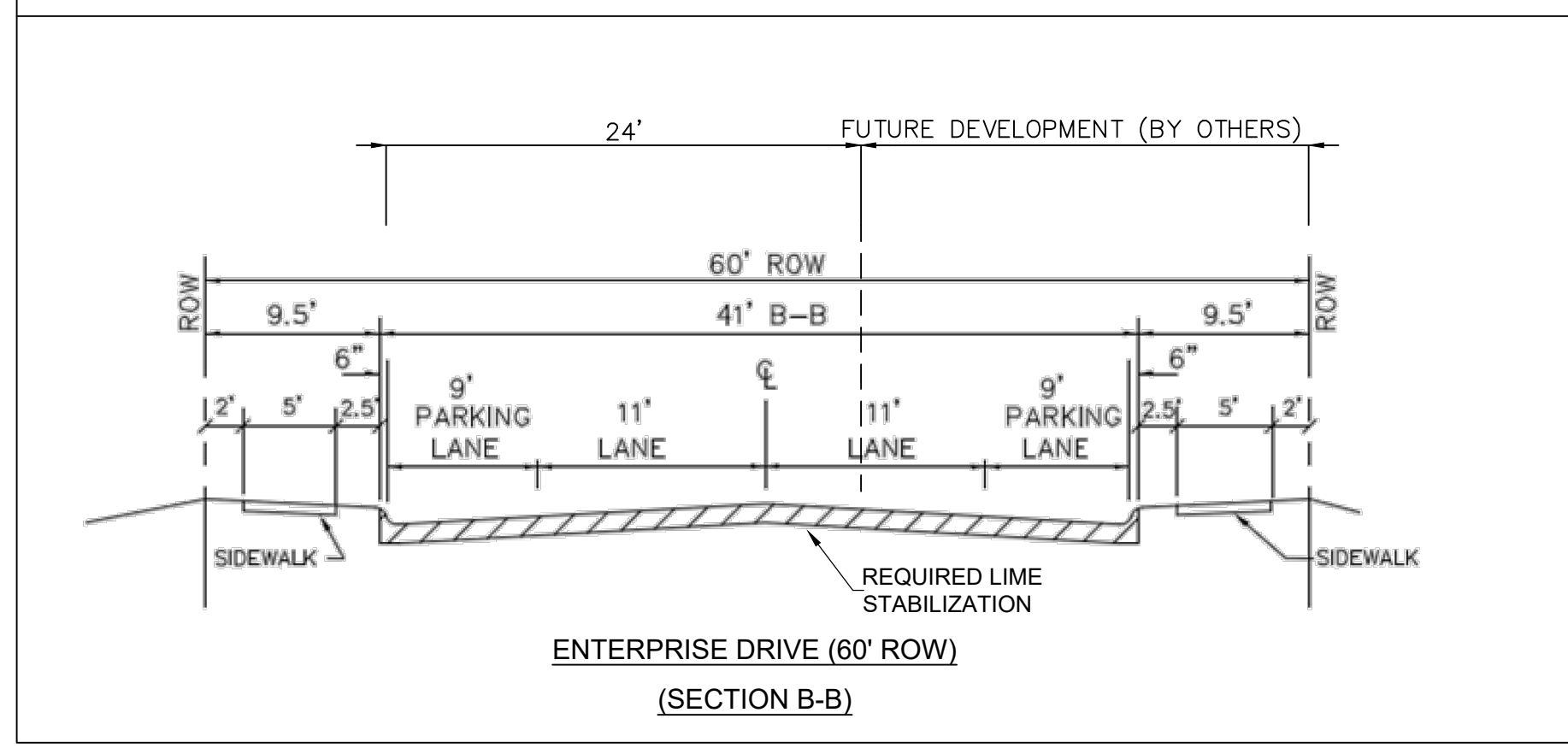
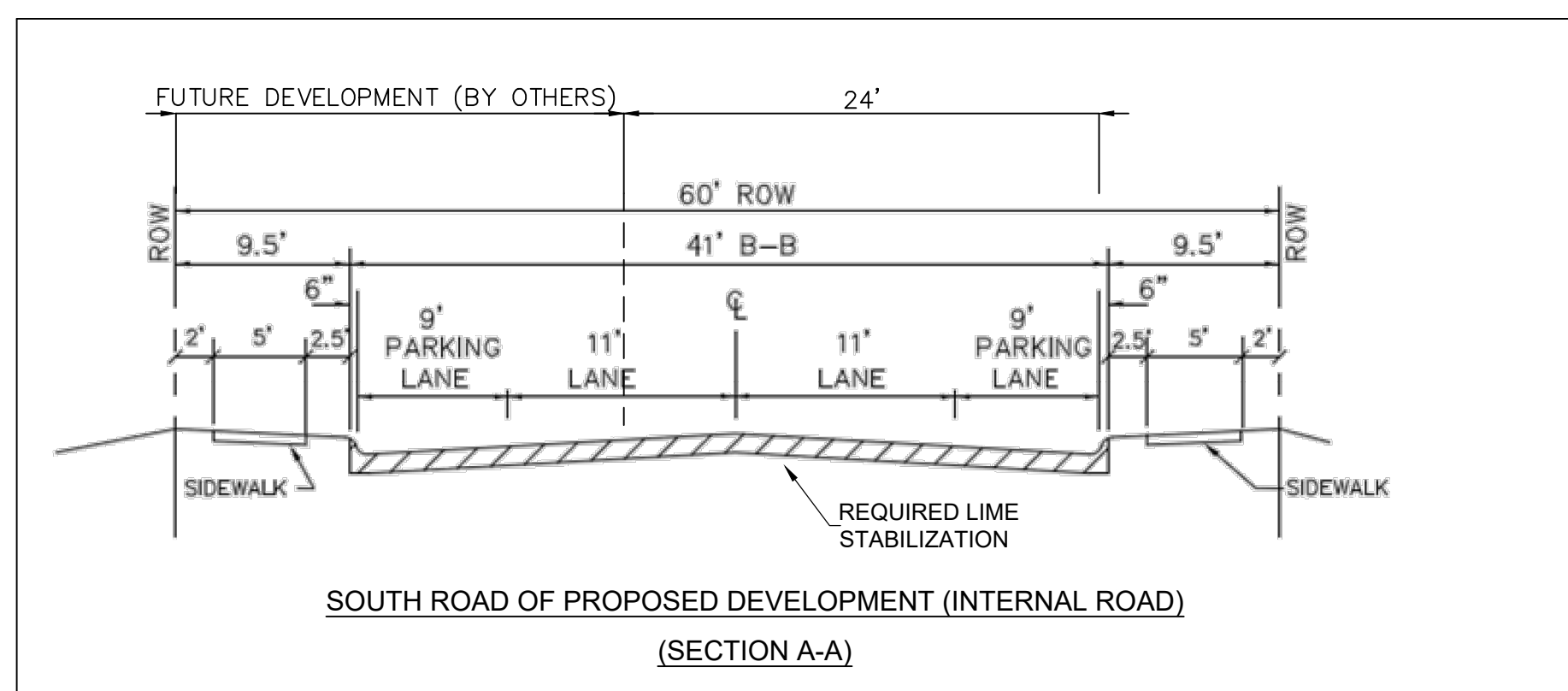
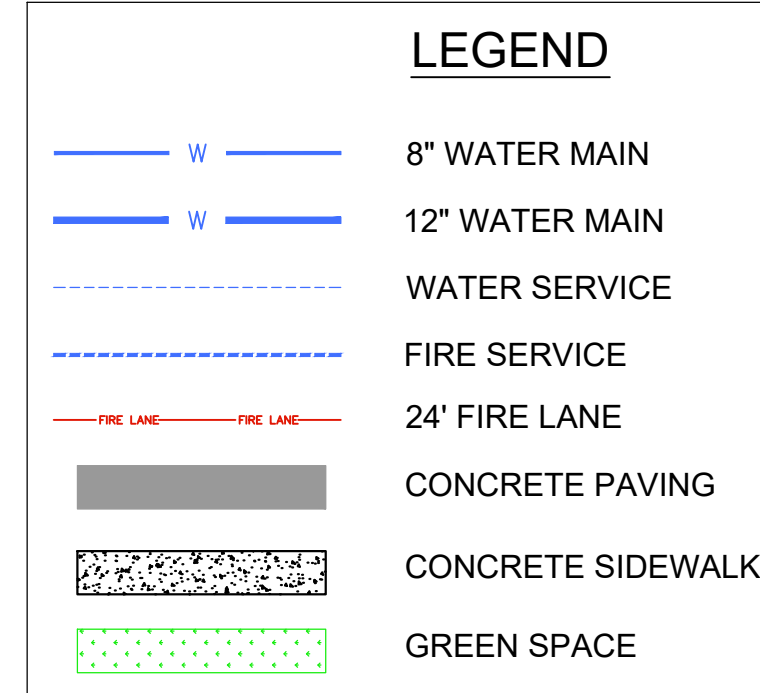


**PRIVATE UTILITY NOTE:**  
 \*ALL WASTEWATER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.\*

**SITE DATA:**  
 TOTAL SITE AREA = 6.58 AC/ 2,86,656 SF  
 TOTAL GREEN SPACE / LANDSCAPE AREA = 5.14 AC  
 NO. OF PROPOSED BUILDINGS = 1  
 PARKING DIMENSIONS = 9' X 20'

- NOTES:**
- CONTRACTOR SHALL FIELD LOCATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - ONLY VISUALLY APPARENT UTILITIES SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ANY UNDERGROUND UTILITY PROVIDERS THAT EXISTS IN THE AREA.
  - WATER AND SANITARY SEWER LINES SHALL MAINTAIN A MINIMUM OF 10' SEPARATION.
  - CONTRACTOR TO COORDINATE WITH THE PROPERTY OWNER WHEN REPLACING THE CONCRETE DRIVE TO NOT TO INTERRUPT TRAFFIC FLOW TO/FROM THE LOT.
  - NO STRUCTURES MAY BE PLACED WITHIN THE 15' SANITARY SEWER EASEMENT.
  - THERE SHALL NOT BE ANY OUTSIDE STORAGE. AS OUTSIDE STORAGE IS NOT PERMITTED WITHIN THE IH-30 OVERLAY DISTRICT.
  - ALL NEW PAVING TO BE REINFORCED CONCRETE.
  - PAVING THICKNESS SHOWN IN PLANS IS FOR INFORMATION PURPOSE ONLY. THE OWNER IS RESPONSIBLE FOR CONTACTING A GEOTECH ENGINEER FOR ALL SOIL RELATED WORKS SUCH AS PAVING, FOUNDATION, EARTHWORK, AND RETAINING WALLS.

WAREHOUSE AND OFFICE PARKING CALCULATIONS					
No. OF BUILDING	TOTAL FLOOR AREA (SF)	BUILDING TYPE	PARKING CRITERIA	PARKING REQUIRED	PARKING PROVIDED
1	17985	WAREHOUSE WITH INSIDE STORAGE	1\1000 SF	18	20
1	1870	OFFICES	1\300 SF	6	7
HANDICAPPED PARKING SPACES			1/25 SPACES		1
TOTAL PARKING SPACES				24	28



**NOTE:**  
 SOLID MASONRY DUMPSTER ENCLOSURE TO UTILIZES THE SAME MASONRY MATERIALS AS THE PRIMARY BUILDING AND INCORPORATES AN OPAQUE, SELF-LATCHING GATE. THE ENCLOSURE MUST BE SURROUNDED IN 5-GALLON EVERGREEN SHRUBS.

**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.  
 WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_



SITE PLAN.dwg

SITE PLAN

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**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Naves*

NAVEEN KHAMMAMPATI 123697  
 NAME P.E. NO.

DATE 10/31/2023  
 TBPE FIRM #F22283

**NOT FOR CONSTRUCTION**

No.	Revision/Issue	Date

---

Firm Name and Address

TURNKEY TRACT  
 2770 MAIN ST #171  
 FRISCO, TX 75033  
 F-22283  
 nkcivilengineer4@gmail.com  
 214-483-1599

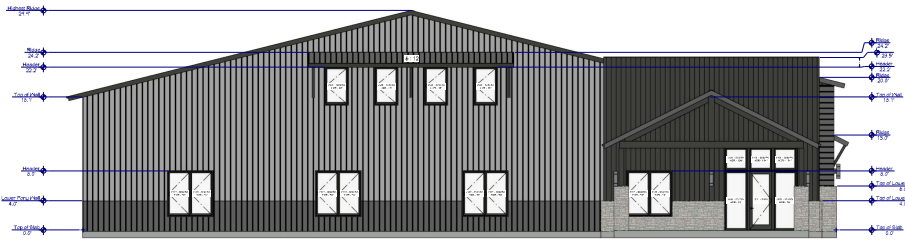
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Project Name and Address

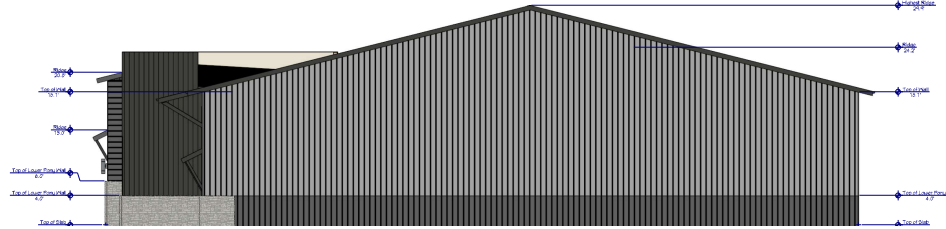
1601 E INTERSTATE 30  
 ROCKWALL, TEXAS 75087  
**SP2023-037**

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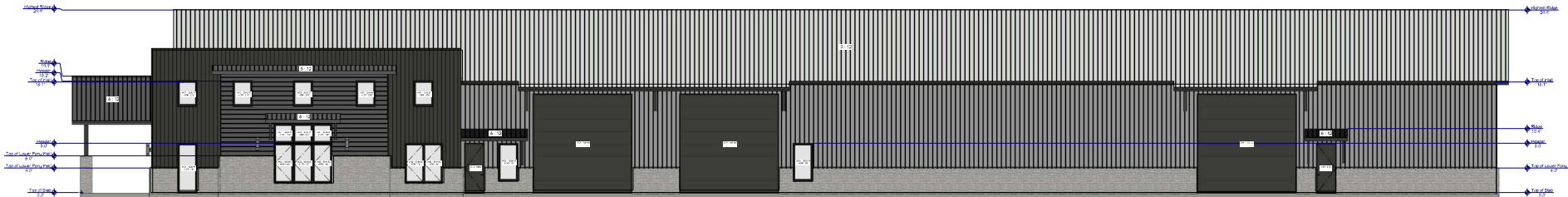
Project	Sheet
Date 10/31/2023	01
Scale	01



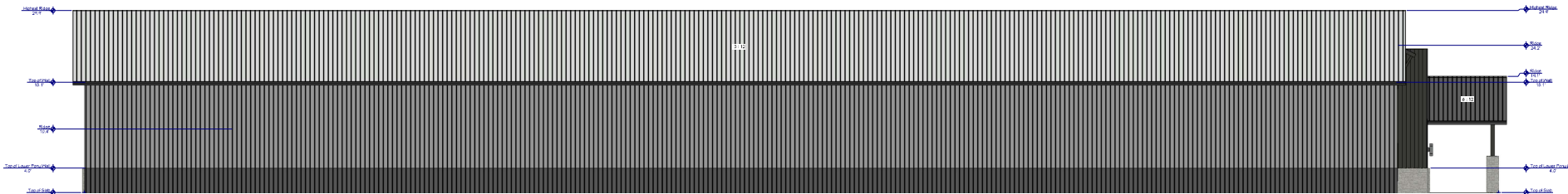
**Exterior Elevation Front**  
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
 95% METAL  
 5% STONE



**Exterior Elevation Back**  
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
 96% METAL  
 4% STONE



**Exterior Elevation Right**  
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
 77% METAL  
 23% STONE



**Exterior Elevation Left**  
 ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
 99% METAL  
 1% STONE

SCALE: 1/8" = 1'

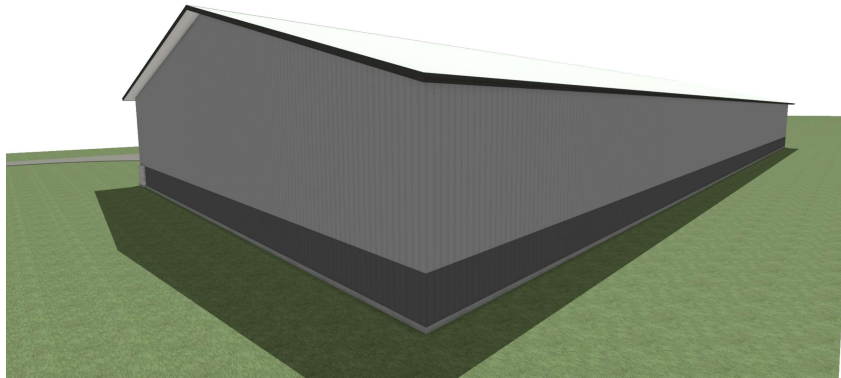
EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL
ACCENT SIDING:	R PANEL
ROOF:	R PANEL
ROOF/ANNINGS:	R PANEL
PORCH POSTS:	8" METAL COLUMNS, BLACK
POST BASES (IF APPLICABLE):	CHOPPED LEUDER POST BASES
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	



FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

**GENERAL NOTES:**

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SHOWN WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A DISCREPANCY EXISTS OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

**BUILDING PERFORMANCE:**

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PURCHASE DESIGNS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE INSTALLED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FDM.

**Layout Page Table**

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	SCHEDULES & STYLE
4	FOUNDATION/ROUGH-IN PLAN
5	ROOF PLAN - 1F
6	FRAMING PLAN - 1F

TOTAL OFFICE HEATED SF:	1853 SF
TOTAL SLAB SF:	20,273 SF (INCLUDES SHEET/STONE LEDGE)
TOTAL PORCHES UNDER ROOF:	317 SF
TOTAL WAREHOUSE:	18,103 SF
TOTAL UNDER ROOF SF:	20,273 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	11/12/2021	AJH	INITIAL PLAN DEVELOPMENT
REV 03	10/2/2023	AJH	BUILDING & SITE PLAN UPDATES
REV 04	10/31/2023	AJH	ADD STONE PONY WALL TO RIGHT EL WALL. REMOVED SIGNAGE

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST  
 -2D ELECTRONIC CAD FILE AVAILABLE (LOW), 2D/3D UPON REQUEST  
 -PLEASE REQUEST EITHER HOMEOWNER OR VA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafts/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not be held responsible against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS SPECS, LOCAL CODES/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:  
 ELECTRICAL SYSTEM CODE: SEC.2701  
 MECHANICAL SYSTEM CODE: SEC.2801  
 PLUMBING SYSTEM CODE: SEC.2901  
 (CONSULT LOCALITY BUILDING REQUIREMENTS)

REV 04

HOME DESIGNED BY:  
 AARON HAMILTON  
 ABIDE HOME DESIGNS  
 ROYSE CITY, TX / 972-593-0454  
 AARON@ABIDEHOMEDESIGNS.COM

PROJECT  
 OVERVIEW

ARMS OF AMERICA  
 ENTERPRISE DR  
 ROCKWALL, TX



DATE:

10/31/2023

SCALE:

1/8"=1'

SHEET:

1



11-9-23

Project Name  
**Arms of America**  
Rockwall, TX

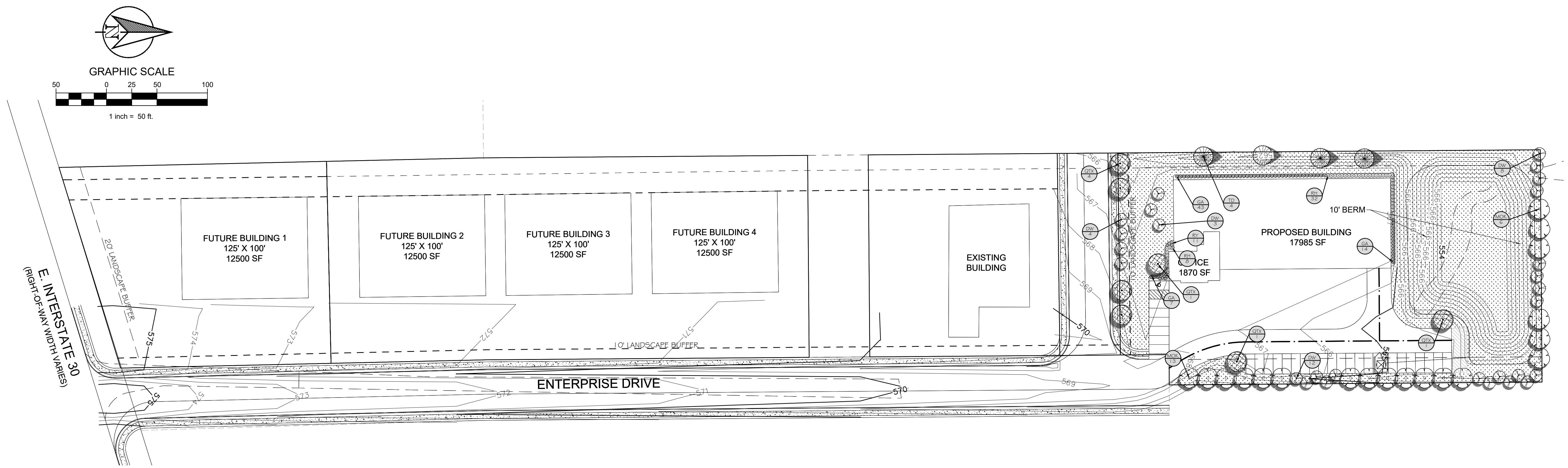
LANDSCAPE  
PLANTING

Date	Comment

Project Number  
Date  
Drawn By  
Checked By

**LP-1**

SP2023-037



**PLANT SCHEDULE**

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	DW	Desert Willow / <i>Chilopsis linearis</i> min. 4' ht; buffer tree	CONT.	PER HT.	23
	MOK	Monterey Oak / <i>Quercus polymorpha</i> 'Monterey' min. 1.4' ht; mitigation tree	CONT.	4"Cal	19
	QTX	Shumard Oak / <i>Quercus shumardii</i> mitigation tree	CONT.	4"Cal	3
	TD	Bald Cypress / <i>Taxodium distichum</i> min. 6' ht.; street tree	CONT.	4"Cal	4
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	GA	Glossy Abelia / <i>Abelia grandiflora</i> 36" o.c.	5 gal	64	
	RY	Red Yucca / <i>Hesperaloe parviflora</i> 30" o.c.	5 gal	11	
	RH	Indian Hawthorn / <i>Raphiolepis indica</i> 'Snow' 36" o.c.	5 gal	40	
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	CD	Bermuda Grass / <i>Cynodon dactylon</i> 'tif 419'	sod	45,938 sf	

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- APPLY HYDROMULCH FOR ALL DISTURBED LANDSCAPE AREAS OUTSIDE PROPERTY LIMITS.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**LANDSCAPE STANDARDS**

<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b>	
ENTERPRISE DR.: #365' STREET FRONTAGE	20' WIDE BUFFER REQ. W/ 3 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN. 13 CANOPY TREES; 12 ACCENT TREES, W/ SHRUBS 13 NEW CANOPY TREES; 12 ACCENT TREES
REQUIRED PLANTING: PROVIDED 30' BUFFER:	
WEST PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED COMMERCIAL (C)
<b>05.02 LANDSCAPE SCREENING</b>	
REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS N/A N/A
PROVIDED SCREENING SCREENING FROM RESIDENTIAL	N/A N/A
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b>	
TOTAL SITE AREA:	144,251 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	28,850 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±29,121 SF
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	102,608 SF (17.4%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	±6,400 SF ±320 SF (6,400 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PROPOSED PARKING LOT LANDSCAPING:	±1,200 SF 28 PARKING SPACES / 10 = 28 (3) TREES
TREES PROVIDED:	3 CANOPY TREES

SITE DATA:

TOTAL SITE AREA =	6.58 AC / 2,86,656 SF
TOTAL GREEN SPACE / LANDSCAPE AREA =	5.14 AC
NO. OF PROPOSED BUILDINGS =	1
PARKING DIMENSIONS =	9' X 20'

**PLANTING AND IRRIGATION GUARANTEE**

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



■ BLUE = NEW FIXTURE  
■ GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED  
■ ORANGE = EXISTING FIXTURE TO REMAIN  
■ TURQUOISE = FIXTURE TO BE REMOVED  
■ PINK = REPLACE WITH NEW POLE AT NEW HEIGHT  
 - - - PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION  
 INDICATES NEW SECURITY FENCE  
 - - - BURIED ELECTRICAL CIRCUIT



SCALE: 3/64" = 1'-0"  
V2 231107

REVISION NO.	DESCRIPTION	REVISED BY

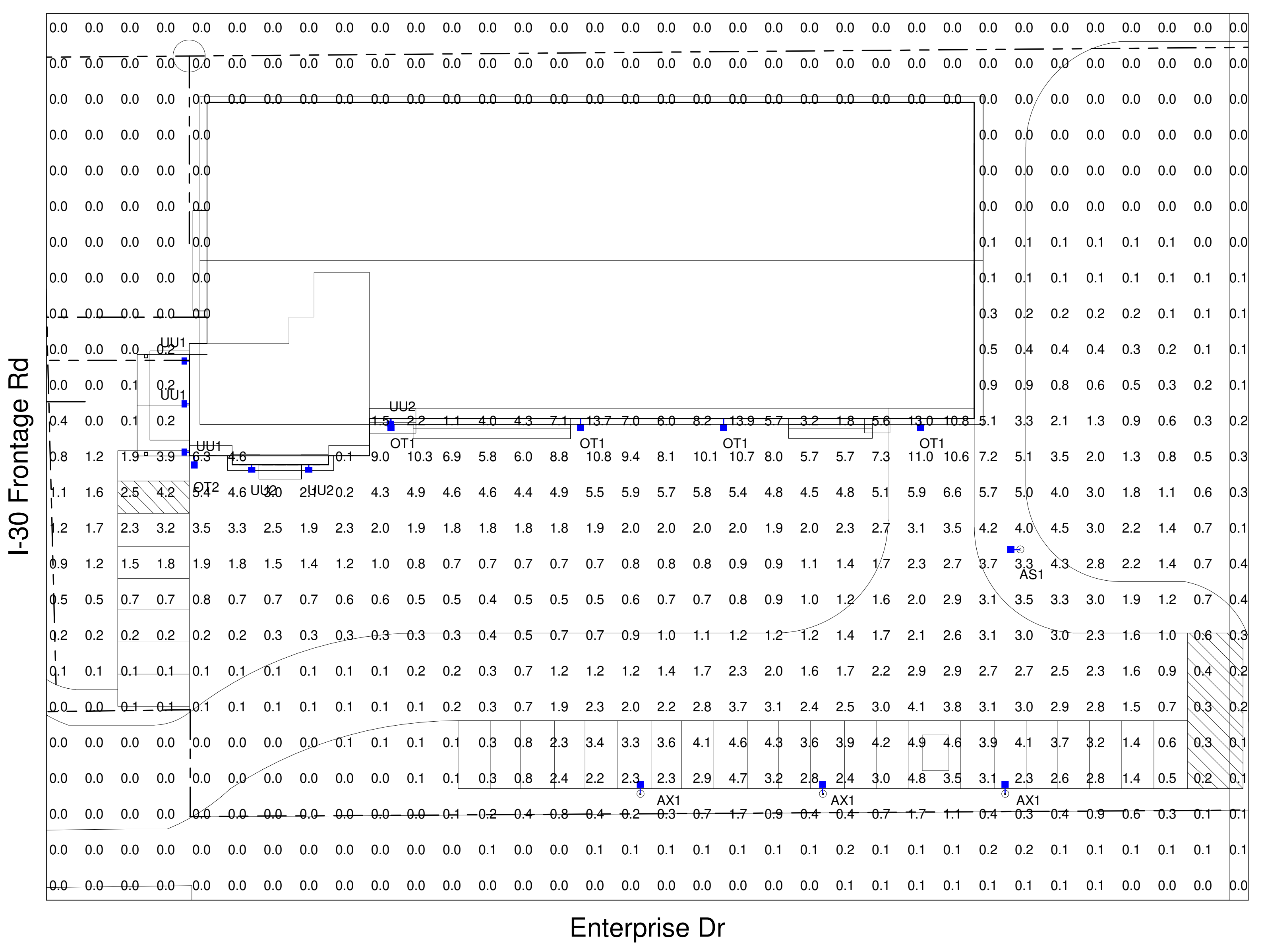


Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

FULL SITE PHOTOMETRICS PLAN

DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM
SHEET NO.:	LU-4		

THIS LIGHTING PLAN ILLUSTRATES ILLUMINATE LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICAN (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.



- NOTES:
1. THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.
  2. ALL PROPOSED LIGHTS WILL BE FULL CUTOFF LED LIGHT FIXTURES.
  3. ALL EXISTING LIGHTS WILL BE REPLACED WITH FULL CUT OFF LED LIGHT FIXTURES.
  4. REFERENCE THE LUMINAIRE SCHEDULE (SHEET LU-2) FOR ADDITIONAL LIGHT FIXTURE INFORMATION.

CALCULATION SUMMARY FULL SITE					
Calculation Points Name	Average	Maximum	Minimum	Ave/Min	Max/Min
FULL SITE @ GRADE	1.3 fc	13.9 fc	0.0 fc	0.0 fc	0.0 fc
PARKING LOT @ 60" V	1.8 fc	13.9 fc	0.1 fc	12.5 fc	94.6 fc
PARKING LOT @ GRADE	2.5 fc	12.0 fc	0.0 fc	0.0 fc	0.0 fc
PROPERTY LINE @ GRADE	0.1 fc	0.2 fc	0.0 fc	0.0 fc	0.0 fc

# THE EDGE® Series TYPE AS

LED Area/Flood Luminaire

Rev. Date: V11 09/07/2021

## Product Description

THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

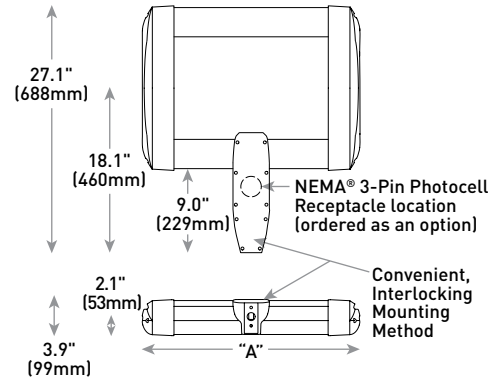
**GC TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING**

## Performance Summary

- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CRI:** Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)
- CCT:** Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard
- Limited Warranty\*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish /1 year on accessories

\*See <http://creelighting.com/warranty> for warranty terms

## DA Mount GC TO SEE NOTES BELOW



## Accessories

Field-Installed	
<b>Bird Spikes</b> XA-BRDSPK	<b>Backlight Control Shields</b> XA-20BLS-4 - Four-pack - Unpainted stainless steel
<b>Hand-Held Remote</b> XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	<b>Shorting Cap</b> XA-XLSHRT
	<b>NEMA® 3-Pin Photocell</b> C-ACC-A-PCCELL-NEMA3-LV - On/off functionality only - Available with UL voltage only

**GC TO VERIFY AND SPECIFY IF NOT UL**      **GC TO REFERENCE PLANS FOR COLOR DESIGNATION**

LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions

## Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options			
ARE-EDG	2M Type II Medium	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial BLS	AA Adjustable Arm	02	E	UL Universal 120-277V	BK Black	350 350mA	DIM 0-10V Dimming - Control by others - Refer to <a href="#">Dimming spec sheet</a> for details - Can't exceed specified drive current - Not available with PML options	PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to <a href="#">PML spec sheet</a> for details - Intended for downlight applications at 0° tilt
	2MB Type II Medium w/BLS	3MP Type III Medium w/Partial BLS	5M Type V Medium	DA Direct Arm	08	10	UH Universal 347-480V	SV Silver	700 700mA	HL Hi/Low (Dual Circuit Input) - Refer to <a href="#">HL spec sheet</a> for details - Sensor not included	30K 3000K Color Temperature - Minimum 80 CRI - Color temperature per luminaire
	2MP Type II Medium w/Partial BLS	4M Type IV Medium	5S Type V Short	DL Direct Long Arm	14	16				PML Programmable Multi-Level, 20-40' Mounting Height - Refer to <a href="#">PML spec sheet</a> for details - Intended for downlight applications at 0° tilt	50K 5000K Color Temperature - Minimum 90 CRI - Color temperature per luminaire
	FLD-EDG	25° Flood	70° Flood	N6 NEMA® 6	AA Adjustable Arm	40					

\* Reference EPA and pole configuration suitability data beginning on page 19



US: [creelighting.com](http://creelighting.com) (800) 236-6800

Canada: [creelighting-canada.com](http://creelighting-canada.com) (800) 473-1234



**Product Specifications**

**CONSTRUCTION & MATERIALS**

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" (60mm) O.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- **Weight:** See Dimensions and Weight Charts on pages 1 and 22

**ELECTRICAL SYSTEM**

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

**REGULATORY & VOLUNTARY QUALIFICATIONS**

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – [www.p65warnings.ca.gov](http://www.p65warnings.ca.gov)

Electrical Data*								
LED Count (x10)	CCT	System Watts 120-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
<b>350mA</b>								
02	30K/40K/50K/57K	25	0.21	0.13	0.11	0.10	0.08	0.07
	TRL	19	0.16	0.09	0.08	0.07	0.05	0.04
04	30K/40K/50K/57K	46	0.36	0.23	0.21	0.20	0.15	0.12
	TRL	35	0.29	0.17	0.15	0.13	0.10	0.07
06	30K/40K/50K/57K	66	0.52	0.31	0.28	0.26	0.20	0.15
	TRL	50	0.41	0.24	0.21	0.18	0.14	0.10
08	30K/40K/50K/57K	90	0.75	0.44	0.38	0.34	0.26	0.20
	TRL	68	0.57	0.33	0.28	0.25	0.20	0.14
10	30K/40K/50K/57K	110	0.92	0.53	0.47	0.41	0.32	0.24
	TRL	83	0.69	0.40	0.35	0.30	0.24	0.17
12	30K/40K/50K/57K	130	1.10	0.63	0.55	0.48	0.38	0.28
	TRL	99	0.82	0.48	0.41	0.36	0.28	0.21
14	30K/40K/50K/57K	158	1.32	0.77	0.68	0.62	0.47	0.35
	TRL	120	1.00	0.58	0.50	0.43	0.34	0.25
16	30K/40K/50K/57K	179	1.49	0.87	0.77	0.68	0.53	0.39
	TRL	136	1.13	0.65	0.57	0.49	0.39	0.28
<b>525mA</b>								
02	30K/40K/50K/57K	37	0.30	0.19	0.17	0.16	0.12	0.10
04	30K/40K/50K/57K	70	0.58	0.34	0.31	0.28	0.21	0.16
06	30K/40K/50K/57K	101	0.84	0.49	0.43	0.38	0.30	0.22
08	30K/40K/50K/57K	133	1.13	0.66	0.58	0.51	0.39	0.28
10	30K/40K/50K/57K	171	1.43	0.83	0.74	0.66	0.50	0.38
12	30K/40K/50K/57K	202	1.69	0.98	0.86	0.77	0.59	0.44
14	30K/40K/50K/57K	232	1.94	1.12	0.98	0.87	0.68	0.50
16	30K/40K/50K/57K	263	2.21	1.27	1.11	0.97	0.77	0.56
<b>700mA</b>								
02	30K/40K/50K/57K	50	0.41	0.25	0.22	0.20	0.15	0.12
04	30K/40K/50K/57K	93	0.78	0.46	0.40	0.36	0.27	0.20
06	30K/40K/50K/57K	134	1.14	0.65	0.57	0.50	0.39	0.29

\* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

**THE EDGE® Series Ambient Adjusted Lumen Maintenance<sup>1</sup>**

Ambient	CCT	Initial LMF	25K hr Reported <sup>2</sup> LMF	50K hr Reported <sup>2</sup> LMF	75K hr Reported <sup>2</sup> / Estimated <sup>3</sup> LMF	100K hr Reported <sup>3</sup> / Estimated <sup>3</sup> LMF
5°C (41°F)	30K/40K/50K/57K	1.04	1.03	1.03	1.03 <sup>2</sup>	1.03
	TRL	1.06	1.06	1.06	1.06 <sup>3</sup>	1.06
10°C (50°F)	30K/40K/50K/57K	1.03	1.02	1.02	1.02 <sup>2</sup>	1.02
	TRL	1.04	1.04	1.04	1.04 <sup>3</sup>	1.04
15°C (59°F)	30K/40K/50K/57K	1.02	1.01	1.01	1.01 <sup>2</sup>	1.01
	TRL	1.03	1.03	1.03	1.03 <sup>3</sup>	1.03
20°C (68°F)	30K/40K/50K/57K	1.01	0.99	0.99	0.99 <sup>2</sup>	0.99
	TRL	1.01	1.01	1.01	1.01 <sup>3</sup>	1.01
25°C (77°F)	30K/40K/50K/57K	1.00	0.98	0.98	0.98 <sup>2</sup>	0.98
	TRL	1.00	1.00	1.00	1.00 <sup>3</sup>	1.00

<sup>1</sup> Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

<sup>2</sup> In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

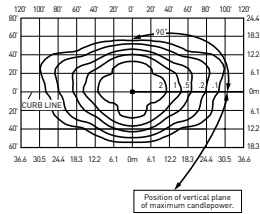
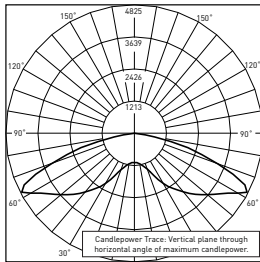
<sup>3</sup> Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.



**Photometry**

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**2M**



RESTL Test Report #: PL10270-004B  
 ARE-EDG-2M-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 10,053

ARE-EDG-2M-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 17,504  
 Initial FC at grade

Type II Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11
<b>350mA</b>										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G0
04	4,143	B2 U0 G1	5,003	B2 U0 G2	3,803	B1 U0 G1	5,102	B2 U0 G2	1,633	B1 U0 G1
06	6,144	B2 U0 G2	7,418	B2 U0 G2	5,640	B2 U0 G2	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B3 U0 G3	7,519	B2 U0 G2	10,087	B3 U0 G3	3,228	B1 U0 G1
10	10,215	B3 U0 G3	12,334	B3 U0 G3	9,377	B3 U0 G3	12,578	B3 U0 G3	4,025	B2 U0 G1
12	12,258	B3 U0 G3	14,801	B3 U0 G3	11,252	B3 U0 G3	15,094	B3 U0 G3	4,830	B2 U0 G2
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G3	17,498	B3 U0 G3	5,599	B2 U0 G2
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B4 U0 G3	6,399	B2 U0 G2
<b>525mA</b>										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G2	7,099	B2 U0 G2	5,403	B2 U0 G2	7,248	B2 U0 G2		N/A
06	8,729	B3 U0 G3	10,527	B3 U0 G3	8,012	B2 U0 G2	10,748	B3 U0 G3		N/A
08	11,638	B3 U0 G3	14,037	B3 U0 G3	10,683	B3 U0 G3	14,331	B3 U0 G3		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G3	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B4 U0 G4	15,986	B3 U0 G3	21,444	B4 U0 G4		N/A
14	20,189	B4 U0 G3	24,350	B4 U0 G4	18,532	B3 U0 G3	24,860	B4 U0 G4		N/A
16	23,074	B4 U0 G4	27,828	B4 U0 G4	21,179	B4 U0 G4	28,411	B4 U0 G4		N/A
<b>700mA</b>										
02	3,472	B1 U0 G1	4,189	B2 U0 G1	3,187	B1 U0 G1	4,275	B2 U0 G2		N/A
04	6,943	B2 U0 G2	8,379	B2 U0 G2	6,373	B2 U0 G2	8,549	B3 U0 G3		N/A
06	10,296	B3 U0 G3	12,425	B3 U0 G3	9,451	B3 U0 G3	12,678	B3 U0 G3		N/A

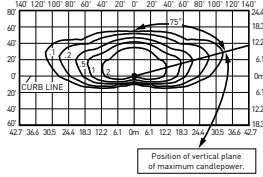
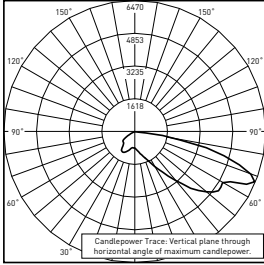
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

THE EDGE® LED Area/Flood Luminaire

Photometry

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2MB



RESTL Test Report #: PL10023-003B  
 ARE-EDG-2MB-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 7,784

ARE-EDG-2MB-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 13,185  
 Initial FC at grade

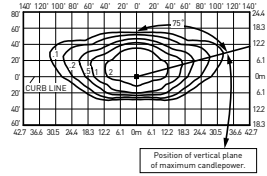
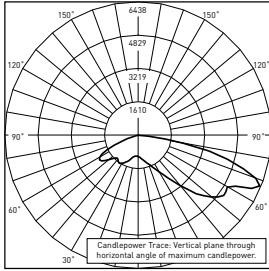
Type II Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B0 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G1	1,824	B0 U0 G1
08	6,170	B1 U0 G1	7,450	B1 U0 G2	5,664	B1 U0 G1	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B0 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B1 U0 G3	11,229	B1 U0 G2	15,063	B1 U0 G3	4,820	B1 U0 G1
<b>525mA</b>										
02	2,217	B0 U0 G1	2,674	B0 U0 G1	2,035	B0 U0 G1	2,730	B0 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G1	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B1 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B1 U0 G3	18,341	B2 U0 G3	13,959	B1 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
<b>700mA</b>										
02	2,615	B0 U0 G1	3,156	B0 U0 G1	2,400	B0 U0 G1	3,220	B0 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

**Photometry**

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**2MP**



**RESTL Test Report #:** PL10097-001B  
**ARE-EDG-2MP-\*\*-06-E-UL-525-40K**  
**Initial Delivered Lumens:** 9,149

**ARE-EDG-2MP-\*\*-10-E-UL-525-40K**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 15,458  
**Initial FC at grade**

Type II Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B0 U0 G1
06	5,426	B1 U0 G1	6,551	B1 U0 G1	4,980	B1 U0 G1	6,681	B1 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G1	8,735	B2 U0 G2	6,640	B1 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B2 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B2 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
<b>525mA</b>										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B1 U0 G1	4,772	B1 U0 G1	6,401	B1 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G1	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B2 U0 G2	11,764	B2 U0 G2	15,782	B2 U0 G2		N/A
12	15,380	B2 U0 G2	18,549	B3 U0 G3	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B2 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
<b>700mA</b>										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B1 U0 G1	7,400	B2 U0 G1	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

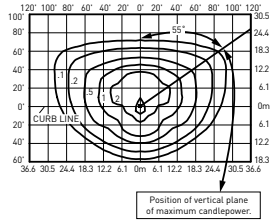
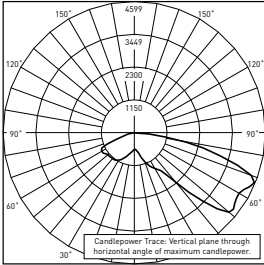
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

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3M



RESTL Test Report #: PL09405-001A  
 ARE-EDG-3M-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 9,460

ARE-EDG-3M-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 16,594  
 Initial FC at grade

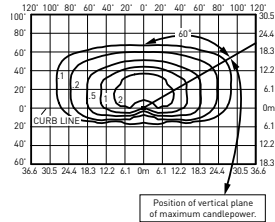
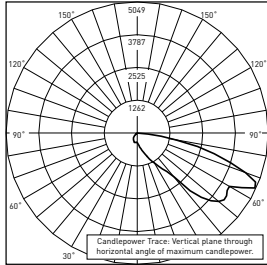
Type III Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,964	B1 U0 G1	2,371	B1 U0 G1	1,803	B1 U0 G1	2,418	B1 U0 G1	774	B0 U0 G1
04	3,928	B1 U0 G1	4,743	B1 U0 G1	3,606	B1 U0 G1	4,837	B1 U0 G1	1,548	B1 U0 G1
06	5,825	B2 U0 G2	7,033	B2 U0 G2	5,347	B2 U0 G2	7,172	B2 U0 G2	2,295	B1 U0 G1
08	7,766	B2 U0 G2	9,377	B2 U0 G2	7,129	B2 U0 G2	9,563	B2 U0 G2	3,060	B1 U0 G1
10	9,685	B2 U0 G2	11,693	B3 U0 G3	8,890	B2 U0 G2	11,925	B3 U0 G3	3,816	B1 U0 G1
12	11,621	B3 U0 G3	14,032	B3 U0 G3	10,667	B3 U0 G3	14,310	B3 U0 G3	4,579	B1 U0 G1
14	13,472	B3 U0 G3	16,267	B3 U0 G3	12,367	B3 U0 G3	16,589	B3 U0 G3	5,309	B2 U0 G2
16	15,397	B3 U0 G3	18,591	B3 U0 G3	14,133	B3 U0 G3	18,959	B3 U0 G3	6,067	B2 U0 G2
<b>525mA</b>										
02	2,790	B1 U0 G1	3,365	B1 U0 G1	2,561	B1 U0 G1	3,436	B1 U0 G1		N/A
04	5,581	B2 U0 G2	6,731	B2 U0 G2	5,122	B2 U0 G2	6,872	B2 U0 G2		N/A
06	8,275	B2 U0 G2	9,981	B3 U0 G3	7,596	B2 U0 G2	10,190	B3 U0 G3		N/A
08	11,034	B3 U0 G3	13,307	B3 U0 G3	10,128	B3 U0 G3	13,586	B3 U0 G3		N/A
10	13,759	B3 U0 G3	16,594	B3 U0 G3	12,630	B3 U0 G3	16,942	B3 U0 G3		N/A
12	16,511	B3 U0 G3	19,913	B3 U0 G3	15,155	B3 U0 G3	20,330	B3 U0 G3		N/A
14	19,141	B3 U0 G3	23,085	B3 U0 G3	17,569	B3 U0 G3	23,569	B3 U0 G3		N/A
16	21,875	B3 U0 G3	26,383	B4 U0 G4	20,079	B3 U0 G3	26,936	B4 U0 G4		N/A
<b>700mA</b>										
02	3,291	B1 U0 G1	3,972	B1 U0 G1	3,021	B1 U0 G1	4,053	B1 U0 G1		N/A
04	6,582	B2 U0 G2	7,944	B2 U0 G2	6,042	B2 U0 G2	8,105	B2 U0 G2		N/A
06	9,761	B2 U0 G2	11,779	B3 U0 G3	8,960	B2 U0 G2	12,019	B3 U0 G3		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

**Photometry**

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**3MB**



RESTL Test Report #: PL10023-001B  
 ARE-EDG-3MB-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 7,602

ARE-EDG-3MB-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 12,275  
 Initial FC at grade

Type III Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,453	B0 U0 G1	1,754	B0 U0 G1	1,334	B0 U0 G1	1,789	B0 U0 G1	572	B0 U0 G0
04	2,906	B0 U0 G1	3,508	B1 U0 G1	2,667	B0 U0 G1	3,578	B1 U0 G1	1,145	B0 U0 G1
06	4,309	B1 U0 G1	5,202	B1 U0 G1	3,955	B1 U0 G1	5,305	B1 U0 G1	1,698	B0 U0 G1
08	5,745	B1 U0 G2	6,936	B1 U0 G2	5,273	B1 U0 G1	7,074	B1 U0 G2	2,264	B0 U0 G1
10	7,164	B1 U0 G2	8,650	B1 U0 G2	6,576	B1 U0 G2	8,821	B1 U0 G2	2,823	B0 U0 G1
12	8,597	B1 U0 G2	10,380	B1 U0 G2	7,891	B1 U0 G2	10,585	B1 U0 G2	3,387	B1 U0 G1
14	9,966	B1 U0 G2	12,033	B1 U0 G2	9,148	B1 U0 G2	12,272	B1 U0 G2	3,927	B1 U0 G1
16	11,390	B1 U0 G2	13,752	B2 U0 G3	10,455	B1 U0 G2	14,025	B2 U0 G3	4,488	B1 U0 G1
<b>525mA</b>										
02	2,064	B0 U0 G1	2,489	B0 U0 G1	1,895	B0 U0 G1	2,542	B0 U0 G1		N/A
04	4,128	B1 U0 G1	4,979	B1 U0 G1	3,789	B1 U0 G1	5,083	B1 U0 G1		N/A
06	6,121	B1 U0 G2	7,383	B1 U0 G2	5,619	B1 U0 G2	7,538	B1 U0 G2		N/A
08	8,162	B1 U0 G2	9,844	B1 U0 G2	7,492	B1 U0 G2	10,050	B1 U0 G2		N/A
10	10,178	B1 U0 G2	12,275	B1 U0 G2	9,342	B1 U0 G2	12,532	B1 U0 G2		N/A
12	12,213	B1 U0 G2	14,730	B2 U0 G3	11,211	B1 U0 G2	15,039	B2 U0 G3		N/A
14	14,159	B2 U0 G3	17,077	B2 U0 G3	12,996	B1 U0 G2	17,434	B2 U0 G3		N/A
16	16,181	B2 U0 G3	19,516	B2 U0 G3	14,853	B2 U0 G3	19,925	B2 U0 G3		N/A
<b>700mA</b>										
02	2,435	B0 U0 G1	2,938	B1 U0 G1	2,235	B0 U0 G1	2,998	B1 U0 G1		N/A
04	4,869	B1 U0 G1	5,876	B1 U0 G2	4,469	B1 U0 G1	5,996	B1 U0 G2		N/A
06	7,220	B1 U0 G2	8,714	B1 U0 G2	6,628	B1 U0 G2	8,891	B1 U0 G2		N/A

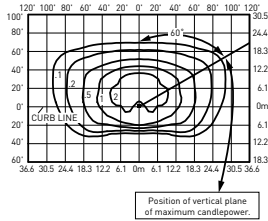
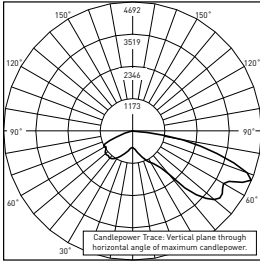
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

**3MP**



**RESL Test Report #:** PL10097-002B  
**ARE-EDG-3MP-\*\*-06-E-UL-525-40K**  
**Initial Delivered Lumens:** 8,670

**ARE-EDG-3MP-\*\*-10-E-UL-525-40K**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 14,548  
 Initial FC at grade

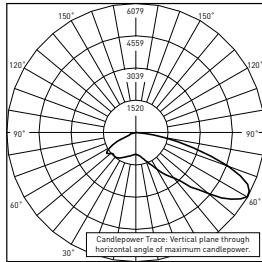
Type III Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,722	B1 U0 G1	2,079	B1 U0 G1	1,581	B1 U0 G1	2,120	B1 U0 G1	678	B0 U0 G1
04	3,444	B1 U0 G1	4,158	B1 U0 G1	3,161	B1 U0 G1	4,240	B1 U0 G1	1,357	B0 U0 G1
06	5,107	B1 U0 G1	6,166	B1 U0 G2	4,687	B1 U0 G1	6,288	B1 U0 G2	2,012	B1 U0 G1
08	6,809	B1 U0 G2	8,221	B2 U0 G2	6,250	B1 U0 G2	8,384	B2 U0 G2	2,683	B1 U0 G1
10	8,491	B2 U0 G2	10,252	B2 U0 G2	7,794	B2 U0 G2	10,455	B2 U0 G2	3,346	B1 U0 G1
12	10,189	B2 U0 G2	12,302	B2 U0 G3	9,352	B2 U0 G2	12,546	B2 U0 G3	4,015	B1 U0 G1
14	11,812	B2 U0 G2	14,261	B3 U0 G3	10,842	B2 U0 G2	14,544	B3 U0 G3	4,654	B1 U0 G1
16	13,499	B2 U0 G3	16,299	B3 U0 G3	12,391	B2 U0 G3	16,622	B3 U0 G3	5,319	B1 U0 G2
<b>525mA</b>										
02	2,446	B1 U0 G1	2,950	B1 U0 G1	2,245	B1 U0 G1	3,012	B1 U0 G1		N/A
04	4,893	B1 U0 G1	5,901	B1 U0 G2	4,491	B1 U0 G1	6,024	B1 U0 G2		N/A
06	7,255	B2 U0 G2	8,750	B2 U0 G2	6,659	B1 U0 G2	8,933	B2 U0 G2		N/A
08	9,673	B2 U0 G2	11,667	B2 U0 G2	8,879	B2 U0 G2	11,911	B2 U0 G2		N/A
10	12,063	B2 U0 G3	14,548	B3 U0 G3	11,072	B2 U0 G2	14,853	B3 U0 G3		N/A
12	14,475	B3 U0 G3	17,458	B3 U0 G3	13,287	B2 U0 G3	17,824	B3 U0 G3		N/A
14	16,781	B3 U0 G3	20,239	B3 U0 G3	15,403	B3 U0 G3	20,663	B3 U0 G3		N/A
16	19,178	B3 U0 G3	23,130	B3 U0 G3	17,604	B3 U0 G3	23,615	B3 U0 G3		N/A
<b>700mA</b>										
02	2,885	B1 U0 G1	3,482	B1 U0 G1	2,649	B1 U0 G1	3,553	B1 U0 G1		N/A
04	5,771	B1 U0 G2	6,964	B1 U0 G2	5,297	B1 U0 G1	7,106	B2 U0 G2		N/A
06	8,557	B2 U0 G2	10,327	B2 U0 G2	7,855	B2 U0 G2	10,537	B2 U0 G2		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

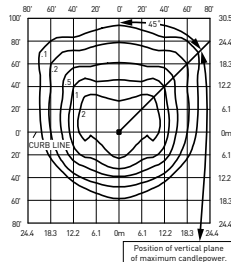
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

**4M**



RESTL Test Report #: PL10270-001B  
ARE-EDG-4M-\*\*-06-E-UL-525-40K  
Initial Delivered Lumens: 10,483



ARE-EDG-4M-\*\*-10-E-UL-525-40K  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 17,504  
Initial FC at grade

Type IV Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G1
04	4,143	B1 U0 G1	5,003	B2 U0 G1	3,803	B1 U0 G1	5,102	B2 U0 G1	1,633	B1 U0 G1
06	6,144	B2 U0 G1	7,418	B2 U0 G2	5,640	B2 U0 G1	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B2 U0 G2	7,519	B2 U0 G2	10,087	B2 U0 G2	3,228	B1 U0 G1
10	10,215	B2 U0 G2	12,334	B3 U0 G2	9,377	B2 U0 G2	12,578	B3 U0 G2	4,025	B1 U0 G1
12	12,258	B2 U0 G2	14,801	B3 U0 G3	11,252	B2 U0 G2	15,094	B3 U0 G3	4,830	B1 U0 G1
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G2	17,498	B3 U0 G3	5,599	B2 U0 G1
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B3 U0 G3	6,399	B2 U0 G1
525mA										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G1	7,099	B2 U0 G2	5,403	B2 U0 G1	7,248	B2 U0 G2		N/A
06	8,729	B2 U0 G2	10,527	B2 U0 G2	8,012	B2 U0 G2	10,748	B2 U0 G2		N/A
08	11,638	B2 U0 G2	14,037	B3 U0 G2	10,683	B2 U0 G2	14,331	B3 U0 G2		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G2	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B3 U0 G3	15,986	B3 U0 G3	21,444	B3 U0 G3		N/A
14	20,189	B3 U0 G3	24,350	B3 U0 G3	18,532	B3 U0 G3	24,860	B4 U0 G3		N/A
16	23,074	B3 U0 G3	27,828	B4 U0 G3	21,179	B3 U0 G3	28,411	B4 U0 G3		N/A
700mA										
02	3,472	B1 U0 G1	4,189	B1 U0 G1	3,187	B1 U0 G1	4,275	B1 U0 G1		N/A
04	6,943	B2 U0 G1	8,379	B2 U0 G2	6,373	B2 U0 G1	8,549	B2 U0 G2		N/A
06	10,296	B2 U0 G2	12,425	B3 U0 G2	9,451	B2 U0 G2	12,678	B3 U0 G2		N/A

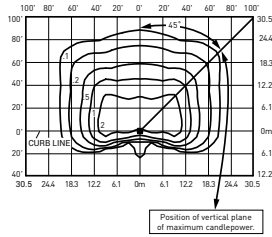
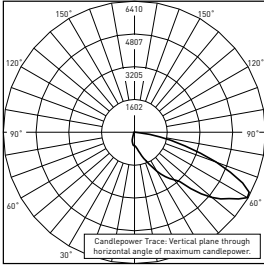
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

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4MB



RESTL Test Report #: PL10023-002B  
 ARE-EDG-4MB-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 7,985

ARE-EDG-4MB-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 13,185  
 Initial FC at grade

Type IV Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B1 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G2	1,824	B0 U0 G1
08	6,170	B1 U0 G2	7,450	B1 U0 G2	5,664	B1 U0 G2	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B1 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B2 U0 G2	11,229	B1 U0 G2	15,063	B2 U0 G2	4,820	B1 U0 G1
<b>525mA</b>										
02	2,217	B1 U0 G1	2,674	B1 U0 G1	2,035	B1 U0 G1	2,730	B1 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G2	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B2 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B2 U0 G2	18,341	B2 U0 G3	13,959	B2 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
<b>700mA</b>										
02	2,615	B1 U0 G1	3,156	B1 U0 G1	2,400	B1 U0 G1	3,220	B1 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

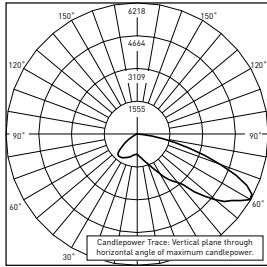


THE EDGE® LED Area/Flood Luminaire

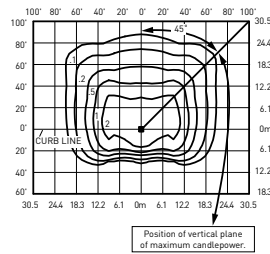
**Photometry**

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**4MP**



RESTL Test Report #: PL10097-003B  
 ARE-EDG-4MP-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 9,410



ARE-EDG-4MP-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 15,458  
 Initial FC at grade

Type IV Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B1 U0 G1
06	5,426	B1 U0 G1	6,551	B2 U0 G1	4,980	B1 U0 G1	6,681	B2 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G2	8,735	B2 U0 G2	6,640	B2 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B3 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B3 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
<b>525mA</b>										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B2 U0 G1	4,772	B1 U0 G1	6,401	B2 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G2	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B3 U0 G2	11,764	B2 U0 G2	15,782	B3 U0 G2		N/A
12	15,380	B3 U0 G2	18,549	B3 U0 G2	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B3 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
<b>700mA</b>										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B2 U0 G1	7,400	B2 U0 G2	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

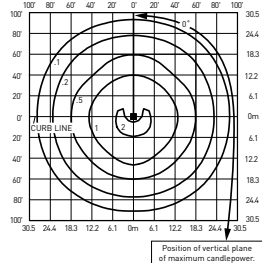
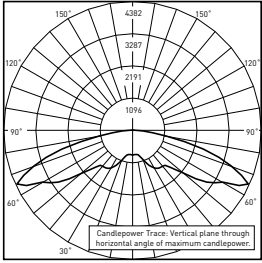
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

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5M



RESTL Test Report #: PL09285-001  
ARE-EDG-5M-\*\*-06-E-UL-700-40K  
Initial Delivered Lumens: 13,136

ARE-EDG-5M-\*\*-10-E-UL-525-40K  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 18,413  
Initial FC at grade

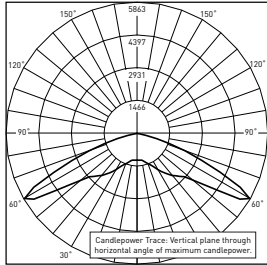
Type V Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	2,179	B2 U0 G1	2,631	B2 U0 G1	2,000	B1 U0 G1	2,683	B2 U0 G1	859	B1 U0 G1
04	4,358	B3 U0 G1	5,262	B3 U0 G1	4,001	B2 U0 G1	5,367	B3 U0 G1	1,717	B1 U0 G1
06	6,463	B3 U0 G1	7,804	B3 U0 G2	5,932	B3 U0 G1	7,958	B3 U0 G2	2,547	B2 U0 G1
08	8,617	B3 U0 G2	10,405	B4 U0 G2	7,910	B3 U0 G2	10,611	B4 U0 G2	3,395	B2 U0 G1
10	10,746	B4 U0 G2	12,975	B4 U0 G2	9,864	B3 U0 G2	13,232	B4 U0 G2	4,234	B3 U0 G1
12	12,895	B4 U0 G2	15,570	B4 U0 G3	11,836	B4 U0 G2	15,878	B4 U0 G3	5,081	B3 U0 G1
14	14,949	B4 U0 G3	18,049	B4 U0 G3	13,722	B4 U0 G2	18,407	B4 U0 G3	5,890	B3 U0 G1
16	17,085	B4 U0 G3	20,628	B5 U0 G3	15,682	B4 U0 G3	21,037	B5 U0 G3	6,732	B3 U0 G2
525mA										
02	3,096	B2 U0 G1	3,734	B3 U0 G1	2,842	B2 U0 G1	3,812	B3 U0 G1		N/A
04	6,192	B3 U0 G1	7,468	B3 U0 G2	5,684	B3 U0 G1	7,625	B3 U0 G2		N/A
06	9,182	B3 U0 G2	11,074	B4 U0 G2	8,428	B3 U0 G2	11,306	B4 U0 G2		N/A
08	12,243	B4 U0 G2	14,766	B4 U0 G2	11,238	B4 U0 G2	15,075	B4 U0 G3		N/A
10	15,267	B4 U0 G3	18,413	B4 U0 G3	14,014	B4 U0 G2	18,799	B4 U0 G3		N/A
12	18,320	B4 U0 G3	22,096	B5 U0 G3	16,816	B4 U0 G3	22,558	B5 U0 G3		N/A
14	21,238	B5 U0 G3	25,615	B5 U0 G3	19,495	B4 U0 G3	26,151	B5 U0 G3		N/A
16	24,272	B5 U0 G3	29,274	B5 U0 G3	22,280	B5 U0 G3	29,887	B5 U0 G3		N/A
700mA										
02	3,652	B3 U0 G1	4,407	B3 U0 G1	3,352	B2 U0 G1	4,497	B3 U0 G1		N/A
04	7,304	B3 U0 G2	8,814	B3 U0 G2	6,704	B3 U0 G2	8,993	B3 U0 G2		N/A
06	10,831	B4 U0 G2	13,070	B4 U0 G2	9,941	B3 U0 G2	13,336	B4 U0 G2		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

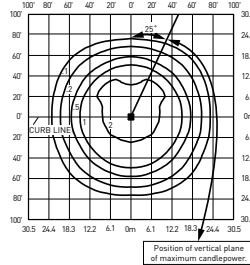
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

55



RESTL Test Report #: PL09286-001A  
ARE-EDG-5S-\*\*-06-E-UL-700-40K  
Initial Delivered Lumens: 14,123



ARE-EDG-5S-\*\*-10-E-UL-525-40K  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 20,459  
Initial FC at grade

Type V Short Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	2,421	B1 U0 G0	2,924	B2 U0 G0	2,223	B1 U0 G0	2,982	B2 U0 G0	954	B1 U0 G0
04	4,843	B2 U0 G1	5,847	B3 U0 G1	4,445	B2 U0 G1	5,963	B3 U0 G1	1,908	B1 U0 G0
06	7,181	B3 U0 G1	8,671	B3 U0 G1	6,592	B3 U0 G1	8,842	B3 U0 G1	2,830	B2 U0 G0
08	9,575	B3 U0 G1	11,561	B3 U0 G2	8,789	B3 U0 G1	11,790	B3 U0 G2	3,773	B2 U0 G1
10	11,940	B3 U0 G2	14,416	B4 U0 G2	10,960	B3 U0 G2	14,702	B4 U0 G2	4,705	B2 U0 G1
12	14,328	B4 U0 G2	17,300	B4 U0 G2	13,152	B3 U0 G2	17,642	B4 U0 G2	5,646	B3 U0 G1
14	16,610	B4 U0 G2	20,055	B4 U0 G2	15,246	B4 U0 G2	20,453	B4 U0 G2	6,545	B3 U0 G1
16	18,983	B4 U0 G2	22,920	B4 U0 G2	17,424	B4 U0 G2	23,374	B4 U0 G2	7,480	B3 U0 G1
<b>525mA</b>										
02	3,440	B2 U0 G0	4,149	B2 U0 G1	3,158	B2 U0 G0	4,236	B2 U0 G1		N/A
04	6,880	B3 U0 G1	8,298	B3 U0 G1	6,315	B3 U0 G1	8,472	B3 U0 G1		N/A
06	10,202	B3 U0 G2	12,305	B3 U0 G2	9,365	B3 U0 G1	12,563	B3 U0 G2		N/A
08	13,603	B3 U0 G2	16,406	B4 U0 G2	12,486	B3 U0 G2	16,750	B4 U0 G2		N/A
10	16,963	B4 U0 G2	20,459	B4 U0 G2	15,571	B4 U0 G2	20,887	B4 U0 G2		N/A
12	20,356	B4 U0 G2	24,551	B4 U0 G2	18,685	B4 U0 G2	25,065	B4 U0 G2		N/A
14	23,598	B4 U0 G2	28,461	B5 U0 G3	21,661	B4 U0 G2	29,057	B5 U0 G3		N/A
16	26,969	B4 U0 G2	32,527	B5 U0 G3	24,755	B4 U0 G2	33,208	B5 U0 G3		N/A
<b>700mA</b>										
02	4,058	B2 U0 G1	4,897	B2 U0 G1	3,725	B2 U0 G1	4,996	B2 U0 G1		N/A
04	8,115	B3 U0 G1	9,793	B3 U0 G1	7,449	B3 U0 G1	9,993	B3 U0 G2		N/A
06	12,034	B3 U0 G2	14,523	B4 U0 G2	11,046	B3 U0 G2	14,818	B4 U0 G2		N/A

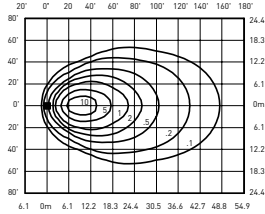
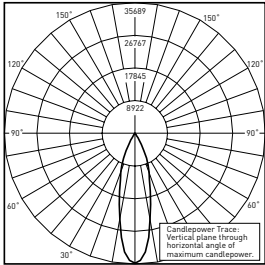
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

25°



RESTL Test Report #: PL09832-003B  
 FLD-EDG-25-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 14,998

FLD-EDG-25-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 20,913  
 Initial FC at grade

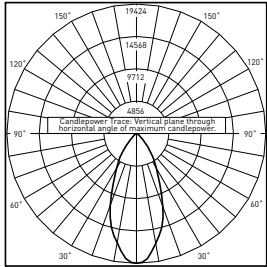
25° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
<b>525mA</b>					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
<b>700mA</b>					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

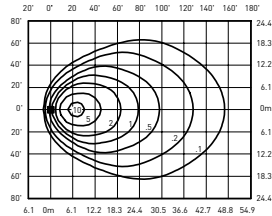
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

40°



RESTL Test Report #: PL09832-002B  
 FLD-EDG-40-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 13,808



FLD-EDG-40-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 20,459  
 Initial FC at grade

40° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,421	2,924	2,223	2,982	954
04	4,843	5,847	4,445	5,963	1,908
06	7,181	8,671	6,592	8,842	2,830
08	9,575	11,561	8,789	11,790	3,773
10	11,940	14,416	10,960	14,702	4,705
12	14,328	17,300	13,152	17,642	5,646
14	16,610	20,055	15,246	20,453	6,545
16	18,983	22,920	17,424	23,374	7,480
<b>525mA</b>					
02	3,440	4,149	3,158	4,236	N/A
04	6,880	8,298	6,315	8,472	N/A
06	10,202	12,305	9,365	12,563	N/A
08	13,603	16,406	12,486	16,750	N/A
10	16,963	20,459	15,571	20,887	N/A
12	20,356	24,551	18,685	25,065	N/A
14	23,598	28,461	21,661	29,057	N/A
16	26,969	32,527	24,755	33,208	N/A
<b>700mA</b>					
02	4,058	4,897	3,725	4,996	N/A
04	8,115	9,793	7,449	9,993	N/A
06	12,034	14,523	11,046	14,818	N/A

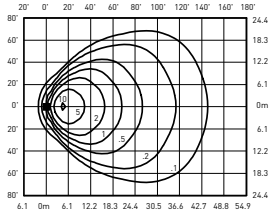
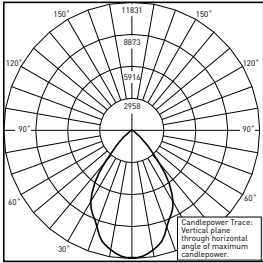
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

70°



RECTL Test Report #: PL09832-001B  
 FLD-EDG-70-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 13,888

FLD-EDG-70-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 18,640  
 Initial FC at grade

70° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,206	2,664	2,025	2,716	869
04	4,412	5,327	4,050	5,433	1,739
06	6,543	7,900	6,006	8,056	2,578
08	8,724	10,533	8,008	10,742	3,437
10	10,879	13,135	9,986	13,395	4,286
12	13,054	15,762	11,983	16,074	5,144
14	15,133	18,272	13,891	18,635	5,963
16	17,295	20,883	15,876	21,297	6,815
<b>525mA</b>					
02	3,134	3,780	2,877	3,859	N/A
04	6,269	7,560	5,754	7,719	N/A
06	9,295	11,211	8,532	11,446	N/A
08	12,394	14,948	11,377	15,261	N/A
10	15,455	18,640	14,187	19,031	N/A
12	18,546	22,368	17,024	22,837	N/A
14	21,500	25,931	19,735	26,474	N/A
16	24,572	29,636	22,555	30,256	N/A
<b>700mA</b>					
02	3,697	4,461	3,393	4,552	N/A
04	7,394	8,923	6,787	9,104	N/A
06	10,964	13,232	10,064	13,501	N/A

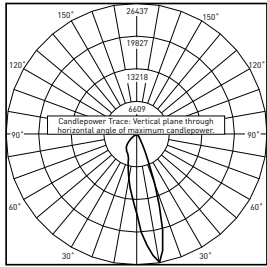
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

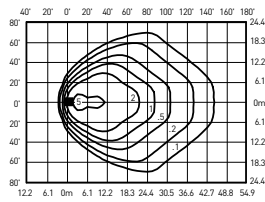
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

**SN**



RESTL Test Report #: PL10142-001B  
 FLD-EDG-SN-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 13,701



FLD-EDG-SN-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 18,868  
 Initial FC at grade

SN Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,233	2,696	2,050	2,750	880
04	4,466	5,392	4,099	5,499	1,760
06	6,623	7,996	6,079	8,155	2,609
08	8,830	10,662	8,105	10,873	3,479
10	11,011	13,295	10,107	13,559	4,339
12	13,213	15,954	12,129	16,270	5,206
14	15,318	18,495	14,061	18,862	6,036
16	17,506	21,137	16,069	21,556	6,898
<b>525mA</b>					
02	3,172	3,826	2,912	3,906	N/A
04	6,345	7,653	5,824	7,813	N/A
06	9,409	11,348	8,636	11,585	N/A
08	12,545	15,130	11,515	15,447	N/A
10	15,644	18,868	14,360	19,263	N/A
12	18,773	22,641	17,231	23,115	N/A
14	21,763	26,247	19,976	26,797	N/A
16	24,871	29,997	22,830	30,625	N/A
<b>700mA</b>					
02	3,742	4,516	3,435	4,608	N/A
04	7,484	9,032	6,870	9,215	N/A
06	11,098	13,393	10,187	13,665	N/A

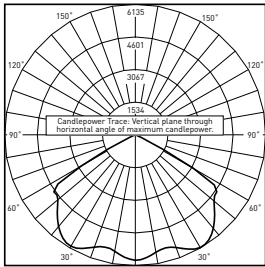
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

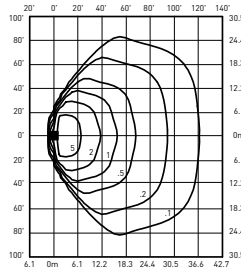
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

**N6**



RESTL Test Report #: PL09832-004B  
 FLD-EDG-N6-\*\*-D6-E-UL-700-40K  
 Initial Delivered Lumens: 15,251









FLD-EDG-N6-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 20,913  
 Initial FC at grade

NEMA® 6 Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
<b>525mA</b>					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
<b>700mA</b>					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

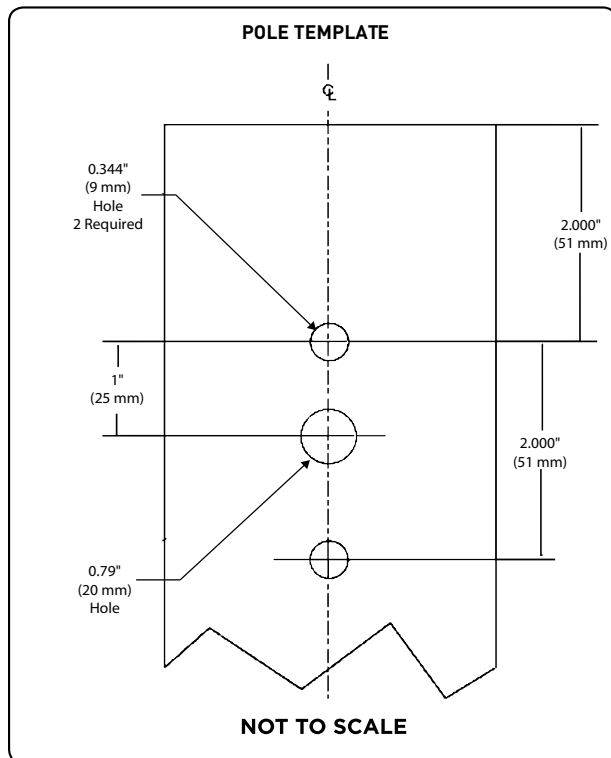
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens












**Luminaire EPA**

<b>Fixed Arm Mount – ARE-EDG-DA</b>						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
						
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3" poles	1.20	1.55 N/A with 3" poles	1.55	1.91 N/A with 3" poles
10	0.60	1.00 N/A with 3" poles	1.20	1.60 N/A with 3" poles	1.60	2.00 N/A with 3" poles
12	0.60	1.04 N/A with 3" poles	1.20	1.64 N/A with 3" poles	1.64	2.08 N/A with 3" poles
14	0.60	1.08 N/A with 3" or 4" poles	1.20	1.68 N/A with 3" or 4" poles	1.68	2.16 N/A with 3" or 4" poles
16	0.60	1.12 N/A with 3" or 4" poles	1.20	1.72 N/A with 3" or 4" poles	1.72	2.24 N/A with 3" or 4" poles
<b>Fixed Arm Mount – ARE-EDG-DL</b>						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

**Fixture Mounting Drill Pattern for DA and DL Mounts**












Luminaire EPA

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
<b>Tenon Configuration</b> If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
<b>0° Tilt</b>									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A
<b>30° Tilt</b>									
02	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
04	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
06	0.82	1.48	1.64	1.64	2.30	2.30	2.46	2.95	3.28
08	0.93	1.59	1.86	1.86	2.52	2.52	2.79	3.17	3.72
10	1.04	1.70	2.08	2.08	2.74	2.74	3.12	3.40	4.16
12	1.15	1.81	2.30	2.30	2.96	2.96	3.45	3.62	4.60
14	1.26	1.92	2.52	2.52	3.18	3.18	3.78	3.84	5.04
16	1.37	2.03	2.74	N/A	3.40	3.40	N/A	4.06	N/A
<b>45° Tilt</b>									
02	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
04	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
06	1.03	1.69	2.06	2.06	2.72	2.72	3.09	3.38	4.12
08	1.17	1.83	2.34	2.34	3.00	3.00	3.51	3.66	4.68
10	1.31	1.97	2.62	2.62	3.28	3.28	3.93	3.94	5.24
12	1.45	2.11	2.90	2.90	3.56	3.56	4.35	4.21	5.80
14	1.59	2.25	3.18	3.18	3.83	3.83	4.77	4.49	6.36
16	1.73	2.38	3.46	N/A	4.11	4.11	N/A	4.77	N/A
<b>60° Tilt</b>									
02	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
04	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
06	1.39	2.05	2.78	2.78	3.44	3.44	4.17	4.10	5.56
08	1.58	2.23	3.16	3.16	3.81	3.81	4.74	4.47	6.32
10	1.77	2.42	3.54	3.54	4.19	4.19	5.31	4.84	7.08
12	1.95	2.61	3.90	3.90	4.56	4.56	5.85	5.22	7.80
14	2.14	2.80	4.28	4.28	4.94	4.94	6.42	5.59	8.56
16	2.33	2.98	4.66	N/A	5.31	5.31	N/A	5.97	N/A

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

THE EDGE® LED Area/Flood Luminaire

Luminaire EPA

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
<b>Tenon Configuration</b> If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
<b>90° Tilt</b>									
02	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
04	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
06	2.14	2.80	4.28	4.22	4.94	4.94	6.42	5.59	8.56
08	2.43	3.09	4.86	4.78	5.51	5.51	7.29	6.17 N/A with horizontal tenon	9.72
10	2.71	3.37	5.42	5.34	6.08	6.08	8.13	6.74 N/A with horizontal tenon	10.84
12	3.00	3.66	6.00	5.90	6.66	6.66	9.00	7.31 N/A with horizontal tenon	12.00
14	3.29	3.95 N/A with PW-2A3**	6.58	6.48	7.23	7.23	9.87	7.89 N/A with horizontal tenon	13.16
16	3.57	4.23 N/A with PW-2A3**	7.14	N/A	7.81	7.81	N/A	8.46 N/A with horizontal tenon	N/A

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenon EPA

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

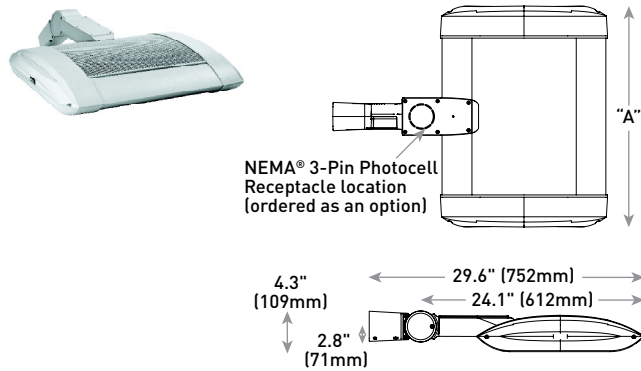
\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets <sup>†</sup> (must specify color)	
<p><b>Square Internal Mount Vertical Tenons (Steel)</b>                      - Mounts to 3-6" (76-152mm) square aluminum or steel poles                      PB-1A* – Single PB-4A*(90) – 90° Quad                      PB-2A* – 180° Twin PB-4A*(180) – 180° Quad                      PB-3A* – 180° Triple</p> <p><b>Square Internal Mount Horizontal Tenons (Aluminum)</b>                      - Mounts to 4" (102mm) square aluminum or steel poles                      PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple                      PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad</p> <p><b>Wall Mount Brackets</b>                      - Mounts to wall or roof                      WM-2 – Horizontal for AA and SA mounts                      WM-4 – L-Shape for AA and SA mounts                      WM-DM – Plate for DA and DL mounts</p>	<p><b>Round External Mount Vertical Tenons (Steel)</b>                      - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons                      PB-2R2.375 – Twin PB-4R2.375 – Quad                      PB-3R2.375 – Triple</p> <p><b>Round External Mount Horizontal Tenons (Aluminum)</b>                      - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons                      - Mounts to square pole with PB-1A* tenon                      PT-1 – Single (Vertical) PT-3(90) – 90° Triple                      PT-2(90) – 90° Twin PT-3(120) – 120° Triple                      PT-2(180) – 180° Twin PT-4(90) – 90° Quad</p> <p><b>Mid-Pole Bracket</b>                      - Mounts to square pole                      PW-1A3** – Single PW-2A3** – Double</p> <p><b>Ground Mount Post</b>                      - For ground mounted flood luminaires                      PGM-1                      - For use with AA and SA mounts</p>

<sup>†</sup> Refer to the [Bracket and Tenons spec sheet](#) for more details

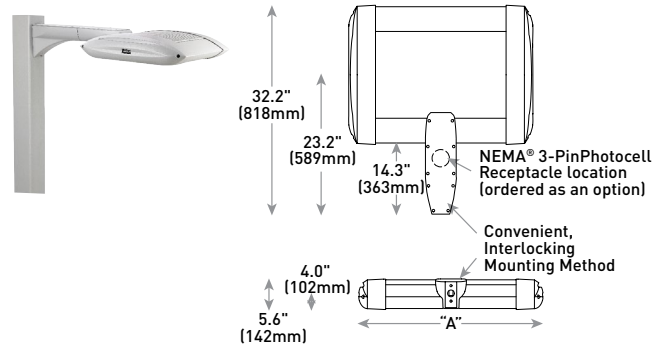
THE EDGE® LED Area/Flood Luminaire

**AA Mount**



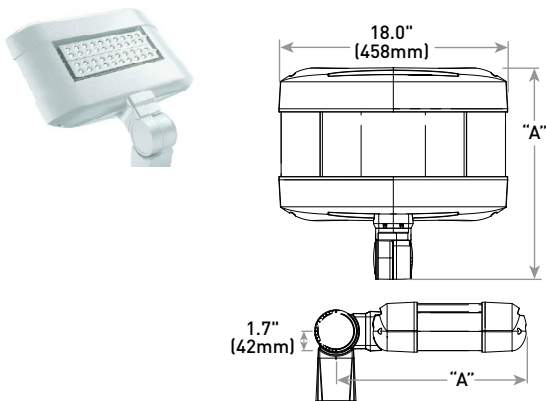
LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

**DL Mount**



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	23 lbs. (10kg)
04	12.1" (306mm)	26 lbs. (12kg)
06	14.1" (357mm)	29 lbs. (13kg)
08	16.1" (408mm)	30 lbs. (14kg)
10	18.1" (459mm)	34 lbs. (15kg)
12	20.1" (510mm)	36 lbs. (16kg)
14	22.1" (560mm)	42 lbs. (19kg)
16	24.1" (611mm)	44 lbs. (20kg)

**SA Mount**



LED Count (x10)	Dim. "A"	Weight
02	16.0" (406mm)	25 lbs. (11kg)
04	18.0" (457mm)	26 lbs. (12kg)
06	20.0" (508mm)	28 lbs. (13kg)

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# THE EDGE® Series TYPE AX

LED Area/Flood Luminaire

Rev. Date: V11 09/07/2021

## Product Description

THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

**GC TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING**

## Performance Summary

- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CRI:** Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K); 90 CRI (5000K)
- CCT:** Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard
- Limited Warranty\*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish /1 year on accessories

\*See <http://creelighting.com/warranty> for warranty terms

## Accessories

Field-Installed	
<b>Bird Spikes</b> XA-BRDSPK	<b>Backlight Control Shields</b> XA-20BLS-4 - Four-pack - Unpainted stainless steel
<b>Hand-Held Remote</b> XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	<b>Shorting Cap</b> XA-XSLSHRT
	<b>NEMA® 3-Pin Photocell</b> C-ACC-A-PCCELL-NEMA3-LV - On/off functionality only - Available with UL voltage only

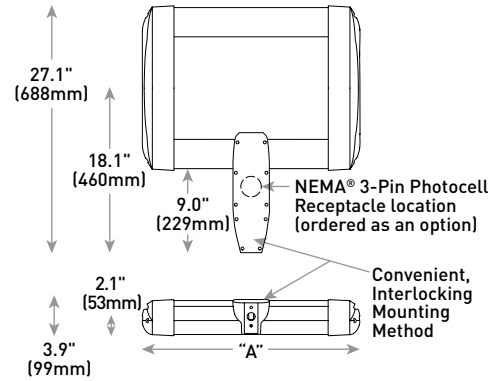
**GC TO VERIFY AND SPECIFY IF NOT UL**      **GC TO REFERENCE PLANS FOR COLOR DESIGNATION**

## Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options		
ARE-EDG	2M Type II Medium	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial BLS	AA Adjustable Arm	02	E	UL Universal 120-277V	BK Black	350 350mA	<b>DIM 0-10V Dimming</b> - Control by others - Refer to <a href="#">Dimming spec sheet</a> for details - Can't exceed specified drive current - Not available with PML options <b>F Fuse</b> - Compatible only with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) - Refer to <a href="#">PML spec sheet</a> for availability with PML options - When code dictates fusing, use time delay fuse <b>HL Hi/Low (Dual Circuit Input)</b> - Refer to <a href="#">HL spec sheet</a> for details - Sensor not included <b>P Photocell</b> - Refer to <a href="#">PML spec sheet</a> for availability with PML options - Available with UL voltage only <b>PML Programmable Multi-Level, 20-40' Mounting Height</b> - Refer to <a href="#">PML spec sheet</a> for details - Intended for downlight applications at 0° tilt <b>PML2 Programmable Multi-Level, 10-30' Mounting Height</b> - Refer to <a href="#">PML spec sheet</a> for details - Intended for downlight applications at 0° tilt <b>R NEMA® 3-Pin Photocell Receptacle</b> - 3-pin receptacle per ANSI C136.10 - Not available with SA mount - Intended for downlight applications with maximum 45° tilt - Requires photocell or shorting cap by others - Refer to <a href="#">PML spec sheet</a> for availability with PML options <b>30K 3000K Color Temperature</b> - Minimum 80 CRI - Color temperature per luminaire <b>40K 4000K Color Temperature</b> - Minimum 70 CRI - Color temperature per luminaire <b>50K 5000K Color Temperature</b> - Minimum 90 CRI - Color temperature per luminaire <b>TRL Amber Turtle Friendly LEDs</b> - Available only with 350mA - 600nm dominant wavelength - Additional shielding (by others) may be required for Florida Fish and Wildlife Conservation Commission compliance
					04					
	FLD-EDG	25 25° Flood	70 70° Flood	N6 NEMA® 6	AA Adjustable Arm	E	UL Universal 347-480V	SV Silver	700 700mA	
		40 40° Flood	SN Sign	SA Side Arm - Available with 20-60 LEDs	E	UL	WH White	700 700mA		
									04	

DA Mount **GC TO SEE NOTES BELOW**



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions

\* Reference EPA and pole configuration suitability data beginning on page 19



**Product Specifications**

**CONSTRUCTION & MATERIALS**

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance heat sinks
- DA and DL mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers
- AA and SA mounts are rugged die cast aluminum and mount to 2" (51mm) IP, 2.375" (60mm) O.D. tenons
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available
- **Weight:** See Dimensions and Weight Charts on pages 1 and 22

**ELECTRICAL SYSTEM**

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- DA and DL mounts designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20 LED (525 & 700mA) and 40-80 LED: 0.15mA; 100-160 LED: 0.30mA

**REGULATORY & VOLUNTARY QUALIFICATIONS**

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when ordered with AA, DA and DL mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – [www.p65warnings.ca.gov](http://www.p65warnings.ca.gov)

Electrical Data*								
LED Count (x10)	CCT	System Watts 120-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
<b>350mA</b>								
02	30K/40K/50K/57K	25	0.21	0.13	0.11	0.10	0.08	0.07
	TRL	19	0.16	0.09	0.08	0.07	0.05	0.04
04	30K/40K/50K/57K	46	0.36	0.23	0.21	0.20	0.15	0.12
	TRL	35	0.29	0.17	0.15	0.13	0.10	0.07
06	30K/40K/50K/57K	66	0.52	0.31	0.28	0.26	0.20	0.15
	TRL	50	0.41	0.24	0.21	0.18	0.14	0.10
08	30K/40K/50K/57K	90	0.75	0.44	0.38	0.34	0.26	0.20
	TRL	68	0.57	0.33	0.28	0.25	0.20	0.14
10	30K/40K/50K/57K	110	0.92	0.53	0.47	0.41	0.32	0.24
	TRL	83	0.69	0.40	0.35	0.30	0.24	0.17
12	30K/40K/50K/57K	130	1.10	0.63	0.55	0.48	0.38	0.28
	TRL	99	0.82	0.48	0.41	0.36	0.28	0.21
14	30K/40K/50K/57K	158	1.32	0.77	0.68	0.62	0.47	0.35
	TRL	120	1.00	0.58	0.50	0.43	0.34	0.25
16	30K/40K/50K/57K	179	1.49	0.87	0.77	0.68	0.53	0.39
	TRL	136	1.13	0.65	0.57	0.49	0.39	0.28
<b>525mA</b>								
02	30K/40K/50K/57K	37	0.30	0.19	0.17	0.16	0.12	0.10
04	30K/40K/50K/57K	70	0.58	0.34	0.31	0.28	0.21	0.16
06	30K/40K/50K/57K	101	0.84	0.49	0.43	0.38	0.30	0.22
08	30K/40K/50K/57K	133	1.13	0.66	0.58	0.51	0.39	0.28
10	30K/40K/50K/57K	171	1.43	0.83	0.74	0.66	0.50	0.38
12	30K/40K/50K/57K	202	1.69	0.98	0.86	0.77	0.59	0.44
14	30K/40K/50K/57K	232	1.94	1.12	0.98	0.87	0.68	0.50
16	30K/40K/50K/57K	263	2.21	1.27	1.11	0.97	0.77	0.56
<b>700mA</b>								
02	30K/40K/50K/57K	50	0.41	0.25	0.22	0.20	0.15	0.12
04	30K/40K/50K/57K	93	0.78	0.46	0.40	0.36	0.27	0.20
06	30K/40K/50K/57K	134	1.14	0.65	0.57	0.50	0.39	0.29

\* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

**THE EDGE® Series Ambient Adjusted Lumen Maintenance<sup>1</sup>**

Ambient	CCT	Initial LMF	25K hr Reported <sup>2</sup> LMF	50K hr Reported <sup>2</sup> LMF	75K hr Reported <sup>2</sup> / Estimated <sup>3</sup> LMF	100K hr Reported <sup>3</sup> / Estimated <sup>3</sup> LMF
5°C (41°F)	30K/40K/50K/57K	1.04	1.03	1.03	1.03 <sup>2</sup>	1.03
	TRL	1.06	1.06	1.06	1.06 <sup>3</sup>	1.06
10°C (50°F)	30K/40K/50K/57K	1.03	1.02	1.02	1.02 <sup>2</sup>	1.02
	TRL	1.04	1.04	1.04	1.04 <sup>3</sup>	1.04
15°C (59°F)	30K/40K/50K/57K	1.02	1.01	1.01	1.01 <sup>2</sup>	1.01
	TRL	1.03	1.03	1.03	1.03 <sup>3</sup>	1.03
20°C (68°F)	30K/40K/50K/57K	1.01	0.99	0.99	0.99 <sup>2</sup>	0.99
	TRL	1.01	1.01	1.01	1.01 <sup>3</sup>	1.01
25°C (77°F)	30K/40K/50K/57K	1.00	0.98	0.98	0.98 <sup>2</sup>	0.98
	TRL	1.00	1.00	1.00	1.00 <sup>3</sup>	1.00

<sup>1</sup> Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

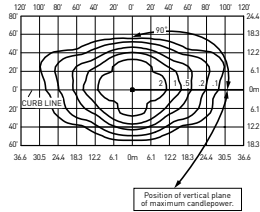
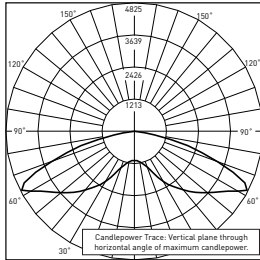
<sup>2</sup> In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

<sup>3</sup> Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

**2M**



RESTL Test Report #: PL10270-004B  
 ARE-EDG-2M-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 10,053

ARE-EDG-2M-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 17,504  
 Initial FC at grade

Type II Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11	Initial Delivered Lumens <sup>*</sup>	BUG Ratings <sup>**</sup> Per TM-15-11
<b>350mA</b>										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G0
04	4,143	B2 U0 G1	5,003	B2 U0 G2	3,803	B1 U0 G1	5,102	B2 U0 G2	1,633	B1 U0 G1
06	6,144	B2 U0 G2	7,418	B2 U0 G2	5,640	B2 U0 G2	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B3 U0 G3	7,519	B2 U0 G2	10,087	B3 U0 G3	3,228	B1 U0 G1
10	10,215	B3 U0 G3	12,334	B3 U0 G3	9,377	B3 U0 G3	12,578	B3 U0 G3	4,025	B2 U0 G1
12	12,258	B3 U0 G3	14,801	B3 U0 G3	11,252	B3 U0 G3	15,094	B3 U0 G3	4,830	B2 U0 G2
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G3	17,498	B3 U0 G3	5,599	B2 U0 G2
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B4 U0 G3	6,399	B2 U0 G2
<b>525mA</b>										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G2	7,099	B2 U0 G2	5,403	B2 U0 G2	7,248	B2 U0 G2		N/A
06	8,729	B3 U0 G3	10,527	B3 U0 G3	8,012	B2 U0 G2	10,748	B3 U0 G3		N/A
08	11,638	B3 U0 G3	14,037	B3 U0 G3	10,683	B3 U0 G3	14,331	B3 U0 G3		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G3	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B4 U0 G4	15,986	B3 U0 G3	21,444	B4 U0 G4		N/A
14	20,189	B4 U0 G3	24,350	B4 U0 G4	18,532	B3 U0 G3	24,860	B4 U0 G4		N/A
16	23,074	B4 U0 G4	27,828	B4 U0 G4	21,179	B4 U0 G4	28,411	B4 U0 G4		N/A
<b>700mA</b>										
02	3,472	B1 U0 G1	4,189	B2 U0 G1	3,187	B1 U0 G1	4,275	B2 U0 G2		N/A
04	6,943	B2 U0 G2	8,379	B2 U0 G2	6,373	B2 U0 G2	8,549	B3 U0 G3		N/A
06	10,296	B3 U0 G3	12,425	B3 U0 G3	9,451	B3 U0 G3	12,678	B3 U0 G3		N/A

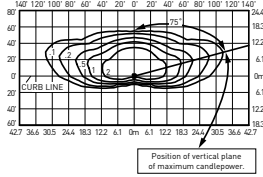
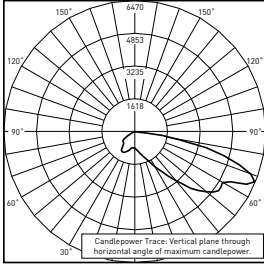
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

THE EDGE® LED Area/Flood Luminaire

Photometry

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2MB



RESTL Test Report #: PL10023-003B  
 ARE-EDG-2MB-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 7,784

ARE-EDG-2MB-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 13,185  
 Initial FC at grade

Type II Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B0 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G1	1,824	B0 U0 G1
08	6,170	B1 U0 G1	7,450	B1 U0 G2	5,664	B1 U0 G1	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B0 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B1 U0 G3	11,229	B1 U0 G2	15,063	B1 U0 G3	4,820	B1 U0 G1
525mA										
02	2,217	B0 U0 G1	2,674	B0 U0 G1	2,035	B0 U0 G1	2,730	B0 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G1	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B1 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B1 U0 G3	18,341	B2 U0 G3	13,959	B1 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
700mA										
02	2,615	B0 U0 G1	3,156	B0 U0 G1	2,400	B0 U0 G1	3,220	B0 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

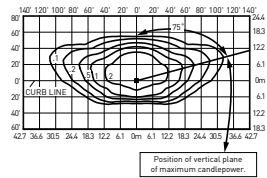
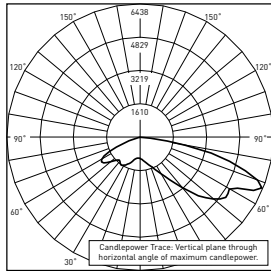
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



**Photometry**

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**2MP**



RESTL Test Report #: PL10097-001B  
 ARE-EDG-2MP-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 9,149

ARE-EDG-2MP-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 15,458  
 Initial FC at grade

Type II Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B0 U0 G1
06	5,426	B1 U0 G1	6,551	B1 U0 G1	4,980	B1 U0 G1	6,681	B1 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G1	8,735	B2 U0 G2	6,640	B1 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B2 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B2 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
<b>525mA</b>										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B1 U0 G1	4,772	B1 U0 G1	6,401	B1 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G1	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B2 U0 G2	11,764	B2 U0 G2	15,782	B2 U0 G2		N/A
12	15,380	B2 U0 G2	18,549	B3 U0 G3	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B2 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
<b>700mA</b>										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B1 U0 G1	7,400	B2 U0 G1	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

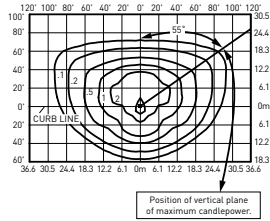
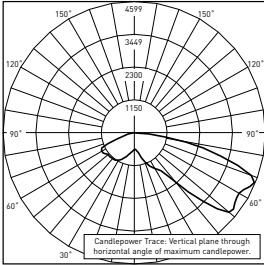
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

THE EDGE® LED Area/Flood Luminaire

Photometry

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3M



RESTL Test Report #: PL09405-001A  
 ARE-EDG-3M-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 9,460

ARE-EDG-3M-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 16,594  
 Initial FC at grade

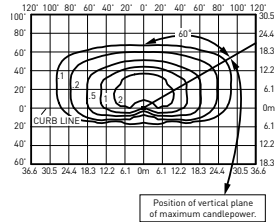
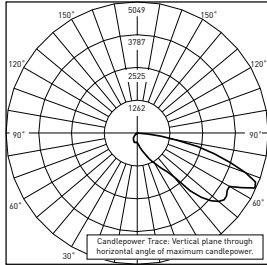
Type III Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,964	B1 U0 G1	2,371	B1 U0 G1	1,803	B1 U0 G1	2,418	B1 U0 G1	774	B0 U0 G1
04	3,928	B1 U0 G1	4,743	B1 U0 G1	3,606	B1 U0 G1	4,837	B1 U0 G1	1,548	B1 U0 G1
06	5,825	B2 U0 G2	7,033	B2 U0 G2	5,347	B2 U0 G2	7,172	B2 U0 G2	2,295	B1 U0 G1
08	7,766	B2 U0 G2	9,377	B2 U0 G2	7,129	B2 U0 G2	9,563	B2 U0 G2	3,060	B1 U0 G1
10	9,685	B2 U0 G2	11,693	B3 U0 G3	8,890	B2 U0 G2	11,925	B3 U0 G3	3,816	B1 U0 G1
12	11,621	B3 U0 G3	14,032	B3 U0 G3	10,667	B3 U0 G3	14,310	B3 U0 G3	4,579	B1 U0 G1
14	13,472	B3 U0 G3	16,267	B3 U0 G3	12,367	B3 U0 G3	16,589	B3 U0 G3	5,309	B2 U0 G2
16	15,397	B3 U0 G3	18,591	B3 U0 G3	14,133	B3 U0 G3	18,959	B3 U0 G3	6,067	B2 U0 G2
<b>525mA</b>										
02	2,790	B1 U0 G1	3,365	B1 U0 G1	2,561	B1 U0 G1	3,436	B1 U0 G1		N/A
04	5,581	B2 U0 G2	6,731	B2 U0 G2	5,122	B2 U0 G2	6,872	B2 U0 G2		N/A
06	8,275	B2 U0 G2	9,981	B3 U0 G3	7,596	B2 U0 G2	10,190	B3 U0 G3		N/A
08	11,034	B3 U0 G3	13,307	B3 U0 G3	10,128	B3 U0 G3	13,586	B3 U0 G3		N/A
10	13,759	B3 U0 G3	16,594	B3 U0 G3	12,630	B3 U0 G3	16,942	B3 U0 G3		N/A
12	16,511	B3 U0 G3	19,913	B3 U0 G3	15,155	B3 U0 G3	20,330	B3 U0 G3		N/A
14	19,141	B3 U0 G3	23,085	B3 U0 G3	17,569	B3 U0 G3	23,569	B3 U0 G3		N/A
16	21,875	B3 U0 G3	26,383	B4 U0 G4	20,079	B3 U0 G3	26,936	B4 U0 G4		N/A
<b>700mA</b>										
02	3,291	B1 U0 G1	3,972	B1 U0 G1	3,021	B1 U0 G1	4,053	B1 U0 G1		N/A
04	6,582	B2 U0 G2	7,944	B2 U0 G2	6,042	B2 U0 G2	8,105	B2 U0 G2		N/A
06	9,761	B2 U0 G2	11,779	B3 U0 G3	8,960	B2 U0 G2	12,019	B3 U0 G3		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>.

**Photometry**

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**3MB**



RESTL Test Report #: PL10023-001B  
 ARE-EDG-3MB-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 7,602

ARE-EDG-3MB-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 12,275  
 Initial FC at grade

Type III Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,453	B0 U0 G1	1,754	B0 U0 G1	1,334	B0 U0 G1	1,789	B0 U0 G1	572	B0 U0 G0
04	2,906	B0 U0 G1	3,508	B1 U0 G1	2,667	B0 U0 G1	3,578	B1 U0 G1	1,145	B0 U0 G1
06	4,309	B1 U0 G1	5,202	B1 U0 G1	3,955	B1 U0 G1	5,305	B1 U0 G1	1,698	B0 U0 G1
08	5,745	B1 U0 G2	6,936	B1 U0 G2	5,273	B1 U0 G1	7,074	B1 U0 G2	2,264	B0 U0 G1
10	7,164	B1 U0 G2	8,650	B1 U0 G2	6,576	B1 U0 G2	8,821	B1 U0 G2	2,823	B0 U0 G1
12	8,597	B1 U0 G2	10,380	B1 U0 G2	7,891	B1 U0 G2	10,585	B1 U0 G2	3,387	B1 U0 G1
14	9,966	B1 U0 G2	12,033	B1 U0 G2	9,148	B1 U0 G2	12,272	B1 U0 G2	3,927	B1 U0 G1
16	11,390	B1 U0 G2	13,752	B2 U0 G3	10,455	B1 U0 G2	14,025	B2 U0 G3	4,488	B1 U0 G1
<b>525mA</b>										
02	2,064	B0 U0 G1	2,489	B0 U0 G1	1,895	B0 U0 G1	2,542	B0 U0 G1		N/A
04	4,128	B1 U0 G1	4,979	B1 U0 G1	3,789	B1 U0 G1	5,083	B1 U0 G1		N/A
06	6,121	B1 U0 G2	7,383	B1 U0 G2	5,619	B1 U0 G2	7,538	B1 U0 G2		N/A
08	8,162	B1 U0 G2	9,844	B1 U0 G2	7,492	B1 U0 G2	10,050	B1 U0 G2		N/A
10	10,178	B1 U0 G2	12,275	B1 U0 G2	9,342	B1 U0 G2	12,532	B1 U0 G2		N/A
12	12,213	B1 U0 G2	14,730	B2 U0 G3	11,211	B1 U0 G2	15,039	B2 U0 G3		N/A
14	14,159	B2 U0 G3	17,077	B2 U0 G3	12,996	B1 U0 G2	17,434	B2 U0 G3		N/A
16	16,181	B2 U0 G3	19,516	B2 U0 G3	14,853	B2 U0 G3	19,925	B2 U0 G3		N/A
<b>700mA</b>										
02	2,435	B0 U0 G1	2,938	B1 U0 G1	2,235	B0 U0 G1	2,998	B1 U0 G1		N/A
04	4,869	B1 U0 G1	5,876	B1 U0 G2	4,469	B1 U0 G1	5,996	B1 U0 G2		N/A
06	7,220	B1 U0 G2	8,714	B1 U0 G2	6,628	B1 U0 G2	8,891	B1 U0 G2		N/A

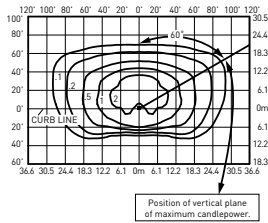
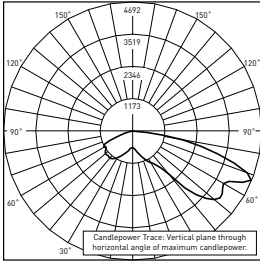
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

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3MP



RESTL Test Report #: PL10097-002B  
 ARE-EDG-3MP-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 8,670

ARE-EDG-3MP-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 14,548  
 Initial FC at grade

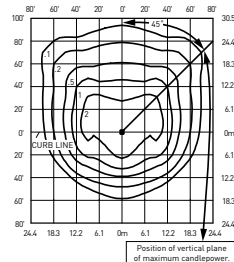
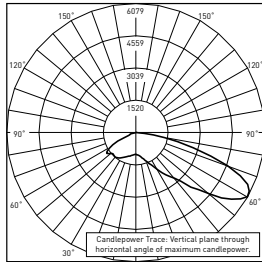
Type III Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,722	B1 U0 G1	2,079	B1 U0 G1	1,581	B1 U0 G1	2,120	B1 U0 G1	678	B0 U0 G1
04	3,444	B1 U0 G1	4,158	B1 U0 G1	3,161	B1 U0 G1	4,240	B1 U0 G1	1,357	B0 U0 G1
06	5,107	B1 U0 G1	6,166	B1 U0 G2	4,687	B1 U0 G1	6,288	B1 U0 G2	2,012	B1 U0 G1
08	6,809	B1 U0 G2	8,221	B2 U0 G2	6,250	B1 U0 G2	8,384	B2 U0 G2	2,683	B1 U0 G1
10	8,491	B2 U0 G2	10,252	B2 U0 G2	7,794	B2 U0 G2	10,455	B2 U0 G2	3,346	B1 U0 G1
12	10,189	B2 U0 G2	12,302	B2 U0 G3	9,352	B2 U0 G2	12,546	B2 U0 G3	4,015	B1 U0 G1
14	11,812	B2 U0 G2	14,261	B3 U0 G3	10,842	B2 U0 G2	14,544	B3 U0 G3	4,654	B1 U0 G1
16	13,499	B2 U0 G3	16,299	B3 U0 G3	12,391	B2 U0 G3	16,622	B3 U0 G3	5,319	B1 U0 G2
<b>525mA</b>										
02	2,446	B1 U0 G1	2,950	B1 U0 G1	2,245	B1 U0 G1	3,012	B1 U0 G1		N/A
04	4,893	B1 U0 G1	5,901	B1 U0 G2	4,491	B1 U0 G1	6,024	B1 U0 G2		N/A
06	7,255	B2 U0 G2	8,750	B2 U0 G2	6,659	B1 U0 G2	8,933	B2 U0 G2		N/A
08	9,673	B2 U0 G2	11,667	B2 U0 G2	8,879	B2 U0 G2	11,911	B2 U0 G2		N/A
10	12,063	B2 U0 G3	14,548	B3 U0 G3	11,072	B2 U0 G2	14,853	B3 U0 G3		N/A
12	14,475	B3 U0 G3	17,458	B3 U0 G3	13,287	B2 U0 G3	17,824	B3 U0 G3		N/A
14	16,781	B3 U0 G3	20,239	B3 U0 G3	15,403	B3 U0 G3	20,663	B3 U0 G3		N/A
16	19,178	B3 U0 G3	23,130	B3 U0 G3	17,604	B3 U0 G3	23,615	B3 U0 G3		N/A
<b>700mA</b>										
02	2,885	B1 U0 G1	3,482	B1 U0 G1	2,649	B1 U0 G1	3,553	B1 U0 G1		N/A
04	5,771	B1 U0 G2	6,964	B1 U0 G2	5,297	B1 U0 G1	7,106	B2 U0 G2		N/A
06	8,557	B2 U0 G2	10,327	B2 U0 G2	7,855	B2 U0 G2	10,537	B2 U0 G2		N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
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**Photometry**

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**4M**



RESTL Test Report #: PL 10270-001B  
 ARE-EDG-4M-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 10,483

ARE-EDG-4M-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 17,504  
 Initial FC at grade

Type IV Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	2,072	B1 U0 G1	2,501	B1 U0 G1	1,902	B1 U0 G1	2,551	B1 U0 G1	816	B0 U0 G1
04	4,143	B1 U0 G1	5,003	B2 U0 G1	3,803	B1 U0 G1	5,102	B2 U0 G1	1,633	B1 U0 G1
06	6,144	B2 U0 G1	7,418	B2 U0 G2	5,640	B2 U0 G1	7,565	B2 U0 G2	2,421	B1 U0 G1
08	8,192	B2 U0 G2	9,891	B2 U0 G2	7,519	B2 U0 G2	10,087	B2 U0 G2	3,228	B1 U0 G1
10	10,215	B2 U0 G2	12,334	B3 U0 G2	9,377	B2 U0 G2	12,578	B3 U0 G2	4,025	B1 U0 G1
12	12,258	B2 U0 G2	14,801	B3 U0 G3	11,252	B2 U0 G2	15,094	B3 U0 G3	4,830	B1 U0 G1
14	14,211	B3 U0 G3	17,158	B3 U0 G3	13,044	B3 U0 G2	17,498	B3 U0 G3	5,599	B2 U0 G1
16	16,241	B3 U0 G3	19,609	B3 U0 G3	14,908	B3 U0 G3	19,998	B3 U0 G3	6,399	B2 U0 G1
<b>525mA</b>										
02	2,943	B1 U0 G1	3,550	B1 U0 G1	2,702	B1 U0 G1	3,624	B1 U0 G1		N/A
04	5,886	B2 U0 G1	7,099	B2 U0 G2	5,403	B2 U0 G1	7,248	B2 U0 G2		N/A
06	8,729	B2 U0 G2	10,527	B2 U0 G2	8,012	B2 U0 G2	10,748	B2 U0 G2		N/A
08	11,638	B2 U0 G2	14,037	B3 U0 G2	10,683	B2 U0 G2	14,331	B3 U0 G2		N/A
10	14,513	B3 U0 G3	17,504	B3 U0 G3	13,322	B3 U0 G2	17,870	B3 U0 G3		N/A
12	17,415	B3 U0 G3	21,004	B3 U0 G3	15,986	B3 U0 G3	21,444	B3 U0 G3		N/A
14	20,189	B3 U0 G3	24,350	B3 U0 G3	18,532	B3 U0 G3	24,860	B4 U0 G3		N/A
16	23,074	B3 U0 G3	27,828	B4 U0 G3	21,179	B3 U0 G3	28,411	B4 U0 G3		N/A
<b>700mA</b>										
02	3,472	B1 U0 G1	4,189	B1 U0 G1	3,187	B1 U0 G1	4,275	B1 U0 G1		N/A
04	6,943	B2 U0 G1	8,379	B2 U0 G2	6,373	B2 U0 G1	8,549	B2 U0 G2		N/A
06	10,296	B2 U0 G2	12,425	B3 U0 G2	9,451	B2 U0 G2	12,678	B3 U0 G2		N/A

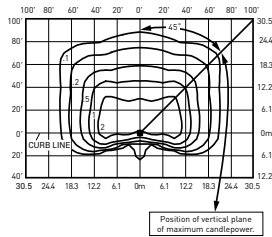
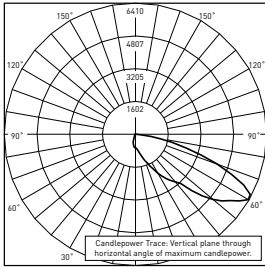
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

Photometry

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4MB



RESTL Test Report #: PL10023-002B  
ARE-EDG-4MB-\*\*-06-E-UL-525-40K  
Initial Delivered Lumens: 7,985

ARE-EDG-4MB-\*\*-10-E-UL-525-40K  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 13,185  
Initial FC at grade

Type IV Medium Distribution w/BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,560	B0 U0 G1	1,884	B0 U0 G1	1,432	B0 U0 G1	1,921	B0 U0 G1	615	B0 U0 G0
04	3,121	B1 U0 G1	3,768	B1 U0 G1	2,865	B0 U0 G1	3,843	B1 U0 G1	1,230	B0 U0 G1
06	4,628	B1 U0 G1	5,588	B1 U0 G1	4,248	B1 U0 G1	5,698	B1 U0 G2	1,824	B0 U0 G1
08	6,170	B1 U0 G2	7,450	B1 U0 G2	5,664	B1 U0 G2	7,598	B1 U0 G2	2,431	B0 U0 G1
10	7,695	B1 U0 G2	9,291	B1 U0 G2	7,063	B1 U0 G2	9,475	B1 U0 G2	3,032	B1 U0 G1
12	9,233	B1 U0 G2	11,149	B1 U0 G2	8,476	B1 U0 G2	11,370	B1 U0 G2	3,638	B1 U0 G1
14	10,704	B1 U0 G2	12,924	B1 U0 G2	9,825	B1 U0 G2	13,181	B1 U0 G2	4,218	B1 U0 G1
16	12,233	B1 U0 G2	14,771	B2 U0 G2	11,229	B1 U0 G2	15,063	B2 U0 G2	4,820	B1 U0 G1
<b>525mA</b>										
02	2,217	B1 U0 G1	2,674	B1 U0 G1	2,035	B1 U0 G1	2,730	B1 U0 G1		N/A
04	4,434	B1 U0 G1	5,348	B1 U0 G1	4,070	B1 U0 G1	5,460	B1 U0 G1		N/A
06	6,575	B1 U0 G2	7,930	B1 U0 G2	6,035	B1 U0 G2	8,096	B1 U0 G2		N/A
08	8,766	B1 U0 G2	10,573	B1 U0 G2	8,047	B1 U0 G2	10,794	B1 U0 G2		N/A
10	10,932	B1 U0 G2	13,185	B1 U0 G2	10,034	B1 U0 G2	13,461	B2 U0 G2		N/A
12	13,118	B1 U0 G2	15,821	B2 U0 G3	12,041	B1 U0 G2	16,153	B2 U0 G3		N/A
14	15,208	B2 U0 G2	18,341	B2 U0 G3	13,959	B2 U0 G2	18,726	B2 U0 G3		N/A
16	17,380	B2 U0 G3	20,962	B2 U0 G3	15,953	B2 U0 G3	21,401	B2 U0 G3		N/A
<b>700mA</b>										
02	2,615	B1 U0 G1	3,156	B1 U0 G1	2,400	B1 U0 G1	3,220	B1 U0 G1		N/A
04	5,230	B1 U0 G1	6,311	B1 U0 G2	4,801	B1 U0 G1	6,440	B1 U0 G2		N/A
06	7,755	B1 U0 G2	9,359	B1 U0 G2	7,119	B1 U0 G2	9,549	B1 U0 G2		N/A

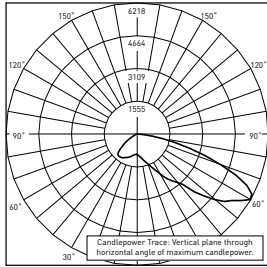
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
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THE EDGE® LED Area/Flood Luminaire

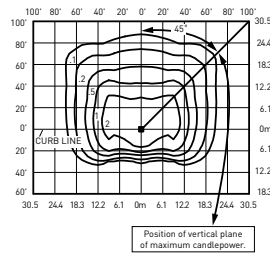
**Photometry**

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**4MP**



RESTL Test Report #: PL10097-003B  
 ARE-EDG-4MP-\*\*-06-E-UL-525-40K  
 Initial Delivered Lumens: 9,410



ARE-EDG-4MP-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 15,458  
 Initial FC at grade

Type IV Medium Distribution w/Partial BLS										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	1,829	B1 U0 G1	2,209	B1 U0 G1	1,679	B1 U0 G1	2,253	B1 U0 G1	721	B0 U0 G0
04	3,659	B1 U0 G1	4,418	B1 U0 G1	3,359	B1 U0 G1	4,505	B1 U0 G1	1,442	B1 U0 G1
06	5,426	B1 U0 G1	6,551	B2 U0 G1	4,980	B1 U0 G1	6,681	B2 U0 G1	2,138	B1 U0 G1
08	7,234	B2 U0 G2	8,735	B2 U0 G2	6,640	B2 U0 G1	8,908	B2 U0 G2	2,851	B1 U0 G1
10	9,021	B2 U0 G2	10,892	B2 U0 G2	8,281	B2 U0 G2	11,108	B2 U0 G2	3,555	B1 U0 G1
12	10,825	B2 U0 G2	13,071	B2 U0 G2	9,937	B2 U0 G2	13,330	B2 U0 G2	4,266	B1 U0 G1
14	12,550	B2 U0 G2	15,153	B2 U0 G2	11,520	B2 U0 G2	15,453	B3 U0 G2	4,945	B1 U0 G1
16	14,343	B2 U0 G2	17,317	B3 U0 G2	13,165	B2 U0 G2	17,661	B3 U0 G2	5,651	B1 U0 G1
<b>525mA</b>										
02	2,599	B1 U0 G1	3,135	B1 U0 G1	2,386	B1 U0 G1	3,200	B1 U0 G1		N/A
04	5,198	B1 U0 G1	6,270	B2 U0 G1	4,772	B1 U0 G1	6,401	B2 U0 G1		N/A
06	7,708	B2 U0 G2	9,297	B2 U0 G2	7,076	B2 U0 G2	9,492	B2 U0 G2		N/A
08	10,278	B2 U0 G2	12,396	B2 U0 G2	9,434	B2 U0 G2	12,656	B2 U0 G2		N/A
10	12,817	B2 U0 G2	15,458	B3 U0 G2	11,764	B2 U0 G2	15,782	B3 U0 G2		N/A
12	15,380	B3 U0 G2	18,549	B3 U0 G2	14,117	B2 U0 G2	18,938	B3 U0 G3		N/A
14	17,830	B3 U0 G2	21,504	B3 U0 G3	16,366	B3 U0 G2	21,954	B3 U0 G3		N/A
16	20,377	B3 U0 G3	24,576	B3 U0 G3	18,704	B3 U0 G3	25,091	B3 U0 G3		N/A
<b>700mA</b>										
02	3,066	B1 U0 G1	3,700	B1 U0 G1	2,814	B1 U0 G1	3,775	B1 U0 G1		N/A
04	6,132	B2 U0 G1	7,400	B2 U0 G2	5,628	B1 U0 G1	7,550	B2 U0 G2		N/A
06	9,092	B2 U0 G2	10,973	B2 U0 G2	8,346	B2 U0 G2	11,196	B2 U0 G2		N/A

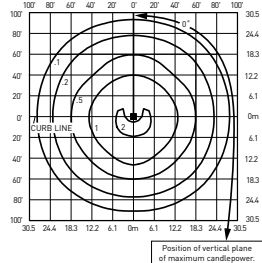
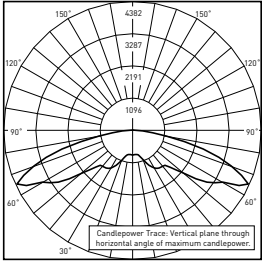
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
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THE EDGE® LED Area/Flood Luminaire

Photometry

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5M



RESTL Test Report #: PL09285-001  
ARE-EDG-5M-\*\*-06-E-UL-700-40K  
Initial Delivered Lumens: 13,136

ARE-EDG-5M-\*\*-10-E-UL-525-40K  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 18,413  
Initial FC at grade

Type V Medium Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	2,179	B2 U0 G1	2,631	B2 U0 G1	2,000	B1 U0 G1	2,683	B2 U0 G1	859	B1 U0 G1
04	4,358	B3 U0 G1	5,262	B3 U0 G1	4,001	B2 U0 G1	5,367	B3 U0 G1	1,717	B1 U0 G1
06	6,463	B3 U0 G1	7,804	B3 U0 G2	5,932	B3 U0 G1	7,958	B3 U0 G2	2,547	B2 U0 G1
08	8,617	B3 U0 G2	10,405	B4 U0 G2	7,910	B3 U0 G2	10,611	B4 U0 G2	3,395	B2 U0 G1
10	10,746	B4 U0 G2	12,975	B4 U0 G2	9,864	B3 U0 G2	13,232	B4 U0 G2	4,234	B3 U0 G1
12	12,895	B4 U0 G2	15,570	B4 U0 G3	11,836	B4 U0 G2	15,878	B4 U0 G3	5,081	B3 U0 G1
14	14,949	B4 U0 G3	18,049	B4 U0 G3	13,722	B4 U0 G2	18,407	B4 U0 G3	5,890	B3 U0 G1
16	17,085	B4 U0 G3	20,628	B5 U0 G3	15,682	B4 U0 G3	21,037	B5 U0 G3	6,732	B3 U0 G2
<b>525mA</b>										
02	3,096	B2 U0 G1	3,734	B3 U0 G1	2,842	B2 U0 G1	3,812	B3 U0 G1		N/A
04	6,192	B3 U0 G1	7,468	B3 U0 G2	5,684	B3 U0 G1	7,625	B3 U0 G2		N/A
06	9,182	B3 U0 G2	11,074	B4 U0 G2	8,428	B3 U0 G2	11,306	B4 U0 G2		N/A
08	12,243	B4 U0 G2	14,766	B4 U0 G2	11,238	B4 U0 G2	15,075	B4 U0 G3		N/A
10	15,267	B4 U0 G3	18,413	B4 U0 G3	14,014	B4 U0 G2	18,799	B4 U0 G3		N/A
12	18,320	B4 U0 G3	22,096	B5 U0 G3	16,816	B4 U0 G3	22,558	B5 U0 G3		N/A
14	21,238	B5 U0 G3	25,615	B5 U0 G3	19,495	B4 U0 G3	26,151	B5 U0 G3		N/A
16	24,272	B5 U0 G3	29,274	B5 U0 G3	22,280	B5 U0 G3	29,887	B5 U0 G3		N/A
<b>700mA</b>										
02	3,652	B3 U0 G1	4,407	B3 U0 G1	3,352	B2 U0 G1	4,497	B3 U0 G1		N/A
04	7,304	B3 U0 G2	8,814	B3 U0 G2	6,704	B3 U0 G2	8,993	B3 U0 G2		N/A
06	10,831	B4 U0 G2	13,070	B4 U0 G2	9,941	B3 U0 G2	13,336	B4 U0 G2		N/A

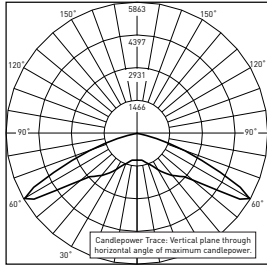
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



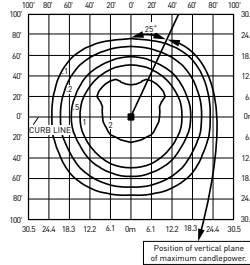
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

55



RESTL Test Report #: PL09286-001A  
 ARE-EDG-5S-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 14,123



ARE-EDG-5S-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 20,459  
 Initial FC at grade

Type V Short Distribution										
LED Count (x10)	3000K		4000K		5000K		5700K		TRL	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
<b>350mA</b>										
02	2,421	B1 U0 G0	2,924	B2 U0 G0	2,223	B1 U0 G0	2,982	B2 U0 G0	954	B1 U0 G0
04	4,843	B2 U0 G1	5,847	B3 U0 G1	4,445	B2 U0 G1	5,963	B3 U0 G1	1,908	B1 U0 G0
06	7,181	B3 U0 G1	8,671	B3 U0 G1	6,592	B3 U0 G1	8,842	B3 U0 G1	2,830	B2 U0 G0
08	9,575	B3 U0 G1	11,561	B3 U0 G2	8,789	B3 U0 G1	11,790	B3 U0 G2	3,773	B2 U0 G1
10	11,940	B3 U0 G2	14,416	B4 U0 G2	10,960	B3 U0 G2	14,702	B4 U0 G2	4,705	B2 U0 G1
12	14,328	B4 U0 G2	17,300	B4 U0 G2	13,152	B3 U0 G2	17,642	B4 U0 G2	5,646	B3 U0 G1
14	16,610	B4 U0 G2	20,055	B4 U0 G2	15,246	B4 U0 G2	20,453	B4 U0 G2	6,545	B3 U0 G1
16	18,983	B4 U0 G2	22,920	B4 U0 G2	17,424	B4 U0 G2	23,374	B4 U0 G2	7,480	B3 U0 G1
<b>525mA</b>										
02	3,440	B2 U0 G0	4,149	B2 U0 G1	3,158	B2 U0 G0	4,236	B2 U0 G1		N/A
04	6,880	B3 U0 G1	8,298	B3 U0 G1	6,315	B3 U0 G1	8,472	B3 U0 G1		N/A
06	10,202	B3 U0 G2	12,305	B3 U0 G2	9,365	B3 U0 G1	12,563	B3 U0 G2		N/A
08	13,603	B3 U0 G2	16,406	B4 U0 G2	12,486	B3 U0 G2	16,750	B4 U0 G2		N/A
10	16,963	B4 U0 G2	20,459	B4 U0 G2	15,571	B4 U0 G2	20,887	B4 U0 G2		N/A
12	20,356	B4 U0 G2	24,551	B4 U0 G2	18,685	B4 U0 G2	25,065	B4 U0 G2		N/A
14	23,598	B4 U0 G2	28,461	B5 U0 G3	21,661	B4 U0 G2	29,057	B5 U0 G3		N/A
16	26,969	B4 U0 G2	32,527	B5 U0 G3	24,755	B4 U0 G2	33,208	B5 U0 G3		N/A
<b>700mA</b>										
02	4,058	B2 U0 G1	4,897	B2 U0 G1	3,725	B2 U0 G1	4,996	B2 U0 G1		N/A
04	8,115	B3 U0 G1	9,793	B3 U0 G1	7,449	B3 U0 G1	9,993	B3 U0 G2		N/A
06	12,034	B3 U0 G2	14,523	B4 U0 G2	11,046	B3 U0 G2	14,818	B4 U0 G2		N/A

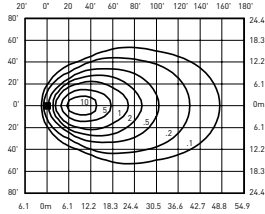
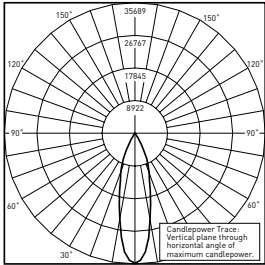
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

THE EDGE® LED Area/Flood Luminaire

**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

25°



RESTL Test Report #: PL09832-003B  
 FLD-EDG-25-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 14,998

FLD-EDG-25-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 20,913  
 Initial FC at grade

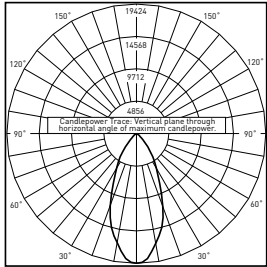
25° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
<b>525mA</b>					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
<b>700mA</b>					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

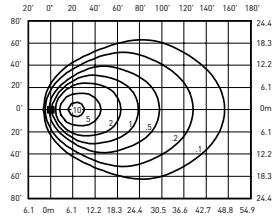
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

40°



RESTL Test Report #: PL09832-002B  
 FLD-EDG-40-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 13,808



FLD-EDG-40-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 20,459  
 Initial FC at grade

40° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,421	2,924	2,223	2,982	954
04	4,843	5,847	4,445	5,963	1,908
06	7,181	8,671	6,592	8,842	2,830
08	9,575	11,561	8,789	11,790	3,773
10	11,940	14,416	10,960	14,702	4,705
12	14,328	17,300	13,152	17,642	5,646
14	16,610	20,055	15,246	20,453	6,545
16	18,983	22,920	17,424	23,374	7,480
<b>525mA</b>					
02	3,440	4,149	3,158	4,236	N/A
04	6,880	8,298	6,315	8,472	N/A
06	10,202	12,305	9,365	12,563	N/A
08	13,603	16,406	12,486	16,750	N/A
10	16,963	20,459	15,571	20,887	N/A
12	20,356	24,551	18,685	25,065	N/A
14	23,598	28,461	21,661	29,057	N/A
16	26,969	32,527	24,755	33,208	N/A
<b>700mA</b>					
02	4,058	4,897	3,725	4,996	N/A
04	8,115	9,793	7,449	9,993	N/A
06	12,034	14,523	11,046	14,818	N/A

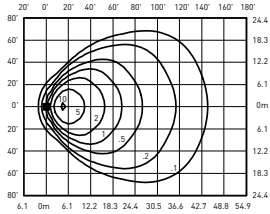
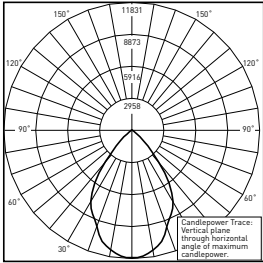
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

70°



RECTL Test Report #: PL09832-001B  
 FLD-EDG-70-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 13,888

FLD-EDG-70-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 18,640  
 Initial FC at grade

70° Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,206	2,664	2,025	2,716	869
04	4,412	5,327	4,050	5,433	1,739
06	6,543	7,900	6,006	8,056	2,578
08	8,724	10,533	8,008	10,742	3,437
10	10,879	13,135	9,986	13,395	4,286
12	13,054	15,762	11,983	16,074	5,144
14	15,133	18,272	13,891	18,635	5,963
16	17,295	20,883	15,876	21,297	6,815
<b>525mA</b>					
02	3,134	3,780	2,877	3,859	N/A
04	6,269	7,560	5,754	7,719	N/A
06	9,295	11,211	8,532	11,446	N/A
08	12,394	14,948	11,377	15,261	N/A
10	15,455	18,640	14,187	19,031	N/A
12	18,546	22,368	17,024	22,837	N/A
14	21,500	25,931	19,735	26,474	N/A
16	24,572	29,636	22,555	30,256	N/A
<b>700mA</b>					
02	3,697	4,461	3,393	4,552	N/A
04	7,394	8,923	6,787	9,104	N/A
06	10,964	13,232	10,064	13,501	N/A

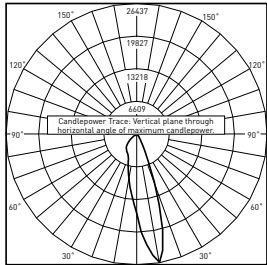
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

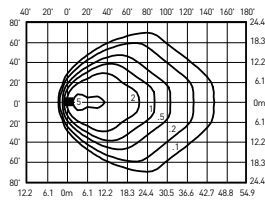
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

**SN**



RESTL Test Report #: PL10142-001B  
 FLD-EDG-SN-\*\*-06-E-UL-700-40K  
 Initial Delivered Lumens: 13,701



FLD-EDG-SN-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 18,868  
 Initial FC at grade

SN Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,233	2,696	2,050	2,750	880
04	4,466	5,392	4,099	5,499	1,760
06	6,623	7,996	6,079	8,155	2,609
08	8,830	10,662	8,105	10,873	3,479
10	11,011	13,295	10,107	13,559	4,339
12	13,213	15,954	12,129	16,270	5,206
14	15,318	18,495	14,061	18,862	6,036
16	17,506	21,137	16,069	21,556	6,898
<b>525mA</b>					
02	3,172	3,826	2,912	3,906	N/A
04	6,345	7,653	5,824	7,813	N/A
06	9,409	11,348	8,636	11,585	N/A
08	12,545	15,130	11,515	15,447	N/A
10	15,644	18,868	14,360	19,263	N/A
12	18,773	22,641	17,231	23,115	N/A
14	21,763	26,247	19,976	26,797	N/A
16	24,871	29,997	22,830	30,625	N/A
<b>700mA</b>					
02	3,742	4,516	3,435	4,608	N/A
04	7,484	9,032	6,870	9,215	N/A
06	11,098	13,393	10,187	13,665	N/A

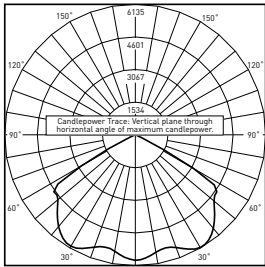
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

THE EDGE® LED Area/Flood Luminaire

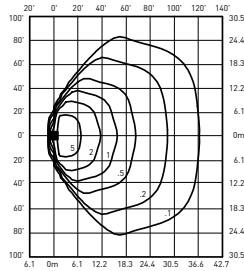
**Photometry**

All published luminaire photometric testing performed to IES LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/area/cree-edge-series-1>

**N6**



RESTL Test Report #: PL09832-004B  
 FLD-EDG-N6-\*\*-D6-E-UL-700-40K  
 Initial Delivered Lumens: 15,251









FLD-EDG-N6-\*\*-10-E-UL-525-40K  
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
 Initial Delivered Lumens: 20,913  
 Initial FC at grade

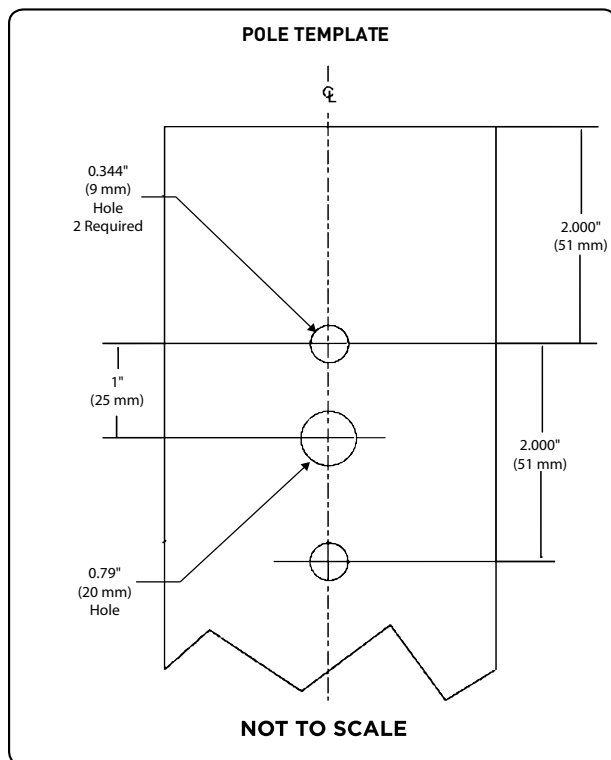
NEMA® 6 Flood Distribution					
LED Count (x10)	3000K	4000K	5000K	5700K	TRL
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
<b>350mA</b>					
02	2,475	2,989	2,272	3,048	975
04	4,950	5,977	4,544	6,096	1,951
06	7,341	8,863	6,738	9,039	2,892
08	9,788	11,818	8,984	12,052	3,857
10	12,205	14,737	11,203	15,029	4,809
12	14,646	17,684	13,444	18,035	5,771
14	16,979	20,501	15,585	20,907	6,690
16	19,405	23,429	17,812	23,894	7,646
<b>525mA</b>					
02	3,516	4,241	3,228	4,330	N/A
04	7,033	8,482	6,456	8,660	N/A
06	10,429	12,578	9,573	12,842	N/A
08	13,905	16,771	12,764	17,122	N/A
10	17,340	20,913	15,917	21,352	N/A
12	20,808	25,096	19,100	25,622	N/A
14	24,122	29,093	22,142	29,703	N/A
16	27,568	33,250	25,305	33,946	N/A
<b>700mA</b>					
02	4,148	5,006	3,807	5,107	N/A
04	8,296	10,011	7,615	10,215	N/A
06	12,301	14,845	11,292	15,147	N/A

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens










**Luminaire EPA**

Fixed Arm Mount – ARE-EDG-DA						
LED Count (x10)	Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
						
02	0.60	0.87	1.20	1.47	1.47	1.75
04	0.60	0.87	1.20	1.47	1.47	1.75
06	0.60	0.92	1.20	1.51	1.51	1.83
08	0.60	0.96 N/A with 3" poles	1.20	1.55 N/A with 3" poles	1.55	1.91 N/A with 3" poles
10	0.60	1.00 N/A with 3" poles	1.20	1.60 N/A with 3" poles	1.60	2.00 N/A with 3" poles
12	0.60	1.04 N/A with 3" poles	1.20	1.64 N/A with 3" poles	1.64	2.08 N/A with 3" poles
14	0.60	1.08 N/A with 3" or 4" poles	1.20	1.68 N/A with 3" or 4" poles	1.68	2.16 N/A with 3" or 4" poles
16	0.60	1.12 N/A with 3" or 4" poles	1.20	1.72 N/A with 3" or 4" poles	1.72	2.24 N/A with 3" or 4" poles
Fixed Arm Mount – ARE-EDG-DL						
02	0.75	1.02	1.50	1.77	1.77	1.91
04	0.75	1.02	1.50	1.77	1.77	1.91
06	0.75	1.07	1.50	1.82	1.82	1.98
08	0.75	1.11	1.50	1.86	1.86	2.04
10	0.75	1.15	1.50	1.90	1.90	2.10
12	0.75	1.19	1.50	1.94	1.94	2.16
14	0.75	1.23	1.50	1.98	1.98	2.22
16	0.75	1.27	1.50	2.02	2.02	2.28

**Fixture Mounting Drill Pattern for DA and DL Mounts**



**Luminaire EPA**










<b>Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA</b>									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
<b>Tenon Configuration</b> If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
<b>0° Tilt</b>									
02	0.66	0.98	1.32	1.32	1.77	1.64	1.98	1.91	2.64
04	0.66	0.98	1.32	1.32	1.64	1.64	1.98	1.97	2.64
06	0.66	1.02	1.32	1.32	1.68	1.68	1.98	2.05	2.64
08	0.66	1.07	1.32	1.32	1.80	1.72	1.98	2.29	2.64
10	0.66	1.11	1.32	1.32	1.76	1.76	1.98	2.21	2.64
12	0.66	1.15	1.32	1.32	1.80	1.80	1.98	2.29	2.64
14	0.66	1.19	1.32	1.32	1.84	1.84	1.98	2.38	2.64
16	0.66	1.23	1.32	N/A	1.89	1.89	N/A	2.46	N/A
<b>30° Tilt</b>									
02	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
04	0.71	1.37	1.42	1.42	2.08	2.08	2.13	2.73	2.84
06	0.82	1.48	1.64	1.64	2.30	2.30	2.46	2.95	3.28
08	0.93	1.59	1.86	1.86	2.52	2.52	2.79	3.17	3.72
10	1.04	1.70	2.08	2.08	2.74	2.74	3.12	3.40	4.16
12	1.15	1.81	2.30	2.30	2.96	2.96	3.45	3.62	4.60
14	1.26	1.92	2.52	2.52	3.18	3.18	3.78	3.84	5.04
16	1.37	2.03	2.74	N/A	3.40	3.40	N/A	4.06	N/A
<b>45° Tilt</b>									
02	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
04	0.89	1.55	1.78	1.78	2.45	2.45	2.67	3.10	3.56
06	1.03	1.69	2.06	2.06	2.72	2.72	3.09	3.38	4.12
08	1.17	1.83	2.34	2.34	3.00	3.00	3.51	3.66	4.68
10	1.31	1.97	2.62	2.62	3.28	3.28	3.93	3.94	5.24
12	1.45	2.11	2.90	2.90	3.56	3.56	4.35	4.21	5.80
14	1.59	2.25	3.18	3.18	3.83	3.83	4.77	4.49	6.36
16	1.73	2.38	3.46	N/A	4.11	4.11	N/A	4.77	N/A
<b>60° Tilt</b>									
02	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
04	1.20	1.86	2.40	2.40	3.06	3.06	3.60	3.72	4.80
06	1.39	2.05	2.78	2.78	3.44	3.44	4.17	4.10	5.56
08	1.58	2.23	3.16	3.16	3.81	3.81	4.74	4.47	6.32
10	1.77	2.42	3.54	3.54	4.19	4.19	5.31	4.84	7.08
12	1.95	2.61	3.90	3.90	4.56	4.56	5.85	5.22	7.80
14	2.14	2.80	4.28	4.28	4.94	4.94	6.42	5.59	8.56
16	2.33	2.98	4.66	N/A	5.31	5.31	N/A	5.97	N/A

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]



THE EDGE® LED Area/Flood Luminaire

Luminaire EPA

Adjustable Arm Mount – ARE-EDG-AA/FLD-EDG-AA/SA									
LED Count (x10)	Single	2 @ 90°	2 @ 180°	In-Line 2 @ 180°	3 @ 90°	3 @ 120°	In-Line 3 @ 180°	4 @ 90°	In-Line 4 @ 180°
<b>Tenon Configuration</b> If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA									
									
	Vertical: PB-1A*; PT-1; PW-1A3** Horizontal: By others	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(90); PT-2(90)	Vertical: PB-2A*; PB-2R2.375; PW-2A3** Horizontal: PD-2A4(180); PT-2(180)	Vertical: PB-2A*; PB-2R2.375	Vertical: PB-3A*; PB-3R2.375 Horizontal: PD-3A4(90); PT-3(90)	Vertical: PB-3A*; PB-3R2.375 Horizontal: PT-3(120)	Vertical: PB-3A*; PB-3R2.375	Vertical: PB-4A*(90); PB-4R2.375 Horizontal: PD-4A4(90) PT-4(90)	Vertical: PB-4A*(180); PB-4R2.375
<b>90° Tilt</b>									
02	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
04	1.85	2.51	3.70	3.64	4.36	4.36	5.55	5.02	7.40
06	2.14	2.80	4.28	4.22	4.94	4.94	6.42	5.59	8.56
08	2.43	3.09	4.86	4.78	5.51	5.51	7.29	6.17 N/A with horizontal tenon	9.72
10	2.71	3.37	5.42	5.34	6.08	6.08	8.13	6.74 N/A with horizontal tenon	10.84
12	3.00	3.66	6.00	5.90	6.66	6.66	9.00	7.31 N/A with horizontal tenon	12.00
14	3.29	3.95 N/A with PW-2A3**	6.58	6.48	7.23	7.23	9.87	7.89 N/A with horizontal tenon	13.16
16	3.57	4.23 N/A with PW-2A3**	7.14	N/A	7.81	7.81	N/A	8.46 N/A with horizontal tenon	N/A

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenon EPA

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

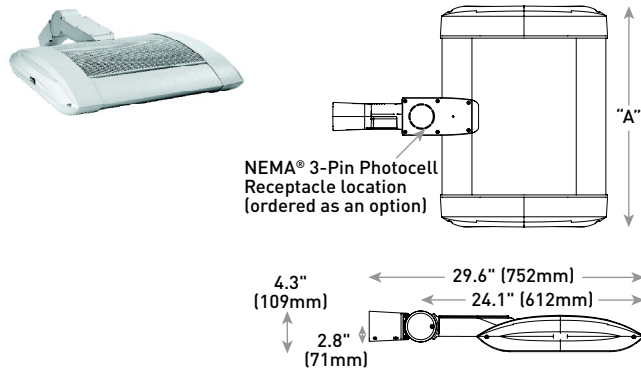
\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets <sup>†</sup> (must specify color)	
<p><b>Square Internal Mount Vertical Tenons (Steel)</b>                      - Mounts to 3-6" (76-152mm) square aluminum or steel poles                      PB-1A* – Single PB-4A*(90) – 90° Quad                      PB-2A* – 180° Twin PB-4A*(180) – 180° Quad                      PB-3A* – 180° Triple</p> <p><b>Square Internal Mount Horizontal Tenons (Aluminum)</b>                      - Mounts to 4" (102mm) square aluminum or steel poles                      PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple                      PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad</p> <p><b>Wall Mount Brackets</b>                      - Mounts to wall or roof                      WM-2 – Horizontal for AA and SA mounts                      WM-4 – L-Shape for AA and SA mounts                      WM-DM – Plate for DA and DL mounts</p>	<p><b>Round External Mount Vertical Tenons (Steel)</b>                      - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons                      PB-2R2.375 – Twin PB-4R2.375 – Quad                      PB-3R2.375 – Triple</p> <p><b>Round External Mount Horizontal Tenons (Aluminum)</b>                      - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons                      - Mounts to square pole with PB-1A* tenon                      PT-1 – Single (Vertical) PT-3(90) – 90° Triple                      PT-2(90) – 90° Twin PT-3(120) – 120° Triple                      PT-2(180) – 180° Twin PT-4(90) – 90° Quad</p> <p><b>Mid-Pole Bracket</b>                      - Mounts to square pole                      PW-1A3** – Single PW-2A3** – Double</p> <p><b>Ground Mount Post</b>                      - For ground mounted flood luminaires                      PGM-1                      - For use with AA and SA mounts</p>

<sup>†</sup> Refer to the [Bracket and Tenons spec sheet](#) for more details

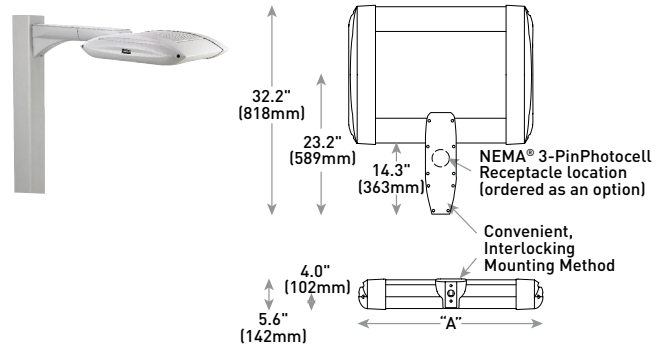
THE EDGE® LED Area/Flood Luminaire

**AA Mount**



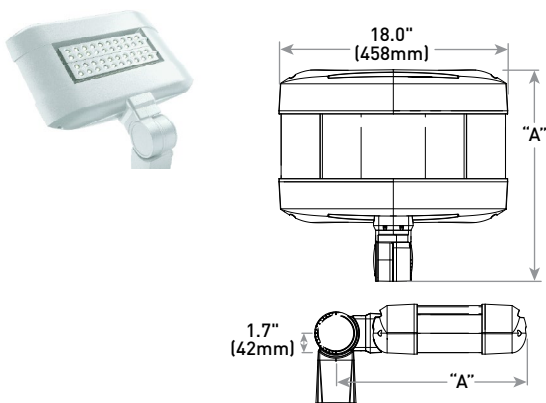
LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

**DL Mount**



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	23 lbs. (10kg)
04	12.1" (306mm)	26 lbs. (12kg)
06	14.1" (357mm)	29 lbs. (13kg)
08	16.1" (408mm)	30 lbs. (14kg)
10	18.1" (459mm)	34 lbs. (15kg)
12	20.1" (510mm)	36 lbs. (16kg)
14	22.1" (560mm)	42 lbs. (19kg)
16	24.1" (611mm)	44 lbs. (20kg)

**SA Mount**



LED Count (x10)	Dim. "A"	Weight
02	16.0" (406mm)	25 lbs. (11kg)
04	18.0" (457mm)	26 lbs. (12kg)
06	20.0" (508mm)	28 lbs. (13kg)

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# OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology – Version C

Rev. Date: V3 04/17/2023

GC TO SEE NOTES BELOW

## Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, high-mast and internal roadways

## Performance Summary

Utilizes Patented NanoComfort™ Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

**Initial Delivered Lumens:** 4,000 - 75,000

**Efficacy:** Up to 171 LPW

**CRI:** Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

**CCT:** 3000K, 4000K, 5000K, 5700K

**Limited Warranty\*:** 10 years for luminaire; 10 years for Colorfast DeltaGuard® finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

\*See <http://creelighting.com/warranty> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

## Ordering Information

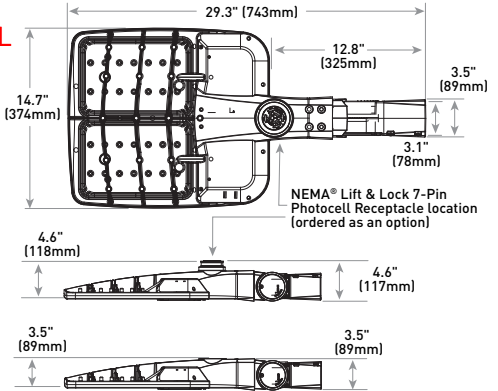
Fully assembled luminaire is composed of two components that must be ordered separately:

Example: **Mount:** OSQ-ML-C-AA-BK + **Luminaire:** OSQM-C-4L-30K7-2M-UL-NM-BK

Mount (Luminaire must be ordered separately)*			
OSQ-			
<b>Medium/Large Mounts</b>	<b>Extra Large Mounts</b>	<b>Color Options:</b> SV Silver BK Black BZ Bronze WH White	
OSQ-ML-C-AA Adjustable Arm	OSQ-X-C-AA Adjustable Arm		
OSQ-ML-C-DA Direct Arm	OSQ-X-C-DA Direct Arm		
OSQ-ML-C-TM Trunnion Mount			

\* Reference fixture mounting drill pattern, EPA, and pole configuration suitability data beginning on page 14.

## OSQM - AA Mount



Luminaire	Weight
OSQM	19.3 lbs. (8.8kg)

Note: For OSQL, OSQX and additional mounts, refer to drawings beginning on page 26.

GC TO REFERENCE PLANS FOR COLOR DESIGNATION

## Luminaire (Mount must be ordered separately)

OSQ	C	Series	Lumen Package <sup>1</sup>	CCT/ CRI	Optic	Voltage	Mount	Color Options	Controls*	Options				
OSQ	M Medium L Large X Extra Large	C	<b>Medium</b> 4L 4,000 Lumens 6L 6,000 Lumens 9L 9,000 Lumens 11L 11,000 Lumens 16L 16,000 Lumens	30K7 3000K, 70 CRI 40K7 4000K, 70 CRI 50K9 5000K, 90 CRI 57K7 5700K, 70 CRI	<b>Asymmetric</b> 2M Type II Mid 2B Type II Mid w/ Factory-Installed Backlight Shield 3M Type III Mid 3B Type III Mid w/ Factory-Installed Backlight Shield 4M Type IV Mid	4B Type IV Mid w/ Factory- Installed Backlight Shield AF Automotive FrontlineOptic™ AB Automotive- FrontlineOptic™ w/Factory- Installed Backlight Shield	UL Universal 120-277V UH Universal 347-480V - Not available with 4L, 40L or 75L lumen packages UE Universal 277-480V - Available only with 40L and 75L lumen packages	NM No Mount - Must specify mount from table above - Mount ships separately	BK Black BZ Bronze SV Silver WH White	<b>BML Bluetooth® Technology Enabled Multi-Level Sensor</b> - Utilizes a multifunction sensor - Refer to BML spec sheet for details - 20-40° sensor lens installed on luminaire; 8-20° sensor lens and aisle shroud included - Intended for downlight applications at 0° tilt - Not available with Q or X options or Synapse TL7-B2 or TL7-HVG accessories <b>Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1 Field Adjustable Output</b> - Must select Q9, Q8, Q7, Q6, Q5, Q4, Q3, Q2, or Q1 - Offers full range adjustability - Refer to pages 15-25 for power and lumen values - Not available with BML or X options or Synapse TL7-B2 or TL7-HVG accessories <b>X8/X7/X6/X5/X4/X3/X2/X1 Locked Lumen Output</b> - Must select X8, X7, X6, X5, X4, X3, X2, or X1 - Not available with BML or Q options - X1 option not available with the following lumen package/voltage offerings: 9L/UL, 16L/UL, 16L/UH, 30L/UL, 30L/UH, 65L/UL, 65L/UH - X2 option not available 9L/UL lumen package/voltage - Lumen output is permanently locked to the setting selected - Refer to pages 15-25 for power and lumen values	<b>20KV 20kV/10KA Surge Suppression</b> - Replaces standard 10kV/5kA surge protection <b>F Fuse</b> - Compatible with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) - When code dictates fusing, use time delay fuse <b>N Utility Label and NEMA® Lift &amp; Lock 7-Pin Photocell Receptacle</b> - External utility label per ANSI C136.15-2020 - 7-pin receptacle per ANSI C136.41 - Available only with OSQM & OSQL luminaires - Intended for downlight applications with maximum 45° tilt - Factory connected 0-10V dim leads - Requires photocell or shorting cap by others <b>R NEMA® Lift &amp; Lock 7-Pin Photocell Receptacle</b> - 7-pin receptacle per ANSI C136.41 - Intended for downlight applications with maximum 45° tilt - Factory connected 0-10V dim leads - Requires photocell or shorting cap by others - Refer to page 2 for compatible Synapse control offerings <b>RL Rotate Left</b> - LED and optic are rotated to the left - Refer to RR/RL configuration diagram on page 26 for optic directionality - Not for use with symmetric optics <b>RR Rotate Right</b> - LED and optic are rotated to the right - Refer to RR/RL configuration diagram on page 26 for optic directionality - Not for use with symmetric optics			
												<b>Large</b> 22L 22,000 Lumens 30L 30,000 Lumens 40L 40,000 Lumens 75L 75,000 Lumens	<b>Symmetric</b> 5M Type V Mid 5N Type V Narrow	33 NEMA® 3x3 44 NEMA® 4x4 55 NEMA® 5x5 66 NEMA® 6x6 75 NEMA® 7x5

GC TO VERIFY AND SPECIFY IF NOT UL

<sup>1</sup> Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values

\* Luminaire comes standard with 0-10V dimming



US: [creelighting.com](http://creelighting.com) (800) 236-6800  
Canada: [creelighting-canada.com](http://creelighting-canada.com) (800) 473-1234



## Product Specifications

### CREE LIGHTING NANOCOMFORT™ TECHNOLOGY

Cree Lighting's NanoComfort™ Technology ends the trade-offs in outdoor lighting by providing superior glare reduction and visual comfort in high-efficiency illumination delivered precisely where it is needed. The basic building block of NanoComfort™ Technology is a compact 4x4 array of LEDs. Each of the 16 LEDs in a module is in contact with its own acrylic polymer lens to capture and precisely direct light. With NanoComfort™ Technology, the acrylic optics are cut and sculpted into facets that relieve the glare and harshness while improving visual comfort – all while retaining superb efficacy and control.

### CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no-compromise solution.

### CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high-performance heat sink
- Acrylic optic w/clear tempered glass lens
- Convenient interlocking mounting method on direct arm. Mounting adaptor is rugged die cast aluminum and mounts to 3" (76mm) or larger square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers. Refer to page 14 for fixture mounting drill pattern
- Adjustable arm mount adapters are rugged die cast aluminum
- OSQ-ML-C-AA mounts to a horizontal or vertical 2" (51mm) IP, 2.375" (60mm) O.D. tenon and can be adjusted 180° in 2.5° increments
- OSQ-X-C-AA mounts to a horizontal or vertical 2" (51mm) IP, 2.375-2.50" (60-64mm) O.D. steel tenon and can be adjusted 180° in 5.0° increments. **NOTE: Tenon length must be a minimum of 3.75" (95mm), and tenon must be steel**
- Trunnion mount is constructed of A500 and A1011 steel and is adjustable from 0-180° in 15° degree increments. Trunnion mount secures to surface with (1) 3/4" bolt or (2) 1/2" or 3/8" bolts
- Luminaires include 15" (381mm) 18/5 cord exiting the luminaire
- Designed for uplight and downlight applications. Uplight orientation not suitable for use with N or R options
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available

Weight			
Mount	Housing Size		
	Medium	Large	Extra Large
Direct Arm	19.7 lbs. (8.9kg)	28.8 lbs. (13.1kg)	45.8 lbs. (20.8kg)
Adjustable Arm	19.3 lbs. (8.8kg)	28.4 lbs. (12.9kg)	48.6 lbs. (22.0kg)
Trunnion	23.2 lbs. (10.5kg)	32.3 lbs. (14.7kg)	N/A

For BML sensor add 0.1 lbs. (45g), and for NEMA receptacle, add 0.3 lbs. (136g).

### ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V, 277-480V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV/5kA surge suppression protection standard; 20kV/10kA surge suppression protection optional
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- Refer to [Dimming spec sheet](#) for details
- **Maximum 10V Source Current:** 1.8mA
- **Operating Temperature Range:** -40°C - +40°C (-40°F - +104°F)

### REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed (UL1598)
- Suitable for wet locations
- Meets NEMA C82.77 standards
- Drivers and LEDs are UL certified in accordance with UL8750
- Meets requirements of IP66 per IEC 60529 when ordered without N or R options
- Certified to ANSI C136.31-2018, 3G bridge and overpass vibration standards
- ANSI C136.2 10kV/5kA (standard) and 20kV/10kA (optional) surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Lens meets IK07 requirements per IEC 60068-2
- Assembled in the USA by Cree Lighting from US and imported parts
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT and direct arm mount only. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information (Pending)
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – [www.p65warnings.ca.gov](http://www.p65warnings.ca.gov)

## Product Specifications

### SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL

The Synapse SimplySNAP platform is a highly intuitive connected lighting solution featuring zone dimming, motion sensing, and daylight harvesting with utility-grade power monitoring and support of up to 1000 nodes per gateway. The system features a reliable and robust self-healing mesh network with a browser-based interface that runs on smartphones, tablets, and PCs. The Twist-Lock Lighting Controller (TL7-B2 or TL7-HVG) and Site Controller (SS450-002) take the OSQ Series to a new performance plateau, providing extreme energy productivity, code compliance and a better light experience.

Synapse Wireless Control Accessories	
<b>Twist-Lock Lighting Controller</b> TL7-B2 - Suitable for 120-277V (UL) voltage only - Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle - Not for use with BML or Q options - Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaire - Refer to <a href="#">TL7-B2</a> spec sheet for details	<b>Synapse Wireless Sensor</b> WSN-DPM - Motion and light sensor - Control multiple zones - Refer to <a href="#">WSN-DPM</a> spec sheet for details
<b>Twist-Lock Lighting Controller</b> TL7-HVG - Suitable for 120-480V (UL, UE and UH) voltages - Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle - Not for use with BML or Q options - Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaire - Refer to <a href="#">TL7-HVG</a> spec sheet for details	<b>SimplySNAP On-Site Controller</b> SS450-002 - Verizon® LTE-enabled - Designed for indoor applications - Refer to <a href="#">SS450-002</a> spec sheet for details
<b>SimplySNAP Central Base Station</b> CBS5W-450-002 - Includes On-Site Controller (SS450-002) and 5-button switch - Indoor and Outdoor rated - Refer to <a href="#">CBS5W-450-002</a> spec sheet for details	<b>Building Management System (BMS) Gateway</b> BMS-GW-002 - Required for BACnet integration - Refer to <a href="#">BMS-GW-002</a> spec sheet for details
	<b>Outdoor Antennas</b> <b>(Optional, for increased range, 8dB gain)</b> KIT-ANT420SM - Kit includes antenna, 20' cable and bracket KIT-ANT360 - Kit includes antenna, 30' cable and bracket KIT-ANT600 - Kit includes antenna, 50' cable and bracket - Refer to <a href="#">Outdoor antenna spec sheet</a> for details

Electrical Data*								
Lumen Package	System Watts 120-480V	Utility Label Wattage	Total Current (A)					
			120V	208V	240V	277V	347V	480V
4L**	26	30	0.21	0.12	0.11	0.09	N/A	N/A
6L	37	40	0.31	0.18	0.15	0.13	0.11	0.08
9L	55	60	0.46	0.27	0.23	0.20	0.16	0.12
11L	68	70	0.57	0.33	0.28	0.25	0.20	0.14
16L	97	100	0.81	0.47	0.40	0.35	0.28	0.20
22L	131	130	1.09	0.63	0.55	0.47	0.38	0.27
30L	175	180	1.46	0.84	0.73	0.63	0.50	0.36
40L	236	240	1.96	1.13	0.98	0.85	0.68	0.49
50L	297	N/A	2.48	1.43	1.24	1.07	0.86	0.62
65L	384	N/A	3.20	1.85	1.60	1.39	1.11	0.80
75L	447	N/A	3.73	2.15	1.86	1.61	1.29	0.93

\* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V, 277-480V or 347-480V +/- 10%.  
 \*\* Available with UL voltage only.

OSQ-C Series Ambient Adjusted Lumen Maintenance <sup>1</sup>					
Ambient	Initial LMF	25K hr Reported <sup>2</sup> LMF	50K hr Reported <sup>2</sup> LMF	75K hr Reported <sup>2</sup> LMF	100K hr Reported <sup>2</sup> LMF
5°C (41°F)	1.02	0.99	0.93	0.88	0.83
10°C (50°F)	1.02	0.98	0.93	0.87	0.82
15°C (59°F)	1.01	0.98	0.92	0.87	0.82
20°C (68°F)	1.01	0.97	0.92	0.86	0.81
25°C (77°F)	1.00	0.97	0.91	0.86	0.81

<sup>1</sup> Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.  
<sup>2</sup> In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

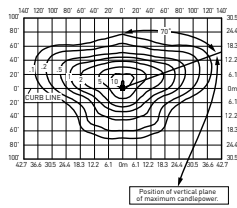
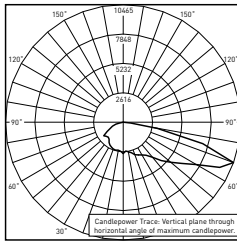
### Accessories

Field-Installed	
<b>Backlight Shield</b> OSQ-M-C-BLSF (Medium) OSQ-L-C-BLSF (Large) OSQ-X-C-BLSF (Extra Large) - Not for use with rotated optics	<b>Shorting Cap</b> XA-XSLSHRT
<b>Bird Spikes</b> OSQ-M-C-BRDSPK OSQ-L-C-BRDSPK OSQ-X-C-BRDSPK	

**Photometry**

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

**2M**



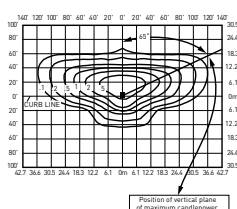
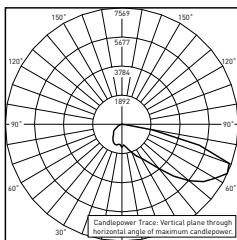
**PRELIMINARY RESTL Test Report**  
OSQ Luminaire w/2M Optic  
Initial Delivered Lumens: 15,560

OSQL-C-40L-40K7-2M-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 38,000  
Initial FC at grade

Type II Mid Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U1 G1	3,800	B1 U1 G1	2,590	B1 U1 G1	3,800	B1 U1 G1
6L	5,475	B1 U1 G1	5,700	B1 U1 G1	3,880	B1 U1 G1	5,700	B1 U1 G1
9L	8,225	B2 U1 G2	8,550	B2 U1 G2	5,825	B1 U1 G1	8,550	B2 U1 G2
11L	10,025	B2 U1 G2	10,450	B2 U1 G2	7,100	B2 U1 G2	10,450	B2 U1 G2
16L	14,650	B3 U1 G3	15,200	B3 U1 G3	10,325	B2 U1 G2	15,200	B3 U1 G3
22L	20,100	B3 U1 G3	20,900	B3 U1 G3	14,200	B3 U1 G3	20,900	B3 U1 G3
30L	27,400	B3 U1 G3	28,500	B3 U1 G3	19,400	B3 U1 G3	28,500	B3 U1 G3
40L	36,500	B4 U1 G4	38,000	B4 U1 G4	25,900	B3 U1 G3	38,000	B4 U1 G4
50L	45,600	B4 U1 G5	47,500	B4 U1 G5	32,300	B3 U1 G4	47,500	B4 U1 G5
65L	59,300	B4 U1 G5	61,800	B4 U1 G5	42,000	B4 U1 G4	61,800	B4 U1 G5
75L	68,400	B5 U1 G5	71,300	B5 U1 G5	48,500	B4 U1 G5	71,300	B5 U1 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**2B**



**PRELIMINARY RESTL Test Report**  
OSQ Luminaire w/2B Optic  
Initial Delivered Lumens: 10,422

OSQL-C-40L-40K7-2B-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 26,200  
Initial FC at grade

Type II Mid w/BLS Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G1	2,620	B1 U1 G1	1,780	B0 U1 G1	2,620	B1 U1 G1
6L	3,760	B1 U1 G1	3,920	B1 U1 G1	2,670	B1 U1 G1	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G2	7,200	B1 U1 G2	4,890	B1 U1 G1	7,200	B1 U1 G2
16L	10,075	B2 U1 G2	10,450	B2 U1 G2	7,100	B1 U1 G2	10,450	B2 U1 G2
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B1 U1 G2	14,375	B2 U1 G2
30L	18,800	B2 U1 G3	19,600	B2 U1 G3	13,350	B2 U1 G2	19,600	B2 U1 G3
40L	25,100	B3 U1 G3	26,200	B3 U1 G3	17,800	B2 U1 G3	26,200	B3 U1 G3
50L	31,400	B3 U1 G4	32,700	B3 U1 G4	22,200	B3 U1 G3	32,700	B3 U1 G4
65L	40,800	B3 U1 G4	42,500	B3 U1 G4	28,900	B3 U1 G3	42,500	B3 U1 G4
75L	47,100	B3 U1 G4	49,000	B3 U1 G5	33,300	B3 U1 G4	49,000	B3 U1 G5

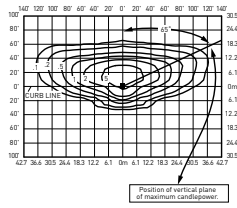
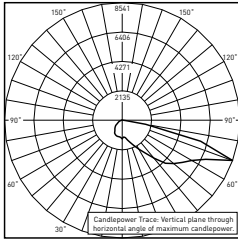
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**Photometry**

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:

<https://creelighting.com/products/outdoor/area/osq-series>

**2M W/OSQ-\*-C-BLSF**



**PRELIMINARY RESTL Test Report**  
OSQ Luminaire w/2M Optic w/OSQ-M-C-BLSF  
Initial Delivered Lumens: 9,579

OSQ-C-40L-40K7-2M-UL w/OSQ-L-C-BLSF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 26,200  
Initial FC at grade

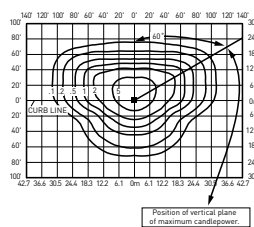
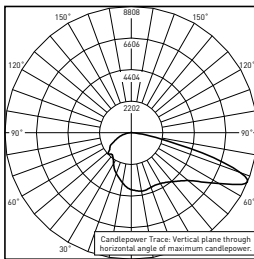
**Type II Mid Distribution w/OSQ-\*-C-BLSF**

Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G1	2,620	B1 U1 G1	1,780	B0 U1 G1	2,620	B1 U1 G1
6L	3,760	B1 U1 G1	3,920	B1 U1 G1	2,670	B1 U1 G1	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G2	7,200	B1 U1 G2	4,890	B1 U1 G2	7,200	B1 U1 G2
16L	10,075	B1 U1 G2	10,450	B1 U1 G2	7,100	B1 U1 G2	10,450	B1 U1 G2
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B1 U1 G2	14,375	B2 U1 G2
30L	18,800	B2 U1 G3	19,600	B2 U1 G3	13,350	B2 U1 G2	19,600	B2 U1 G3
40L	25,100	B3 U1 G3	26,200	B3 U1 G4	17,800	B2 U1 G3	26,200	B3 U1 G4
50L	31,400	B3 U1 G4	32,700	B3 U1 G4	22,200	B3 U1 G3	32,700	B3 U1 G4
65L	40,800	B3 U1 G4	42,500	B3 U1 G5	28,900	B3 U1 G4	42,500	B3 U1 G5
75L	47,100	B3 U1 G5	49,000	B3 U1 G5	33,300	B3 U1 G4	49,000	B3 U1 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**3M**



**RESTL Test Report #:** PL17240-001A  
OSQM-C-16L-57K7-3M-UL-NM-WH  
Initial Delivered Lumens: 15,444

OSQ-C-40L-40K7-3M-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 38,000  
Initial FC at grade

**Type III Mid Distribution**

Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U0 G1	3,800	B1 U0 G1	2,590	B1 U0 G1	3,800	B1 U0 G1
6L	5,475	B1 U0 G1	5,700	B1 U0 G1	3,880	B1 U0 G1	5,700	B1 U0 G1
9L	8,225	B2 U0 G2	8,550	B2 U0 G2	5,825	B1 U0 G1	8,550	B2 U0 G2
11L	10,025	B2 U0 G2	10,450	B2 U0 G2	7,100	B2 U0 G2	10,450	B2 U0 G2
16L	14,650	B3 U0 G3	15,200	B3 U0 G3	10,325	B2 U0 G2	15,200	B3 U0 G3
22L	20,100	B3 U0 G3	20,900	B3 U0 G3	14,200	B3 U0 G3	20,900	B3 U0 G3
30L	27,400	B3 U0 G3	28,500	B3 U0 G3	19,400	B3 U0 G3	28,500	B3 U0 G3
40L	36,500	B4 U0 G4	38,000	B4 U0 G4	25,900	B3 U0 G3	38,000	B4 U0 G4
50L	45,600	B4 U0 G4	47,500	B4 U0 G4	32,300	B3 U0 G4	47,500	B4 U0 G4
65L	59,300	B5 U0 G5	61,800	B5 U0 G5	42,000	B4 U0 G4	61,800	B5 U0 G5
75L	68,400	B5 U0 G5	71,300	B5 U0 G5	48,500	B4 U0 G4	71,300	B5 U0 G5

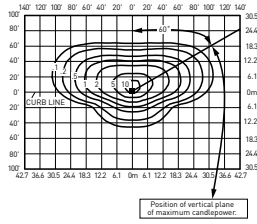
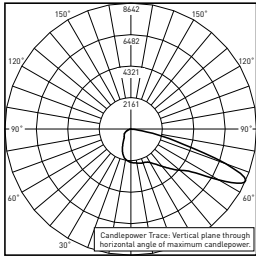
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**Photometry**

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**3B**



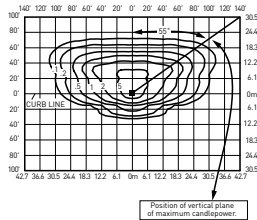
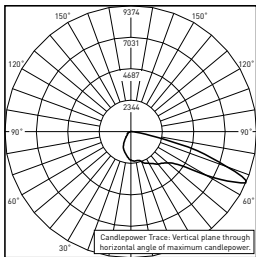
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OSQM-C-16L-57K7-3B-UL-NM-WH  
Initial Delivered Lumens: 10,081

OSQL-C-40L-40K7-3B-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 26,200  
Initial FC at grade

Type III Mid w/BLS Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U0 G1	2,620	B1 U0 G1	1,780	B0 U0 G1	2,620	B1 U0 G1
6L	3,760	B1 U0 G1	3,920	B1 U0 G1	2,670	B1 U0 G1	3,920	B1 U0 G1
9L	5,650	B1 U0 G1	5,875	B1 U0 G1	4,000	B1 U0 G1	5,875	B1 U0 G1
11L	6,900	B1 U0 G2	7,200	B1 U0 G2	4,890	B1 U0 G1	7,200	B1 U0 G2
16L	10,075	B2 U0 G2	10,450	B2 U0 G2	7,100	B1 U0 G2	10,450	B2 U0 G2
22L	13,800	B2 U0 G2	14,375	B2 U0 G2	9,775	B2 U0 G2	14,375	B2 U0 G2
30L	18,800	B3 U0 G3	19,600	B3 U0 G3	13,350	B2 U0 G2	19,600	B3 U0 G3
40L	25,100	B3 U0 G3	26,200	B3 U0 G3	17,800	B3 U0 G3	26,200	B3 U0 G3
50L	31,400	B3 U0 G4	32,700	B3 U0 G4	22,200	B3 U0 G3	32,700	B3 U0 G4
65L	40,800	B3 U0 G4	42,500	B4 U0 G4	28,900	B3 U0 G4	42,500	B4 U0 G4
75L	47,100	B4 U0 G5	49,000	B4 U0 G5	33,300	B3 U0 G4	49,000	B4 U0 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**3M W/OSQ-\*-C-BLSF**



RESSL Test Report#: PL17054-001A  
OSQM-C-16L-57K7-3M-UL-NM-WH-R w/  
OSQ-M-C-BLSF  
Initial Delivered Lumens: 10,227

OSQL-C-40L-40K7-3M-UL w/OSQ-L-C-BLSF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 26,200  
Initial FC at grade

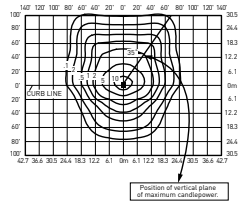
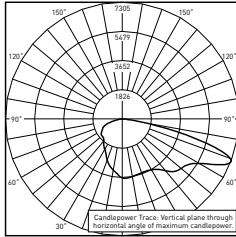
Type III Mid Distribution w/OSQ-*-C-BLSF								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G1	2,620	B1 U1 G1	1,780	B0 U1 G1	2,620	B1 U1 G1
6L	3,760	B1 U1 G1	3,920	B1 U1 G1	2,670	B1 U1 G1	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G2
11L	6,900	B1 U1 G2	7,200	B1 U1 G2	4,890	B1 U1 G1	7,200	B1 U1 G2
16L	10,075	B2 U1 G2	10,450	B2 U1 G2	7,100	B1 U1 G2	10,450	B2 U1 G2
22L	13,800	B2 U2 G2	14,375	B2 U2 G2	9,775	B2 U1 G2	14,375	B2 U2 G2
30L	18,800	B3 U2 G3	19,600	B3 U2 G3	13,350	B2 U2 G2	19,600	B3 U2 G3
40L	25,100	B3 U2 G4	26,200	B3 U2 G4	17,800	B3 U2 G3	26,200	B3 U2 G4
50L	31,400	B3 U2 G4	32,700	B3 U2 G4	22,200	B3 U2 G3	32,700	B3 U2 G4
65L	40,800	B3 U2 G5	42,500	B3 U2 G5	28,900	B3 U2 G4	42,500	B3 U2 G5
75L	47,100	B4 U2 G5	49,000	B4 U2 G5	33,300	B3 U2 G4	49,000	B4 U2 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**Photometry**

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

**4M**



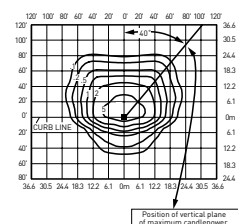
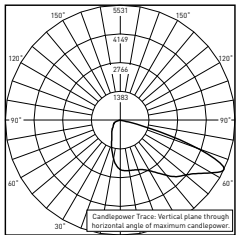
RESTL Test Report #: PL17299-001A  
OSQM-C-16L-57K7-4M-UL-NM-WH  
Initial Delivered Lumens: 15,584

OSQL-C-40L-40K7-4M-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 38,000  
Initial FC at grade

Type IV Mid Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U0 G1	3,800	B1 U0 G1	2,590	B1 U0 G1	3,800	B1 U0 G1
6L	5,475	B1 U0 G1	5,700	B1 U0 G1	3,880	B1 U0 G1	5,700	B1 U0 G1
9L	8,225	B2 U0 G2	8,550	B2 U0 G2	5,825	B1 U0 G1	8,550	B2 U0 G2
11L	10,025	B2 U0 G2	10,450	B2 U0 G2	7,100	B2 U0 G1	10,450	B2 U0 G2
16L	14,650	B3 U0 G2	15,200	B3 U0 G2	10,325	B2 U0 G2	15,200	B3 U0 G2
22L	20,100	B3 U0 G3	20,900	B3 U0 G3	14,200	B3 U0 G2	20,900	B3 U0 G3
30L	27,400	B3 U0 G3	28,500	B3 U0 G3	19,400	B3 U0 G3	28,500	B3 U0 G3
40L	36,500	B4 U0 G4	38,000	B4 U0 G4	25,900	B3 U0 G3	38,000	B4 U0 G4
50L	45,600	B4 U0 G4	47,500	B4 U0 G4	32,300	B4 U0 G3	47,500	B4 U0 G4
65L	59,300	B5 U0 G5	61,800	B5 U0 G5	42,000	B4 U0 G4	61,800	B5 U0 G5
75L	68,400	B5 U0 G5	71,300	B5 U0 G5	48,500	B4 U0 G4	71,300	B5 U0 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**4B**



RESTL Test Report #: PL17367-001A  
OSQM-C-16L-57K7-4B-UL-NM-WH  
Initial Delivered Lumens: 9,812

OSQL-C-40L-40K7-4B-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 24,000  
Initial FC at grade

Type IV Mid w/BLS Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,300	B1 U0 G0	2,400	B1 U0 G0	1,630	B0 U0 G0	2,400	B1 U0 G0
6L	3,440	B1 U0 G1	3,590	B1 U0 G1	2,440	B1 U0 G0	3,590	B1 U0 G1
9L	5,175	B1 U0 G1	5,400	B1 U0 G1	3,670	B1 U0 G1	5,400	B1 U0 G1
11L	6,325	B1 U0 G1	6,600	B1 U0 G1	4,480	B1 U0 G1	6,600	B1 U0 G1
16L	9,225	B2 U0 G2	9,575	B2 U0 G2	6,525	B1 U0 G1	9,575	B2 U0 G2
22L	12,625	B2 U0 G2	13,175	B2 U0 G2	8,950	B2 U0 G2	13,175	B2 U0 G2
30L	17,200	B3 U0 G2	18,000	B3 U0 G2	12,225	B2 U0 G2	18,000	B3 U0 G2
40L	23,000	B3 U0 G3	24,000	B3 U0 G3	16,300	B3 U0 G2	24,000	B3 U0 G3
50L	28,700	B3 U0 G3	29,900	B3 U0 G3	20,400	B3 U0 G2	29,900	B3 U0 G3
65L	37,400	B3 U0 G4	38,900	B3 U0 G4	26,500	B3 U0 G3	38,900	B3 U0 G4
75L	43,100	B4 U0 G4	44,900	B4 U0 G4	30,500	B3 U0 G3	44,900	B4 U0 G4

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

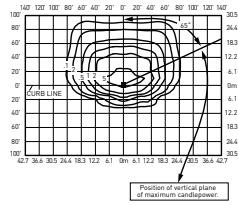
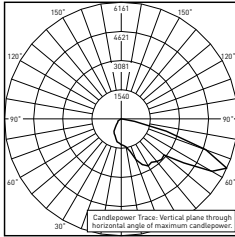


**Photometry**

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:

<https://creelighting.com/products/outdoor/area/osq-series>

**4M W/OSQ\*-C-BLSF**



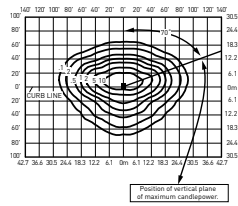
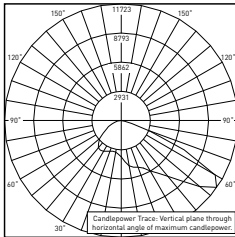
PRELIMINARY RESTL Test Report  
OSQ Luminaire w/4M Optic w/OSQ-M-C-BLSF  
Initial Delivered Lumens: 9,345

OSQL-C-40L-40K7-4M-UL w/OSQ-L-C-BLSF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 24,000  
Initial FC at grade

Type IV Mid Distribution w/OSQ*-C-BLSF								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,300	B0 U1 G1	2,400	B1 U1 G1	1,630	B0 U1 G1	2,400	B1 U1 G1
6L	3,440	B1 U1 G1	3,590	B1 U1 G1	2,440	B1 U1 G1	3,590	B1 U1 G1
9L	5,175	B1 U1 G1	5,400	B1 U1 G1	3,670	B1 U1 G1	5,400	B1 U1 G1
11L	6,325	B1 U1 G2	6,600	B1 U1 G2	4,480	B1 U1 G1	6,600	B1 U1 G2
16L	9,225	B1 U1 G2	9,575	B1 U1 G2	6,525	B1 U1 G2	9,575	B1 U1 G2
22L	12,625	B2 U1 G2	13,175	B2 U1 G2	8,950	B1 U1 G2	13,175	B2 U1 G2
30L	17,200	B2 U1 G3	18,000	B2 U1 G3	12,225	B2 U1 G2	18,000	B2 U1 G3
40L	23,000	B3 U1 G3	24,000	B3 U1 G3	16,300	B2 U1 G2	24,000	B3 U1 G3
50L	28,700	B3 U1 G4	29,900	B3 U1 G4	20,400	B2 U1 G3	29,900	B3 U1 G4
65L	37,400	B3 U1 G4	38,900	B3 U1 G4	26,500	B3 U1 G4	38,900	B3 U1 G4
75L	43,100	B3 U1 G5	44,900	B3 U1 G5	30,500	B3 U1 G4	44,900	B3 U1 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**AF**



PRELIMINARY RESTL Test Report  
OSQ Luminaire w/AF Optic  
Initial Delivered Lumens: 15,866

OSQL-C-40L-40K7-AF-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 38,000  
Initial FC at grade

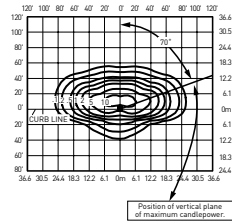
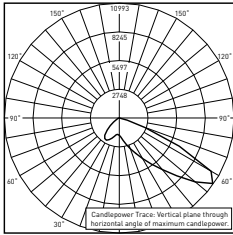
Automotive FrontLineOptic™ Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,650	B1 U1 G1	3,800	B1 U1 G1	2,590	B1 U1 G1	3,800	B1 U1 G1
6L	5,475	B1 U1 G1	5,700	B1 U1 G1	3,880	B1 U1 G1	5,700	B1 U1 G1
9L	8,225	B2 U1 G1	8,550	B2 U1 G1	5,825	B1 U1 G1	8,550	B2 U1 G1
11L	10,025	B2 U1 G2	10,450	B2 U1 G2	7,100	B2 U1 G1	10,450	B2 U1 G2
16L	14,650	B3 U1 G2	15,200	B3 U1 G2	10,325	B2 U1 G2	15,200	B3 U1 G2
22L	20,100	B3 U1 G3	20,900	B3 U1 G3	14,200	B2 U1 G2	20,900	B3 U1 G3
30L	27,400	B3 U1 G3	28,500	B3 U1 G3	19,400	B3 U1 G3	28,500	B3 U1 G3
40L	36,500	B4 U1 G3	38,000	B4 U1 G3	25,900	B3 U1 G3	38,000	B4 U1 G3
50L	45,600	B4 U1 G4	47,500	B4 U1 G4	32,300	B3 U1 G3	47,500	B4 U1 G4
65L	59,300	B5 U1 G4	61,800	B5 U1 G4	42,000	B4 U1 G3	61,800	B5 U1 G4
75L	68,400	B5 U1 G4	71,300	B5 U1 G4	48,500	B4 U1 G4	71,300	B5 U1 G4

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**Photometry**

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**AB**



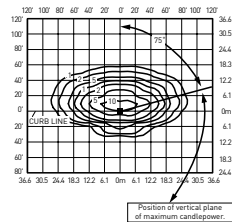
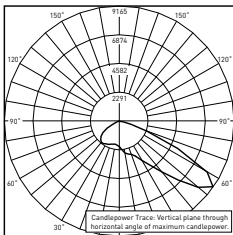
PRELIMINARY RESTL Test Report  
OSQ Luminaire w/AB Optic  
Initial Delivered Lumens: 11,393

OSQ-L-C-40L-40K7-AB-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 26,200  
Initial FC at grade

Automotive FrontLineOptic™ w/BLS Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G0	2,620	B1 U1 G0	1,780	B0 U1 G0	2,620	B1 U1 G0
6L	3,760	B1 U1 G0	3,920	B1 U1 G1	2,670	B1 U1 G0	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G1	7,200	B1 U1 G1	4,890	B1 U1 G1	7,200	B1 U1 G1
16L	10,075	B2 U1 G1	10,450	B2 U1 G1	7,100	B1 U1 G1	10,450	B2 U1 G1
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B2 U1 G1	14,375	B2 U1 G2
30L	18,800	B2 U1 G2	19,600	B2 U1 G2	13,350	B2 U1 G2	19,600	B2 U1 G2
40L	25,100	B3 U1 G2	26,200	B3 U1 G2	17,800	B2 U1 G2	26,200	B3 U1 G2
50L	31,400	B3 U1 G2	32,700	B3 U1 G2	22,200	B3 U1 G2	32,700	B3 U1 G2
65L	40,800	B3 U1 G3	42,500	B3 U1 G3	28,900	B3 U1 G2	42,500	B3 U1 G3
75L	47,100	B3 U1 G3	49,000	B4 U1 G3	33,300	B3 U1 G2	49,000	B4 U1 G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**AF W/OSQ\*-C-BLSF**



PRELIMINARY RESTL Test Report  
OSQ Luminaire w/AF Optic w/OSQ-M-C-BLSF  
Initial Delivered Lumens: 9,783

OSQ-L-C-40L-40K7-AF-UL w/OSQ-L-C-BLSF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 26,200  
Initial FC at grade

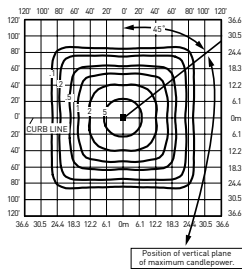
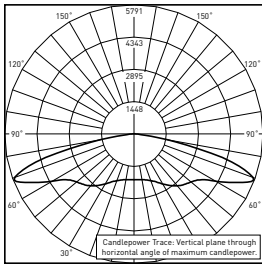
Automotive FrontLineOptic™ w/OSQ*-C-BLSF								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	2,510	B1 U1 G0	2,620	B1 U1 G0	1,780	B0 U1 G0	2,620	B1 U1 G0
6L	3,760	B1 U1 G0	3,920	B1 U1 G1	2,670	B1 U1 G0	3,920	B1 U1 G1
9L	5,650	B1 U1 G1	5,875	B1 U1 G1	4,000	B1 U1 G1	5,875	B1 U1 G1
11L	6,900	B1 U1 G1	7,200	B1 U1 G1	4,890	B1 U1 G1	7,200	B1 U1 G1
16L	10,075	B2 U1 G1	10,450	B2 U1 G1	7,100	B1 U1 G1	10,450	B2 U1 G1
22L	13,800	B2 U1 G2	14,375	B2 U1 G2	9,775	B2 U1 G1	14,375	B2 U1 G2
30L	18,800	B3 U1 G2	19,600	B3 U1 G2	13,350	B2 U1 G2	19,600	B3 U1 G2
40L	25,100	B3 U1 G2	26,200	B3 U1 G2	17,800	B2 U1 G2	26,200	B3 U1 G2
50L	31,400	B3 U1 G2	32,700	B3 U1 G2	22,200	B3 U1 G2	32,700	B3 U1 G2
65L	40,800	B3 U1 G3	42,500	B3 U1 G3	28,900	B3 U1 G2	42,500	B3 U1 G3
75L	47,100	B4 U1 G3	49,000	B4 U1 G3	33,300	B3 U1 G2	49,000	B4 U1 G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**Photometry**

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**5M**



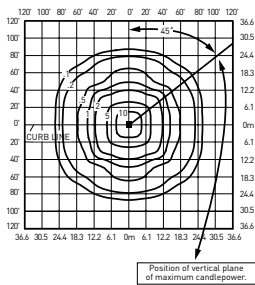
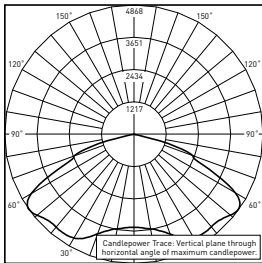
**RESTL Test Report #:** PL17290-002A  
**OSQM-C-16L-57K7-5M-UL-NM-WH**  
**Initial Delivered Lumens:** 15,567

**OSQL-C-40L-40K7-5M-UL**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 40,000  
**Initial FC at grade**

Type V Mid Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,840	B2 U0 G1	4,000	B2 U0 G1	2,720	B2 U0 G1	4,000	B2 U0 G1
6L	5,750	B3 U0 G1	6,000	B3 U0 G1	4,080	B2 U0 G1	6,000	B3 U0 G1
9L	8,650	B3 U0 G1	9,000	B3 U0 G1	6,125	B3 U0 G1	9,000	B3 U0 G1
11L	10,550	B3 U0 G2	11,000	B3 U0 G2	7,475	B3 U0 G1	11,000	B3 U0 G2
16L	15,400	B4 U0 G2	16,000	B4 U0 G2	10,875	B3 U0 G2	16,000	B4 U0 G2
22L	21,100	B4 U0 G2	22,000	B4 U0 G2	14,950	B4 U0 G2	22,000	B4 U0 G2
30L	28,800	B5 U0 G3	30,000	B5 U0 G3	20,400	B4 U0 G2	30,000	B5 U0 G3
40L	38,400	B5 U0 G3	40,000	B5 U0 G4	27,200	B5 U0 G3	40,000	B5 U0 G4
50L	48,000	B5 U0 G4	50,000	B5 U0 G4	34,000	B5 U0 G3	50,000	B5 U0 G4
65L	62,400	B5 U0 G5	65,000	B5 U0 G5	44,200	B5 U0 G4	65,000	B5 U0 G5
75L	72,000	B5 U0 G5	75,000	B5 U0 G5	51,000	B5 U0 G4	75,000	B5 U0 G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**5N**



**RESTL Test Report #:** PL17333-002A  
**OSQM-C-16L-57K7-5N-UL-NM-WH**  
**Initial Delivered Lumens:** 16,299

**OSQL-C-40L-40K7-5N-UL**  
**Mounting Height:** 25' (7.6m) A.F.G.  
**Initial Delivered Lumens:** 40,000  
**Initial FC at grade**

Type V Narrow Distribution								
Lumen Package	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20	Initial Delivered Lumens*	BUG Ratings** Per TM-15-20
4L	3,840	B2 U0 G0	4,000	B2 U0 G0	2,720	B1 U0 G0	4,000	B2 U0 G0
6L	5,750	B2 U0 G0	6,000	B2 U0 G1	4,080	B2 U0 G0	6,000	B2 U0 G1
9L	8,650	B2 U0 G1	9,000	B3 U0 G1	6,125	B2 U0 G1	9,000	B3 U0 G1
11L	10,550	B3 U0 G1	11,000	B3 U0 G1	7,475	B2 U0 G1	11,000	B3 U0 G1
16L	15,400	B3 U0 G1	16,000	B3 U0 G2	10,875	B3 U0 G1	16,000	B3 U0 G2
22L	21,100	B4 U0 G2	22,000	B4 U0 G2	14,950	B3 U0 G1	22,000	B4 U0 G2
30L	28,800	B4 U0 G2	30,000	B5 U0 G2	20,400	B4 U0 G2	30,000	B5 U0 G2
40L	38,400	B5 U0 G2	40,000	B5 U0 G2	27,200	B4 U0 G2	40,000	B5 U0 G2
50L	48,000	B5 U0 G3	50,000	B5 U0 G3	34,000	B5 U0 G2	50,000	B5 U0 G3
65L	62,400	B5 U0 G3	65,000	B5 U0 G3	44,200	B5 U0 G2	65,000	B5 U0 G3
75L	72,000	B5 U0 G4	75,000	B5 U0 G4	51,000	B5 U0 G3	75,000	B5 U0 G4

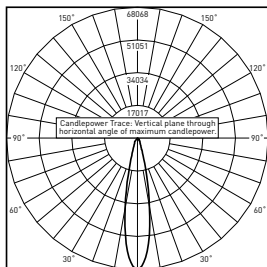
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens  
 \*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

**Photometry**

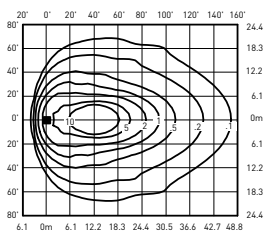
All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:

<https://creelighting.com/products/outdoor/area/osq-series>

33



RESTL Test Report #: PL17338-001A  
OSQM-C-16L-57K7-33-UL-NM-WH  
Initial Delivered Lumens: 16,127

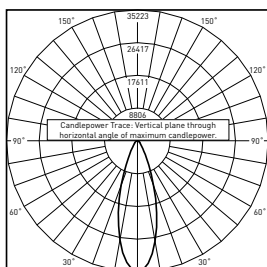


OSQL-C-40L-40K7-33-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 40,000  
Initial FC at grade

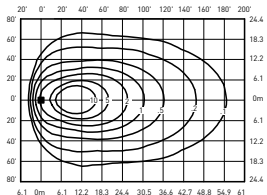
NEMA® 3x3 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

44



PRELIMINARY RESTL Test Report  
OSQ Luminaire w/44 Optic  
Initial Delivered Lumens: 16,001



OSQL-C-40L-40K7-44-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 40,000  
Initial FC at grade

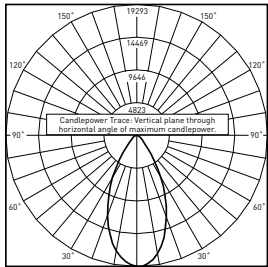
NEMA® 4x4 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

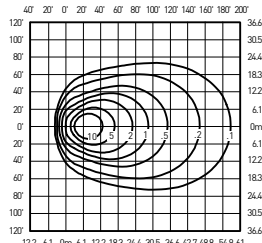
**Photometry**

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

55



**PRELIMINARY RESTL Test Report**  
OSQ Luminaire w/55 Optic  
Initial Delivered Lumens: 15,967

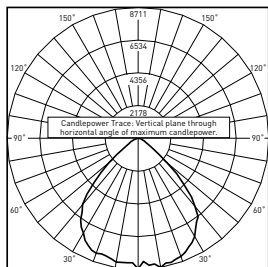


OSQL-C-40L-40K7-55-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 40,000  
Initial FC at grade

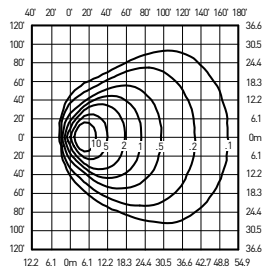
NEMA® 5x5 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

66



**PRELIMINARY RESTL Test Report**  
OSQ Luminaire w/66 Optic  
Initial Delivered Lumens: 15,952



OSQL-C-40L-40K7-66-UL  
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt  
Initial Delivered Lumens: 40,000  
Initial FC at grade

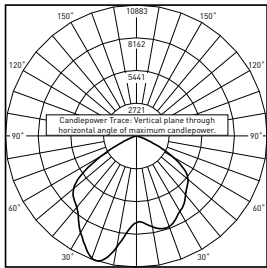
NEMA® 6x6 Distribution				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

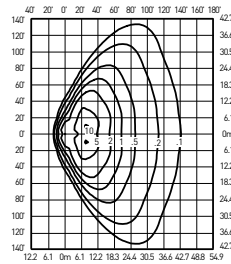
**Photometry**

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

75



**RESTL Test Report #:** PL17352-001A  
**OSQM-C-16L-57K7-75-UL-NM-WH**  
**Initial Delivered Lumens:** 16,120



**OSQL-C-40L-40K7-75-UL**  
**Mounting Height:** 25' (7.6m) A.F.G., 60° Tilt  
**Initial Delivered Lumens:** 40,000  
**Initial FC at grade**

<b>NEMA® 7x5 Distribution</b>				
Lumen Package	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
4L	3,840	4,000	2,720	4,000
6L	5,750	6,000	4,080	6,000
9L	8,650	9,000	6,125	9,000
11L	10,550	11,000	7,475	11,000
16L	15,400	16,000	10,875	16,000
22L	21,100	22,000	14,950	22,000
30L	28,800	30,000	20,400	30,000
40L	38,400	40,000	27,200	40,000
50L	48,000	50,000	34,000	50,000
65L	62,400	65,000	44,200	65,000
75L	72,000	75,000	51,000	75,000

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

**Luminaire EPA**

Adjustable Arm Mount – OSQ-ML-C-AA Weight: Medium - 19.3 lbs. [8.8kg]; Large - 28.4 lbs. [12.9kg]; OSQ-X-C-DA Weight: Extra Large - 48.6 lbs. [22kg]								
	Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
Luminaire	<b>Tenon Configuration [0° - 90° Tilt];</b> If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA							
	PB-1A*; PT-1*; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180)*; PT-2(180)*; PW-2A3**	PB-2A*; PB-2R2.375; PD-2A4(90)*; PT-2(90)*; PW-2A3**	PB-3A*; PB-3R2.375; PD-3A4(90)*; PT-3(90)*	PB-3A*; PB-3R2.375; PT-3(120)*	PB-3A*; PB-3R2.375	PB-4A*(180); PB-4R2.375	PB-4A*(90); PB-4R2.375; PD-4A4(90)*; PT-4(90)*
	<b>0° Tilt</b>							
OSQM	0.69	1.38	1.11	1.80	2.01	1.38	1.73	2.22
OSQL	0.78	1.55	1.30	2.07	2.33	1.55	1.94	2.60
OSQX	0.98	1.95	1.65	2.63	2.97	1.95	2.44	3.31
	<b>45° Tilt</b>							
OSQM	1.41	2.81	2.10	3.50	4.23	4.22	5.63	4.19
OSQL	2.62	5.23	3.39	6.01	6.91	7.85	10.46	6.79
OSQX	4.35	8.70	5.33	9.68	9.65	13.05	17.40	10.66
	<b>90° Tilt***</b>							
OSQM	1.89	3.79	2.58	4.48	5.56	5.68	7.57	5.17
OSQL	3.52	7.03	4.29	7.81	9.14	10.55	14.07	8.59
OSQX	5.84	11.68	6.82	12.66	12.78	17.52	23.36	13.63

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]  
 \*\*\* PD-2A4(90), PT-2(90), PD-3A4(90), PT-3(90), PD-4A4(90), PT-4(90) are not compatible with 90 degree tilt  
 + PT & PD aluminum tenons are not suitable for use with OSQX luminaires.

**Tenon EPA**

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

\* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets <sup>†</sup> (must specify color)	
<p><b>Square Internal Mount Vertical Tenons (Steel)</b>                      - Mounts to 3-6" (76-152mm) square aluminum or steel poles</p> <p>PB-1A* – Single                      PB-2A* – 180° Twin                      PB-3A* – 180° Triple</p> <p>PB-4A*(90) – 90° Quad                      PB-4A*(180) – 180° Quad</p>	<p><b>Round External Mount Vertical Tenons (Steel)</b>                      - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons</p> <p>PB-2R2.375 – Twin                      PB-3R2.375 – Triple                      PB-4R2.375 – Quad</p>
<p><b>Square Internal Mount Horizontal Tenons (Aluminum)</b>                      - Mounts to 4" (102mm) square aluminum or steel poles                      - Not for use with OSQX luminaires</p> <p>PD-2A4(90) – 90° Twin                      PD-2A4(180) – 180° Twin                      PD-3A4(90) – 90° Triple                      PD-4A4(90) – 90° Quad</p>	<p><b>Round External Mount Horizontal Tenons (Aluminum)</b>                      - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons                      - Mounts to square pole with PB-1A* tenon                      - Not for use with OSQX luminaires</p> <p>PT-1 – Single (Vertical)                      PT-2(90) – 90° Twin                      PT-2(180) – 180° Twin                      PT-3(90) – 90° Triple                      PT-3(120) – 120° Triple                      PT-4(90) – 90° Quad</p>
<p><b>Wall Mount Brackets</b>                      - Mounts to wall or roof</p> <p>WM-2 – Horizontal for OSQ-ML-C-AA or OSQ-X-C-AA mounts                      WM-4 – L-Shape for OSQ-ML-C-AA or OSQ-X-C-AA mounts                      WM-DM – Plate for OSQ-ML-C-DA or OSQ-X-C-DA mounts</p>	<p><b>Mid-Pole Bracket</b>                      - Mounts to square pole</p> <p>PW-1A3** – Single                      PW-2A3** – Double</p>
	<p><b>Ground Mount Post</b>                      - For ground-mounted flood luminaires</p> <p>PGM-1 - for OSQ-ML-C-AA or OSQ-X-C-AA mounts</p>

<sup>†</sup> Refer to the [Bracket and Tenons spec sheet](#) for more details

**Luminaire EPA**

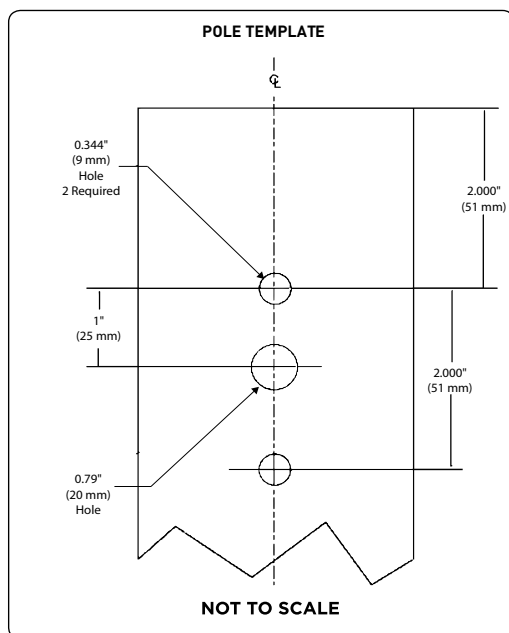
Direct Arm Mount – OSQ-ML-C-DA Weight: Medium - 19.7 lbs. (8.9kg); Large - 28.8 lbs. (13.1kg); OSQ-X-C-DA Weight: Extra Large - 45.8 lbs. (20.8kg)						
Luminaire	Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	4 @ 90°
OSQM	0.63	1.26	0.98	1.61	1.79	1.97
OSQL	0.72	1.45	1.24	1.97	2.23	2.49
OSQX	0.91	1.83	1.52	2.43	2.74	3.04

**Direct Mount Configurations**

Compatibility with Direct Mount Brackets					
Size	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
<b>3" Square</b>					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	N/A	✓	N/A	N/A	N/A
<b>3" Round</b>					
Medium/Large	N/A	✓	N/A	✓	N/A
Extra Large	N/A	N/A	N/A	N/A	N/A
<b>4" Square</b>					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	✓	✓	✓	N/A	✓
<b>4" Round</b>					
Medium/Large	✓	✓	✓	✓	✓
Extra Large	✓	✓	✓	✓	✓
<b>5" Square</b>					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	✓	✓	✓	N/A	✓
<b>5" Round</b>					
Medium/Large	✓	✓	✓	✓	✓
Extra Large	✓	✓	✓	✓	✓
<b>6" + Square</b>					
Medium/Large	✓	✓	✓	N/A	✓
Extra Large	✓	✓	✓	N/A	✓
<b>6" + Round</b>					
Medium/Large	✓	✓	✓	✓	✓
Extra Large	✓	✓	✓	✓	✓

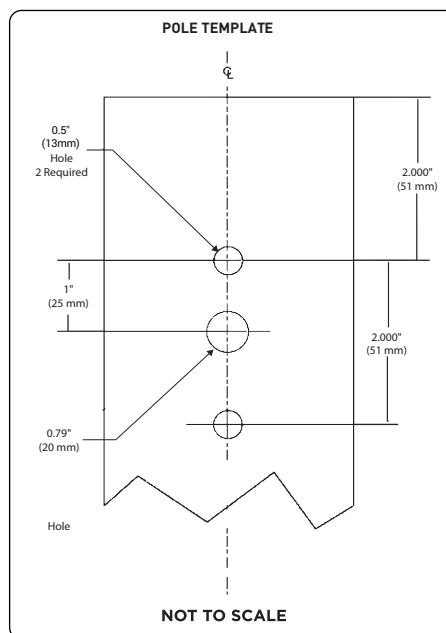
**Fixture Mounting Drill Pattern for OSQ-ML-C-DA Mount**

Note: When using with Cree Lighting poles, order the BLANK Fixture Mounting Drill Pattern.



**Fixture Mounting Drill Pattern for OSQ-X-C-DA**

Note: When using with Cree Lighting poles, order the Q Fixture Mounting Drill Pattern.



**Luminaire EPA**

Trunnion Mount – OSQ-ML-C-TM Weight:	
Medium - 23.2 lbs. (10.5kg);	
Large - 32.3 lbs. (14.7kg)	
Single	
Medium	Large
<b>0° Tilt</b>	
0.69	0.78
<b>45° Tilt</b>	
1.41	2.62
<b>90° Tilt</b>	
1.89	3.52



**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 4L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-277V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	26	3,650	3,840	2,510	2,300	30	4000 L	4000 L	3000 L	2000 L
	40K (70 CRI)		3,800	4,000	2,620	2,400		4000 L	4000 L	3000 L	2000 L
	50K (90 CRI)		2,590	2,720	1,780	1,630		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		3,800	4,000	2,620	2,400		4000 L	4000 L	3000 L	2000 L
Q8/X8	30K (70 CRI)	24	3,480	3,660	2,390	2,190	20	3000 L	4000 L	2000 L	2000 L
	40K (70 CRI)		3,630	3,820	2,500	2,290		4000 L	4000 L	3000 L	2000 L
	50K (90 CRI)		2,460	2,590	1,690	1,550		2000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		3,630	3,820	2,500	2,290		4000 L	4000 L	3000 L	2000 L
Q7/X7	30K (70 CRI)	23	3,340	3,510	2,300	2,100	20	3000 L	4000 L	2000 L	2000 L
	40K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
	50K (90 CRI)		2,370	2,490	1,630	1,490		2000 L	2000 L	2000 L	1000 L
	57K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
Q6/X6	30K (70 CRI)	22	3,220	3,390	2,220	2,030	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		3,360	3,540	2,310	2,120		3000 L	4000 L	2000 L	2000 L
	50K (90 CRI)		2,280	2,400	1,570	1,440		2000 L	2000 L	2000 L	1000 L
	57K (70 CRI)		3,360	3,540	2,310	2,120		3000 L	4000 L	2000 L	2000 L
Q5/X5	30K (70 CRI)	20	2,950	3,100	2,030	1,860	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		2,090	2,200	1,440	1,320		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L
Q4/X4	30K (70 CRI)	18	2,680	2,820	1,840	1,690	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		2,790	2,940	1,920	1,760		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		1,900	2,000	1,310	1,200		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		2,790	2,940	1,920	1,760		3000 L	3000 L	2000 L	2000 L
Q3/X3	30K (70 CRI)	16	2,470	2,600	1,700	1,560	20	2000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		2,580	2,710	1,770	1,620		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		1,750	1,840	1,200	1,100		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		2,580	2,710	1,770	1,620		3000 L	3000 L	2000 L	2000 L
Q2/X2	30K (70 CRI)	15	2,220	2,340	1,530	1,400	20	2000 L	2000 L	2000 L	1000 L
	40K (70 CRI)		2,320	2,440	1,600	1,460		2000 L	2000 L	2000 L	1000 L
	50K (90 CRI)		1,580	1,660	1,090	990		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		2,320	2,440	1,600	1,460		2000 L	2000 L	2000 L	1000 L
Q1/X1	30K (70 CRI)	13	1,970	2,070	1,350	1,240	10	2000 L	2000 L	1000 L	1000 L
	40K (70 CRI)		2,050	2,160	1,410	1,290		2000 L	2000 L	1000 L	1000 L
	50K (90 CRI)		1,400	1,470	960	880		1000 L	1000 L	1000 L	1000 L
	57K (70 CRI)		2,050	2,160	1,410	1,290		2000 L	2000 L	1000 L	1000 L

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 6L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	37	5,475	5,750	3,760	3,440	40	5000 L	6000 L	4000 L	3000 L
	40K (70 CRI)		5,700	6,000	3,920	3,590		6000 L	6000 L	4000 L	4000 L
	50K (90 CRI)		3,880	4,080	2,670	2,440		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,700	6,000	3,920	3,590		6000 L	6000 L	4000 L	4000 L
Q8/X8	30K (70 CRI)	34	5,200	5,475	3,580	3,280	30	5000 L	5000 L	4000 L	3000 L
	40K (70 CRI)		5,450	5,725	3,740	3,430		5000 L	6000 L	4000 L	3000 L
	50K (90 CRI)		3,700	3,890	2,540	2,330		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,450	5,725	3,740	3,430		5000 L	6000 L	4000 L	3000 L
Q7/X7	30K (70 CRI)	32	4,990	5,250	3,430	3,140	30	5000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		5,200	5,475	3,580	3,280		5000 L	5000 L	4000 L	3000 L
	50K (90 CRI)		3,550	3,730	2,440	2,230		4000 L	4000 L	2000 L	2000 L
	57K (70 CRI)		5,200	5,475	3,580	3,280		5000 L	5000 L	4000 L	3000 L
Q6/X6	30K (70 CRI)	30	4,820	5,075	3,320	3,040	30	5000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		5,050	5,300	3,470	3,170		5000 L	5000 L	3000 L	3000 L
	50K (90 CRI)		3,430	3,610	2,360	2,160		3000 L	4000 L	2000 L	2000 L
	57K (70 CRI)		5,050	5,300	3,470	3,170		5000 L	5000 L	3000 L	3000 L
Q5/X5	30K (70 CRI)	28	4,420	4,650	3,040	2,780	30	4000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L
	50K (90 CRI)		3,140	3,300	2,160	1,980		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L
Q4/X4	30K (70 CRI)	25	4,010	4,220	2,760	2,530	30	4000 L	4000 L	3000 L	3000 L
	40K (70 CRI)		4,180	4,400	2,880	2,640		4000 L	4000 L	3000 L	3000 L
	50K (90 CRI)		2,840	2,990	1,960	1,790		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		4,180	4,400	2,880	2,640		4000 L	4000 L	3000 L	3000 L
Q3/X3	30K (70 CRI)	23	3,710	3,900	2,550	2,340	20	4000 L	4000 L	3000 L	2000 L
	40K (70 CRI)		3,870	4,070	2,660	2,440		4000 L	4000 L	3000 L	2000 L
	50K (90 CRI)		2,630	2,770	1,810	1,660		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		3,870	4,070	2,660	2,440		4000 L	4000 L	3000 L	2000 L
Q2/X2	30K (70 CRI)	20	3,340	3,510	2,300	2,100	20	3000 L	4000 L	2000 L	2000 L
	40K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
	50K (90 CRI)		2,370	2,490	1,630	1,490		2000 L	2000 L	2000 L	1000 L
	57K (70 CRI)		3,480	3,660	2,390	2,190		3000 L	4000 L	2000 L	2000 L
Q1/X1	30K (70 CRI)	18	2,950	3,100	2,030	1,860	20	3000 L	3000 L	2000 L	2000 L
	40K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L
	50K (90 CRI)		2,090	2,200	1,440	1,320		2000 L	2000 L	1000 L	1000 L
	57K (70 CRI)		3,070	3,230	2,110	1,930		3000 L	3000 L	2000 L	2000 L

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 9L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	55	8,225	8,650	5,650	5,175	60	8000 L	9000 L	6000 L	5000 L
	40K (70 CRI)		8,550	9,000	5,875	5,400		9000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,825	6,125	4,000	3,670		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,550	9,000	5,875	5,400		9000 L	9000 L	6000 L	5000 L
Q8/X8	30K (70 CRI)	53	7,850	8,250	5,400	4,940	50	8000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		8,150	8,575	5,600	5,125		8000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,550	5,850	3,830	3,500		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,150	8,575	5,600	5,125		8000 L	9000 L	6000 L	5000 L
Q7/X7	30K (70 CRI)	50	7,500	7,900	5,175	4,730	50	8000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		7,825	8,225	5,375	4,930		8000 L	8000 L	5000 L	5000 L
	50K (90 CRI)		5,325	5,600	3,660	3,350		5000 L	6000 L	4000 L	3000 L
	57K (70 CRI)		7,825	8,225	5,375	4,930		8000 L	8000 L	5000 L	5000 L
Q6/X6	30K (70 CRI)	48	7,275	7,650	5,000	4,580	50	7000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		7,550	7,950	5,200	4,760		8000 L	8000 L	5000 L	5000 L
	50K (90 CRI)		5,150	5,425	3,550	3,250		5000 L	5000 L	4000 L	3000 L
	57K (70 CRI)		7,550	7,950	5,200	4,760		8000 L	8000 L	5000 L	5000 L
Q5/X5	30K (70 CRI)	43	6,650	7,000	4,580	4,190	40	7000 L	7000 L	5000 L	4000 L
	40K (70 CRI)		6,925	7,275	4,760	4,360		7000 L	7000 L	5000 L	4000 L
	50K (90 CRI)		4,710	4,950	3,240	2,960		5000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		6,925	7,275	4,760	4,360		7000 L	7000 L	5000 L	4000 L
Q4/X4	30K (70 CRI)	40	6,025	6,350	4,150	3,800	40	6000 L	6000 L	4000 L	4000 L
	40K (70 CRI)		6,275	6,600	4,320	3,950		6000 L	7000 L	4000 L	4000 L
	50K (90 CRI)		4,280	4,500	2,940	2,700		4000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		6,275	6,600	4,320	3,950		6000 L	7000 L	4000 L	4000 L
Q3/X3	30K (70 CRI)	36	5,575	5,875	3,840	3,520	40	6000 L	6000 L	4000 L	4000 L
	40K (70 CRI)		5,800	6,100	3,990	3,650		6000 L	6000 L	4000 L	4000 L
	50K (90 CRI)		3,940	4,150	2,710	2,490		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,800	6,100	3,990	3,650		6000 L	6000 L	4000 L	4000 L
Q2/X2*	30K (70 CRI)	32	5,025	5,275	3,450	3,160	30	5000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		5,225	5,500	3,600	3,290		5000 L	6000 L	4000 L	3000 L
	50K (90 CRI)		3,560	3,740	2,450	2,240		4000 L	4000 L	2000 L	2000 L
	57K (70 CRI)		5,225	5,500	3,600	3,290		5000 L	6000 L	4000 L	3000 L
Q1/X1*	30K (70 CRI)	29	4,430	4,660	3,050	2,790	30	4000 L	5000 L	3000 L	3000 L
	40K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L
	50K (90 CRI)		3,140	3,300	2,160	1,980		3000 L	3000 L	2000 L	2000 L
	57K (70 CRI)		4,610	4,850	3,170	2,900		5000 L	5000 L	3000 L	3000 L

\* X2 and X1 options not available with 9L lumen package with UL voltage.

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 11L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	68	10,025	10,550	6,900	6,325	70	10000 L	11000 L	7000 L	6000 L
	40K (70 CRI)		10,450	11,000	7,200	6,600		10000 L	11000 L	7000 L	7000 L
	50K (90 CRI)		7,100	7,475	4,890	4,480		7000 L	7000 L	5000 L	4000 L
	57K (70 CRI)		10,450	11,000	7,200	6,600		10000 L	11000 L	7000 L	7000 L
Q8/X8	30K (70 CRI)	65	9,575	10,075	6,600	6,025	70	10000 L	10000 L	7000 L	6000 L
	40K (70 CRI)		9,975	10,500	6,875	6,300		10000 L	11000 L	7000 L	6000 L
	50K (90 CRI)		6,775	7,125	4,660	4,270		7000 L	7000 L	5000 L	4000 L
	57K (70 CRI)		9,975	10,500	6,875	6,300		10000 L	11000 L	7000 L	6000 L
Q7/X7	30K (70 CRI)	62	9,175	9,650	6,300	5,775	60	9000 L	10000 L	6000 L	6000 L
	40K (70 CRI)		9,550	10,050	6,575	6,025		10000 L	10000 L	7000 L	6000 L
	50K (90 CRI)		6,500	6,825	4,460	4,090		7000 L	7000 L	4000 L	4000 L
	57K (70 CRI)		9,550	10,050	6,575	6,025		10000 L	10000 L	7000 L	6000 L
Q6/X6	30K (70 CRI)	59	8,875	9,325	6,100	5,575	60	9000 L	9000 L	6000 L	6000 L
	40K (70 CRI)		9,250	9,725	6,350	5,825		9000 L	10000 L	6000 L	6000 L
	50K (90 CRI)		6,275	6,600	4,320	3,950		6000 L	7000 L	4000 L	4000 L
	57K (70 CRI)		9,250	9,725	6,350	5,825		9000 L	10000 L	6000 L	6000 L
Q5/X5	30K (70 CRI)	53	8,100	8,525	5,575	5,100	50	8000 L	9000 L	6000 L	5000 L
	40K (70 CRI)		8,450	8,900	5,825	5,325		8000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,750	6,050	3,960	3,620		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,450	8,900	5,825	5,325		8000 L	9000 L	6000 L	5000 L
Q4/X4	30K (70 CRI)	49	7,375	7,750	5,075	4,640	50	7000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		7,675	8,075	5,275	4,840		8000 L	8000 L	5000 L	5000 L
	50K (90 CRI)		5,200	5,475	3,580	3,280		5000 L	5000 L	4000 L	3000 L
	57K (70 CRI)		7,675	8,075	5,275	4,840		8000 L	8000 L	5000 L	5000 L
Q3/X3	30K (70 CRI)	44	6,800	7,150	4,680	4,280	40	7000 L	7000 L	5000 L	4000 L
	40K (70 CRI)		7,075	7,450	4,870	4,460		7000 L	7000 L	5000 L	4000 L
	50K (90 CRI)		4,820	5,075	3,320	3,040		5000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		7,075	7,450	4,870	4,460		7000 L	7000 L	5000 L	4000 L
Q2/X2	30K (70 CRI)	39	6,100	6,425	4,200	3,850	40	6000 L	6000 L	4000 L	4000 L
	40K (70 CRI)		6,375	6,700	4,380	4,010		6000 L	7000 L	4000 L	4000 L
	50K (90 CRI)		4,330	4,560	2,980	2,730		4000 L	5000 L	3000 L	3000 L
	57K (70 CRI)		6,375	6,700	4,380	4,010		6000 L	7000 L	4000 L	4000 L
Q1/X1	30K (70 CRI)	35	5,400	5,675	3,710	3,400	40	5000 L	6000 L	4000 L	3000 L
	40K (70 CRI)		5,625	5,925	3,870	3,550		6000 L	6000 L	4000 L	4000 L
	50K (90 CRI)		3,830	4,030	2,640	2,410		4000 L	4000 L	3000 L	2000 L
	57K (70 CRI)		5,625	5,925	3,870	3,550		6000 L	6000 L	4000 L	4000 L

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 16L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	97	14,650	15,400	10,075	9,225	100	15000 L	15000 L	10000 L	9000 L
	40K (70 CRI)		15,200	16,000	10,450	9,575		15000 L	16000 L	10000 L	10000 L
	50K (90 CRI)		10,325	10,875	7,100	6,525		10000 L	11000 L	7000 L	7000 L
	57K (70 CRI)		15,200	16,000	10,450	9,575		15000 L	16000 L	10000 L	10000 L
Q8/X8	30K (70 CRI)	93	13,975	14,700	9,600	8,800	90	14000 L	15000 L	10000 L	9000 L
	40K (70 CRI)		14,550	15,300	10,000	9,175		15000 L	15000 L	10000 L	9000 L
	50K (90 CRI)		9,850	10,375	6,775	6,225		10000 L	10000 L	7000 L	6000 L
	57K (70 CRI)		14,550	15,300	10,000	9,175		15000 L	15000 L	10000 L	9000 L
Q7/X7	30K (70 CRI)	87	13,375	14,075	9,200	8,425	90	13000 L	14000 L	9000 L	8000 L
	40K (70 CRI)		13,900	14,625	9,575	8,750		14000 L	15000 L	10000 L	9000 L
	50K (90 CRI)		9,450	9,950	6,500	5,950		9000 L	10000 L	7000 L	6000 L
	57K (70 CRI)		13,900	14,625	9,575	8,750		14000 L	15000 L	10000 L	9000 L
Q6/X6	30K (70 CRI)	84	12,950	13,625	8,900	8,150	80	13000 L	14000 L	9000 L	8000 L
	40K (70 CRI)		13,450	14,150	9,250	8,475		13000 L	14000 L	9000 L	8000 L
	50K (90 CRI)		9,150	9,625	6,300	5,775		9000 L	10000 L	6000 L	6000 L
	57K (70 CRI)		13,450	14,150	9,250	8,475		13000 L	14000 L	9000 L	8000 L
Q5/X5	30K (70 CRI)	76	11,825	12,450	8,150	7,450	80	12000 L	12000 L	8000 L	7000 L
	40K (70 CRI)		12,275	12,925	8,450	7,750		12000 L	13000 L	8000 L	8000 L
	50K (90 CRI)		8,350	8,775	5,750	5,250		8000 L	9000 L	6000 L	5000 L
	57K (70 CRI)		12,275	12,925	8,450	7,750		12000 L	13000 L	8000 L	8000 L
Q4/X4	30K (70 CRI)	70	10,750	11,300	7,400	6,775	70	11000 L	11000 L	7000 L	7000 L
	40K (70 CRI)		11,175	11,750	7,675	7,025		11000 L	12000 L	8000 L	7000 L
	50K (90 CRI)		7,575	7,975	5,225	4,780		8000 L	8000 L	5000 L	5000 L
	57K (70 CRI)		11,175	11,750	7,675	7,025		11000 L	12000 L	8000 L	7000 L
Q3/X3	30K (70 CRI)	62	9,925	10,450	6,825	6,250	60	10000 L	10000 L	7000 L	6000 L
	40K (70 CRI)		10,325	10,850	7,100	6,500		10000 L	11000 L	7000 L	7000 L
	50K (90 CRI)		7,000	7,375	4,820	4,420		7000 L	7000 L	5000 L	4000 L
	57K (70 CRI)		10,325	10,850	7,100	6,500		10000 L	11000 L	7000 L	7000 L
Q2/X2	30K (70 CRI)	55	8,925	9,400	6,150	5,625	60	9000 L	9000 L	6000 L	6000 L
	40K (70 CRI)		9,275	9,750	6,375	5,850		9000 L	10000 L	6000 L	6000 L
	50K (90 CRI)		6,300	6,625	4,330	3,970		6000 L	7000 L	4000 L	4000 L
	57K (70 CRI)		9,275	9,750	6,375	5,850		9000 L	10000 L	6000 L	6000 L
Q1*	30K (70 CRI)	50	7,900	8,300	5,425	4,970	50	8000 L	8000 L	5000 L	5000 L
	40K (70 CRI)		8,200	8,625	5,650	5,175		8000 L	9000 L	6000 L	5000 L
	50K (90 CRI)		5,550	5,850	3,830	3,500		6000 L	6000 L	4000 L	4000 L
	57K (70 CRI)		8,200	8,625	5,650	5,175		8000 L	9000 L	6000 L	5000 L

\* X1 option not available with 16L lumen package.

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 22L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	131	20,100	21,100	13,800	12,625	130	20000 L	21000 L	14000 L	13000 L
	40K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
	50K (90 CRI)		14,200	14,950	9,775	8,950		14000 L	15000 L	10000 L	9000 L
	57K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
Q8/X8	30K (70 CRI)	126	19,100	20,100	13,150	12,050	130	19000 L	20000 L	13000 L	12000 L
	40K (70 CRI)		20,000	21,000	13,725	12,575		20000 L	21000 L	14000 L	13000 L
	50K (90 CRI)		13,550	14,250	9,325	8,525		14000 L	14000 L	9000 L	9000 L
	57K (70 CRI)		20,000	21,000	13,725	12,575		20000 L	21000 L	14000 L	13000 L
Q7/X7	30K (70 CRI)	119	18,300	19,300	12,625	11,550	120	18000 L	19000 L	13000 L	12000 L
	40K (70 CRI)		19,100	20,100	13,150	12,050		19000 L	20000 L	13000 L	12000 L
	50K (90 CRI)		13,000	13,675	8,950	8,200		13000 L	14000 L	9000 L	8000 L
	57K (70 CRI)		19,100	20,100	13,150	12,050		19000 L	20000 L	13000 L	12000 L
Q6/X6	30K (70 CRI)	114	17,800	18,700	12,225	11,200	110	18000 L	19000 L	12000 L	11000 L
	40K (70 CRI)		18,400	19,400	12,675	11,625		18000 L	19000 L	13000 L	12000 L
	50K (90 CRI)		12,575	13,225	8,650	7,925		13000 L	13000 L	9000 L	8000 L
	57K (70 CRI)		18,400	19,400	12,675	11,625		18000 L	19000 L	13000 L	12000 L
Q5/X5	30K (70 CRI)	103	16,200	17,000	11,125	10,175	100	16000 L	17000 L	11000 L	10000 L
	40K (70 CRI)		16,900	17,800	11,650	10,650		17000 L	18000 L	12000 L	11000 L
	50K (90 CRI)		11,475	12,075	7,900	7,225		11000 L	12000 L	8000 L	7000 L
	57K (70 CRI)		16,900	17,800	11,650	10,650		17000 L	18000 L	12000 L	11000 L
Q4/X4	30K (70 CRI)	95	14,725	15,500	10,125	9,275	100	15000 L	16000 L	10000 L	9000 L
	40K (70 CRI)		15,300	16,100	10,525	9,650		15000 L	16000 L	11000 L	10000 L
	50K (90 CRI)		10,425	10,975	7,175	6,575		10000 L	11000 L	7000 L	7000 L
	57K (70 CRI)		15,300	16,100	10,525	9,650		15000 L	16000 L	11000 L	10000 L
Q3/X3	30K (70 CRI)	84	13,600	14,300	9,350	8,575	80	14000 L	14000 L	9000 L	9000 L
	40K (70 CRI)		14,175	14,925	9,750	8,950		14000 L	15000 L	10000 L	9000 L
	50K (90 CRI)		9,625	10,125	6,625	6,075		10000 L	10000 L	7000 L	6000 L
	57K (70 CRI)		14,175	14,925	9,750	8,950		14000 L	15000 L	10000 L	9000 L
Q2/X2	30K (70 CRI)	75	12,250	12,875	8,425	7,700	80	12000 L	13000 L	8000 L	8000 L
	40K (70 CRI)		12,750	13,425	8,775	8,050		13000 L	13000 L	9000 L	8000 L
	50K (90 CRI)		8,675	9,125	5,975	5,475		9000 L	9000 L	6000 L	5000 L
	57K (70 CRI)		12,750	13,425	8,775	8,050		13000 L	13000 L	9000 L	8000 L
Q1/X1	30K (70 CRI)	68	10,825	11,375	7,450	6,825	70	11000 L	11000 L	7000 L	7000 L
	40K (70 CRI)		11,275	11,850	7,750	7,100		11000 L	12000 L	8000 L	7000 L
	50K (90 CRI)		7,650	8,050	5,275	4,820		8000 L	8000 L	5000 L	5000 L
	57K (70 CRI)		11,275	11,850	7,750	7,100		11000 L	12000 L	8000 L	7000 L

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (<= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 30L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	175	27,400	28,800	18,800	17,200	130	28000 L	28000 L	19000 L	17000 L
	40K (70 CRI)		28,500	30,000	19,600	18,000		28000 L	30000 L	20000 L	18000 L
	50K (90 CRI)		19,400	20,400	13,350	12,225		19000 L	20000 L	13000 L	12000 L
	57K (70 CRI)		28,500	30,000	19,600	18,000		28000 L	30000 L	20000 L	18000 L
Q8/X8	30K (70 CRI)	168	26,100	27,500	18,000	16,500	170	26000 L	28000 L	18000 L	17000 L
	40K (70 CRI)		27,200	28,600	18,700	17,100		28000 L	28000 L	19000 L	17000 L
	50K (90 CRI)		18,500	19,500	12,750	11,675		19000 L	20000 L	13000 L	12000 L
	57K (70 CRI)		27,200	28,600	18,700	17,100		28000 L	28000 L	19000 L	17000 L
Q7/X7	30K (70 CRI)	158	25,000	26,300	17,200	15,800	160	26000 L	26000 L	17000 L	16000 L
	40K (70 CRI)		26,000	27,400	17,900	16,400		26000 L	28000 L	18000 L	16000 L
	50K (90 CRI)		17,700	18,600	12,150	11,150		18000 L	19000 L	12000 L	11000 L
	57K (70 CRI)		26,000	27,400	17,900	16,400		26000 L	28000 L	18000 L	16000 L
Q6/X6	30K (70 CRI)	152	24,200	25,500	16,700	15,300	150	24000 L	26000 L	17000 L	15000 L
	40K (70 CRI)		25,200	26,500	17,300	15,900		26000 L	26000 L	17000 L	16000 L
	50K (90 CRI)		17,100	18,000	11,775	10,775		17000 L	18000 L	12000 L	11000 L
	57K (70 CRI)		25,200	26,500	17,300	15,900		26000 L	26000 L	17000 L	16000 L
Q5/X5	30K (70 CRI)	137	22,100	23,300	15,200	13,950	140	22000 L	23000 L	15000 L	14000 L
	40K (70 CRI)		23,000	24,200	15,800	14,500		23000 L	24000 L	16000 L	15000 L
	50K (90 CRI)		15,700	16,500	10,800	9,875		16000 L	17000 L	11000 L	10000 L
	57K (70 CRI)		23,000	24,200	15,800	14,500		23000 L	24000 L	16000 L	15000 L
Q4/X4	30K (70 CRI)	126	20,100	21,100	13,800	12,625	130	20000 L	21000 L	14000 L	13000 L
	40K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
	50K (90 CRI)		14,225	14,975	9,800	8,975		14000 L	15000 L	10000 L	9000 L
	57K (70 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
Q3/X3	30K (70 CRI)	113	18,500	19,500	12,750	11,675	110	19000 L	20000 L	13000 L	12000 L
	40K (70 CRI)		19,300	20,300	13,275	12,150		19000 L	20000 L	13000 L	12000 L
	50K (90 CRI)		13,150	13,825	9,050	8,275		13000 L	14000 L	9000 L	8000 L
	57K (70 CRI)		19,300	20,300	13,275	12,150		19000 L	20000 L	13000 L	12000 L
Q2/X2	30K (70 CRI)	100	16,700	17,600	11,500	10,550	100	17000 L	18000 L	12000 L	11000 L
	40K (70 CRI)		17,400	18,300	11,975	10,950		17000 L	18000 L	12000 L	11000 L
	50K (90 CRI)		11,825	12,450	8,150	7,450		12000 L	12000 L	8000 L	7000 L
	57K (70 CRI)		17,400	18,300	11,975	10,950		17000 L	18000 L	12000 L	11000 L
Q1*	30K (70 CRI)	90	14,725	15,500	10,125	9,275	90	15000 L	16000 L	10000 L	9000 L
	40K (70 CRI)		15,400	16,200	10,600	9,700		15000 L	16000 L	11000 L	10000 L
	50K (90 CRI)		10,450	11,000	7,200	6,600		10000 L	11000 L	7000 L	7000 L
	57K (70 CRI)		15,400	16,200	10,600	9,700		15000 L	16000 L	11000 L	10000 L

\* X1 option not available with 30L lumen package.

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (<= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

**Q & X Option Power & Lumen Data – 40L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values				Utility Label Wattage	Utility Label Lumens			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS		Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	236	36,500	38,400	25,100	23,000	130	36000 L	38000 L	26000 L	23000 L
	40K (70 CRI)		38,000	40,000	26,200	24,000		38000 L	40000 L	26000 L	24000 L
	50K (90 CRI)		25,900	27,200	17,800	16,300		26000 L	28000 L	18000 L	16000 L
	57K (70 CRI)		38,000	40,000	26,200	24,000		38000 L	40000 L	26000 L	24000 L
Q8/X8	30K (70 CRI)	212	34,800	36,600	23,900	21,900	210	34000 L	36000 L	24000 L	22000 L
	40K (70 CRI)		36,300	38,200	25,000	22,900		36000 L	38000 L	26000 L	23000 L
	50K (90 CRI)		24,600	25,900	16,900	15,500		24000 L	26000 L	17000 L	16000 L
	57K (70 CRI)		36,300	38,200	25,000	22,900		36000 L	38000 L	26000 L	23000 L
Q7/X7	30K (70 CRI)	203	33,400	35,100	23,000	21,000	200	34000 L	36000 L	23000 L	21000 L
	40K (70 CRI)		34,800	36,600	23,900	21,900		34000 L	36000 L	24000 L	22000 L
	50K (90 CRI)		23,700	24,900	16,300	14,925		24000 L	24000 L	16000 L	15000 L
	57K (70 CRI)		34,800	36,600	23,900	21,900		34000 L	36000 L	24000 L	22000 L
Q6/X6	30K (70 CRI)	195	32,200	33,900	22,200	20,300	200	32000 L	34000 L	22000 L	20000 L
	40K (70 CRI)		33,600	35,400	23,100	21,200		34000 L	36000 L	23000 L	21000 L
	50K (90 CRI)		22,800	24,000	15,700	14,375		23000 L	24000 L	16000 L	14000 L
	57K (70 CRI)		33,600	35,400	23,100	21,200		34000 L	36000 L	23000 L	21000 L
Q5/X5	30K (70 CRI)	176	29,500	31,000	20,300	18,600	180	30000 L	32000 L	20000 L	19000 L
	40K (70 CRI)		30,700	32,300	21,100	19,300		30000 L	32000 L	21000 L	19000 L
	50K (90 CRI)		20,900	22,000	14,375	13,175		21000 L	22000 L	14000 L	13000 L
	57K (70 CRI)		30,700	32,300	21,100	19,300		30000 L	32000 L	21000 L	19000 L
Q4/X4	30K (70 CRI)	160	26,800	28,200	18,400	16,900	160	26000 L	28000 L	18000 L	17000 L
	40K (70 CRI)		27,900	29,400	19,200	17,600		28000 L	30000 L	19000 L	18000 L
	50K (90 CRI)		19,000	20,000	13,075	11,975		19000 L	20000 L	13000 L	12000 L
	57K (70 CRI)		27,900	29,400	19,200	17,600		28000 L	30000 L	19000 L	18000 L
Q3/X3	30K (70 CRI)	144	24,700	26,000	17,000	15,600	140	24000 L	26000 L	17000 L	16000 L
	40K (70 CRI)		25,800	27,100	17,700	16,200		26000 L	28000 L	18000 L	16000 L
	50K (90 CRI)		17,500	18,400	12,025	11,025		18000 L	18000 L	12000 L	11000 L
	57K (70 CRI)		25,800	27,100	17,700	16,200		26000 L	28000 L	18000 L	16000 L
Q2/X2	30K (70 CRI)	129	22,200	23,400	15,300	14,025	130	22000 L	23000 L	15000 L	14000 L
	40K (70 CRI)		23,200	24,400	16,000	14,625		23000 L	24000 L	16000 L	15000 L
	50K (90 CRI)		15,800	16,600	10,850	9,950		16000 L	17000 L	11000 L	10000 L
	57K (70 CRI)		23,200	24,400	16,000	14,625		23000 L	24000 L	16000 L	15000 L
Q1/X1	30K (70 CRI)	111	19,700	20,700	13,525	12,400	110	20000 L	21000 L	14000 L	12000 L
	40K (70 CRI)		20,500	21,600	14,125	12,925		21000 L	22000 L	14000 L	13000 L
	50K (90 CRI)		13,925	14,650	9,575	8,775		14000 L	15000 L	10000 L	9000 L
	57K (70 CRI)		20,500	21,600	14,125	12,925		21000 L	22000 L	14000 L	13000 L



**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

**Q & X Option Power & Lumen Data – 50L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	297	45,600	48,000	31,400	28,700
	40K (70 CRI)		47,500	50,000	32,700	29,900
	50K (90 CRI)		32,300	34,000	22,200	20,400
	57K (70 CRI)		47,500	50,000	32,700	29,900
Q8/X8	30K (70 CRI)	285	43,500	45,800	29,900	27,400
	40K (70 CRI)		45,300	47,700	31,200	28,600
	50K (90 CRI)		30,800	32,400	21,200	19,400
	57K (70 CRI)		45,300	47,700	31,200	28,600
Q7/X7	30K (70 CRI)	269	41,700	43,900	28,700	26,300
	40K (70 CRI)		43,400	45,700	29,900	27,400
	50K (90 CRI)		29,600	31,100	20,300	18,600
	57K (70 CRI)		43,400	45,700	29,900	27,400
Q6/X6	30K (70 CRI)	258	40,300	42,400	27,700	25,400
	40K (70 CRI)		42,000	44,200	28,900	26,500
	50K (90 CRI)		28,600	30,100	19,700	18,000
	57K (70 CRI)		42,000	44,200	28,900	26,500
Q5/X5	30K (70 CRI)	233	36,900	38,800	25,400	23,200
	40K (70 CRI)		38,400	40,400	26,400	24,200
	50K (90 CRI)		26,100	27,500	18,000	16,500
	57K (70 CRI)		38,400	40,400	26,400	24,200
Q4/X4	30K (70 CRI)	215	33,500	35,200	23,000	21,100
	40K (70 CRI)		34,900	36,700	24,000	22,000
	50K (90 CRI)		23,800	25,000	16,300	14,975
	57K (70 CRI)		34,900	36,700	24,000	22,000
Q3/X3	30K (70 CRI)	191	30,900	32,500	21,300	19,500
	40K (70 CRI)		32,200	33,900	22,200	20,300
	50K (90 CRI)		22,000	23,100	15,100	13,825
	57K (70 CRI)		32,200	33,900	22,200	20,300
Q2/X2	30K (70 CRI)	170	27,900	29,300	19,200	17,500
	40K (70 CRI)		29,000	30,500	19,900	18,300
	50K (90 CRI)		19,700	20,700	13,525	12,400
	57K (70 CRI)		29,000	30,500	19,900	18,300
Q1/X1	30K (70 CRI)	153	24,600	25,900	16,900	15,500
	40K (70 CRI)		25,700	27,000	17,700	16,200
	50K (90 CRI)		17,400	18,300	11,975	10,950
	57K (70 CRI)		25,700	27,000	17,700	16,200

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

**Q & X Option Power & Lumen Data – 65L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	384	59,300	62,400	40,800	37,400
	40K (70 CRI)		61,800	65,000	42,500	38,900
	50K (90 CRI)		42,000	44,200	28,900	26,500
	57K (70 CRI)		61,800	65,000	42,500	38,900
Q8/X8	30K (70 CRI)	365	56,600	59,500	38,900	35,600
	40K (70 CRI)		58,900	62,000	40,500	37,100
	50K (90 CRI)		40,100	42,200	27,600	25,300
	57K (70 CRI)		58,900	62,000	40,500	37,100
Q7/X7	30K (70 CRI)	347	54,200	57,000	37,300	34,100
	40K (70 CRI)		56,500	59,400	38,800	35,600
	50K (90 CRI)		38,400	40,400	26,400	24,200
	57K (70 CRI)		56,500	59,400	38,800	35,600
Q6/X6	30K (70 CRI)	332	52,500	55,200	36,100	33,100
	40K (70 CRI)		54,700	57,500	37,600	34,400
	50K (90 CRI)		37,200	39,100	25,600	23,400
	57K (70 CRI)		54,700	57,500	37,600	34,400
Q5/X5	30K (70 CRI)	301	47,900	50,400	33,000	30,200
	40K (70 CRI)		49,900	52,500	34,300	31,400
	50K (90 CRI)		33,900	35,700	23,300	21,400
	57K (70 CRI)		49,900	52,500	34,300	31,400
Q4/X4	30K (70 CRI)	276	43,500	45,800	29,900	27,400
	40K (70 CRI)		45,300	47,700	31,200	28,600
	50K (90 CRI)		30,800	32,400	21,200	19,400
	57K (70 CRI)		45,300	47,700	31,200	28,600
Q3/X3	30K (70 CRI)	247	40,200	42,300	27,700	25,300
	40K (70 CRI)		41,900	44,100	28,800	26,400
	50K (90 CRI)		28,500	30,000	19,600	18,000
	57K (70 CRI)		41,900	44,100	28,800	26,400
Q2/X2	30K (70 CRI)	220	36,200	38,100	24,900	22,800
	40K (70 CRI)		37,700	39,700	26,000	23,800
	50K (90 CRI)		25,700	27,000	17,700	16,200
	57K (70 CRI)		37,700	39,700	26,000	23,800
Q1*	30K (70 CRI)	195	31,900	33,600	22,000	20,100
	40K (70 CRI)		33,300	35,000	22,900	21,000
	50K (90 CRI)		22,600	23,800	15,600	14,250
	57K (70 CRI)		33,300	35,000	22,900	21,000

\* X1 option not available with 65L lumen package.

**Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:**

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

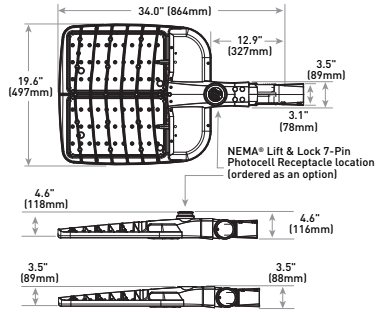
**Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:**

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

**Q & X Option Power & Lumen Data – 75L Lumen Package**

Q/X Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values			
			Asymmetric	Symmetric	2M, 3M, AF w/BLS	4M w/BLS
Q9 (Full Power)	30K (70 CRI)	447	68,400	72,000	47,100	43,100
	40K (70 CRI)		71,300	75,000	49,000	44,900
	50K (90 CRI)		48,500	51,000	33,300	30,500
	57K (70 CRI)		71,300	75,000	49,000	44,900
Q8/X8	30K (70 CRI)	426	65,300	68,700	44,900	41,100
	40K (70 CRI)		68,100	71,600	46,800	42,900
	50K (90 CRI)		46,300	48,700	31,800	29,200
	57K (70 CRI)		68,100	71,600	46,800	42,900
Q7/X7	30K (70 CRI)	404	62,500	65,800	43,000	39,400
	40K (70 CRI)		65,200	68,600	44,900	41,100
	50K (90 CRI)		44,300	46,600	30,500	27,900
	57K (70 CRI)		65,200	68,600	44,900	41,100
Q6/X6	30K (70 CRI)	387	60,500	63,600	41,600	38,100
	40K (70 CRI)		63,000	66,300	43,400	39,700
	50K (90 CRI)		42,900	45,100	29,500	27,000
	57K (70 CRI)		63,000	66,300	43,400	39,700
Q5/X5	30K (70 CRI)	350	55,300	58,200	38,100	34,900
	40K (70 CRI)		57,600	60,600	39,600	36,300
	50K (90 CRI)		39,200	41,200	26,900	24,700
	57K (70 CRI)		57,600	60,600	39,600	36,300
Q4/X4	30K (70 CRI)	321	50,200	52,800	34,500	31,600
	40K (70 CRI)		52,400	55,100	36,000	33,000
	50K (90 CRI)		35,600	37,400	24,500	22,400
	57K (70 CRI)		52,400	55,100	36,000	33,000
Q3/X3	30K (70 CRI)	287	46,400	48,800	31,900	29,200
	40K (70 CRI)		48,400	50,900	33,300	30,500
	50K (90 CRI)		32,900	34,600	22,600	20,700
	57K (70 CRI)		48,400	50,900	33,300	30,500
Q2/X2	30K (70 CRI)	256	41,700	43,900	28,700	26,300
	40K (70 CRI)		43,500	45,800	29,900	27,400
	50K (90 CRI)		29,600	31,100	20,300	18,600
	57K (70 CRI)		43,500	45,800	29,900	27,400
Q1/X1	30K (70 CRI)	227	36,900	38,800	25,400	23,200
	40K (70 CRI)		38,400	40,400	26,400	24,200
	50K (90 CRI)		26,100	27,500	18,000	16,500
	57K (70 CRI)		38,400	40,400	26,400	24,200

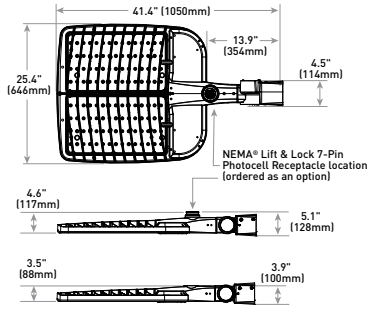
**OSQL - AA Mount**



Luminaire	Weight
OSQL	28.4 lbs. [12.9kg]

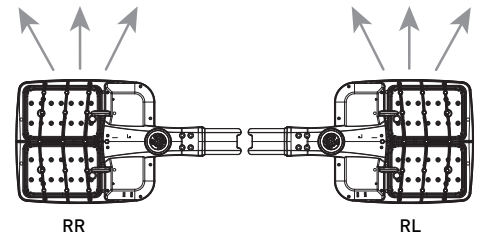
Note: For OSQM w/AA mount, refer to drawing on page 1.

**OSQX - AA Mount**

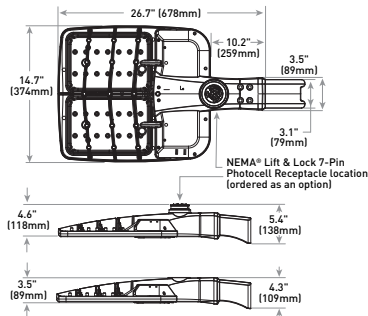


Luminaire	Weight
OSQX	48.6 lbs. [22.0kg]

**RR/RL Configuration**



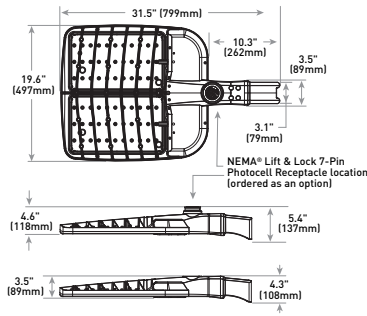
**OSQM - DA Mount**



Luminaire	Weight
OSQM	19.7 lbs. [8.9kg]

Note: Refer to page 14 for fixture mounting drill pattern.

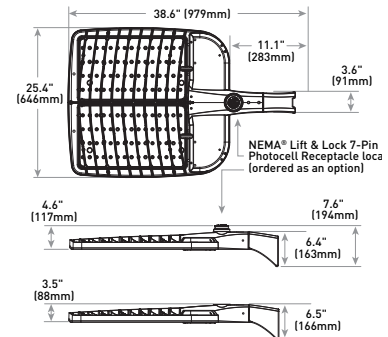
**OSQL - DA Mount**



Luminaire	Weight
OSQL	28.8 lbs. [13.1kg]

Note: Refer to page 14 for fixture mounting drill pattern.

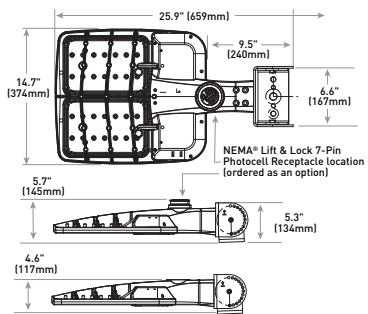
**OSQX-DA Mount**



Luminaire	Weight
OSQX	45.8 lbs. [20.8kg]

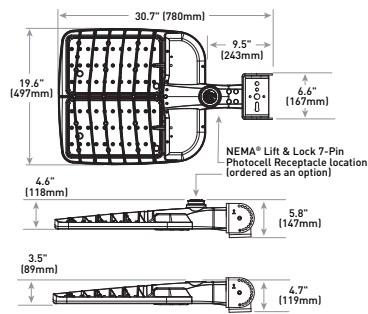
Note: Refer to page 14 for fixture mounting drill pattern.

**OSQM - Trunnion Mount**



Luminaire	Weight
OSQM	23.2 lbs. [10.5kg]

**OSQL - Trunnion Mount**



Luminaire	Weight
OSQL	32.3 lbs. [14.7kg]

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Catalog Number
Notes
Type

## FEATURES & SPECIFICATIONS

### INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

### CONSTRUCTION

Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant.

### OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

**LUMEN MAINTENANCE:** The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

### ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V

Operating temperature -30°C to 40°C.

1KV surge protection standard.

### INSTALLATION

Surface mounts to universal junction box (provided by others).

### LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations.

Tested in accordance with IESNA LM-79 and LM-80 standards.

**WARRANTY** — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

[www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

Outdoor General Purpose

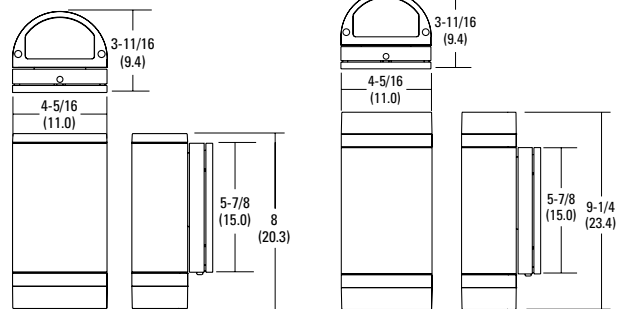
# OLLWD & OLLWU

LED WALL CYLINDER LIGHT



### Specifications

All dimensions are inches (centimeters)



**CONTRACTOR TO VERIFY THAT FIXTURES CAN BE MOUNTED PER PLAN AND ALL NECESSARY HARDWARE IS SPECIFIED FOR INSTALLATION PRIOR TO PURCHASING**

### ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

**Example:** OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
<b>OLLWD LED</b> Downlight	<b>P1</b>	<b>40K</b> 4000K	<b>MVOLT</b> 120V-277V	<b>DDB</b> Dark bronze
<b>OLLWU LED</b> Up & downlight			<b>120</b> 120V <sup>1</sup>	<b>WH</b> White <sup>2</sup>

### Notes

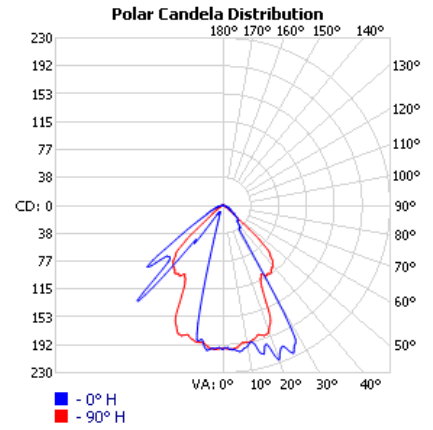
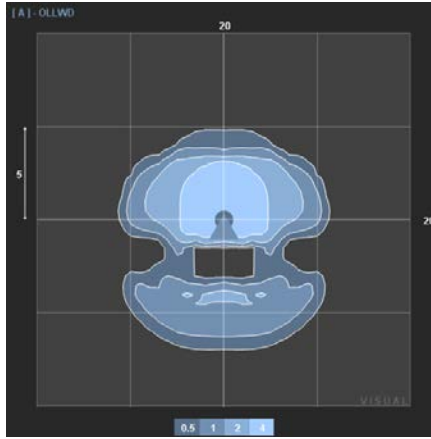
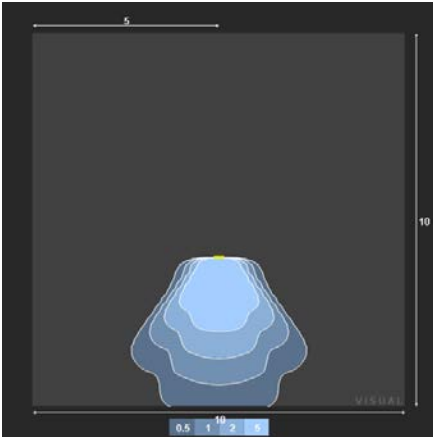
1. Only available with OLLWU and in DDB.
2. Only available with OLLWU.

# OLLWD & OLLWU LED Wall Cylinder Light

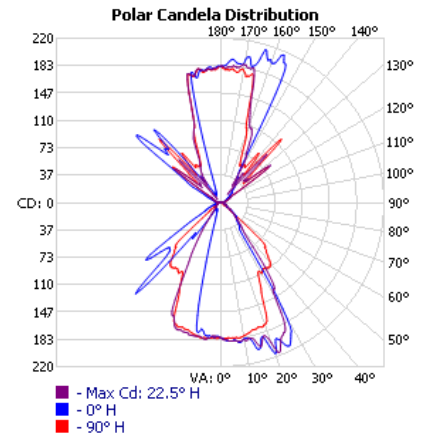
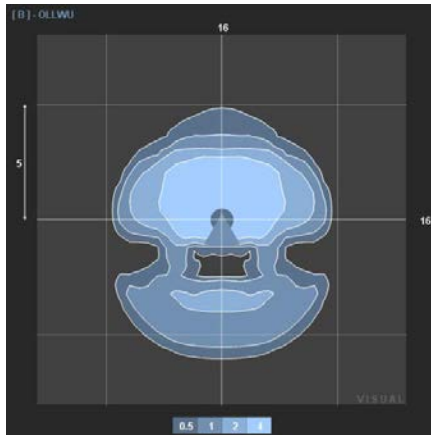
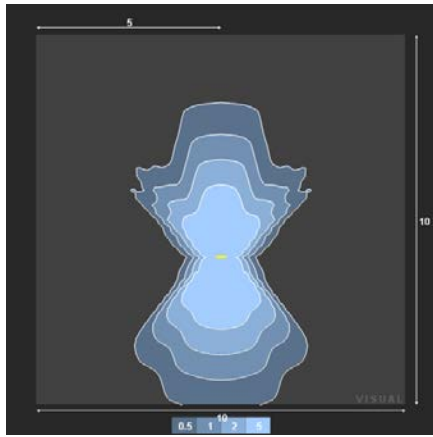
## PHOTOMETRICS

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's Outdoor LED homepage  
 Tested in accordance with IESNA LM-79 and LM-80 standards.

### OLLWD



### OLLWU



**OLLWD**

Lithonia Lighting

LED lighting facts®

A Program of the U.S. DOE

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**Light Output (Lumens)** 533

**Watts** 9.1

**Lumens per Watt (Efficacy)** 58.63

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**Color Accuracy** 70

Color Rendering Index (CRI)

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**Light Color** 4000 (Bright White)

Correlated Color Temperature (CCT)

2700K 3000K 4500K 6500K

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit [www.lightingfacts.com](http://www.lightingfacts.com) for the Label Reference Guide.

Registration Number: NJSM-W81YMF (7/22/2018)  
 Model Number: OLLWD LED P1 40K XXXXX XXX  
 Type: Luminaire - Other

**OLLWU**

Lithonia Lighting

LED lighting facts®

A Program of the U.S. DOE

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**Light Output (Lumens)** 947

**Watts** 14

**Lumens per Watt (Efficacy)** 67.64

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**Color Accuracy** 70

Color Rendering Index (CRI)

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**Light Color** 4000 (Bright White)

Correlated Color Temperature (CCT)

2700K 3000K 4500K 6500K

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit [www.lightingfacts.com](http://www.lightingfacts.com) for the Label Reference Guide.

Registration Number: NJSM-Y79W8B (7/22/2018)  
 Model Number: OLLWU LED P1 40K XXXXX XXX  
 Type: Luminaire - Other



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Clay Cristy; *ClayMoore Engineering*  
**CASE NUMBER:** SP2023-038; *Site Plan for HTeaO*

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### SUMMARY

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37*. On December 7, 1993, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [i.e. *Ordinance No. 07-13*] for limited General Retail (GR) District land uses. On October 5, 2020, the City Council approved a replat [i.e. *Case No. P2020-038*] that replatted the subject property as Lot 11, Block A, Stone Creek Retail Addition. On May 2, 2022, the City Council approved a replat [i.e. *Case No. P2022-013*] that established the subject property as a portion of Lot 13, Block A, Stone Creek Retail Addition. On November 6, 2023, the City Council approved a Specific Use Permit (SUP) [i.e. *Case No. Z2023-048; Ordinance No. 23-62, S-319*] to allow a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property. The subject property is currently vacant.

### PURPOSE

On October 20, 2023, the applicant -- *Clay Cristy of ClayMoore Engineering* -- submitted an application requesting the approval of a site plan for the purpose of constructing a *Restaurant Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject is a *Restaurant with less than 2,000 SF with a Drive-Through (i.e. Salad-n-Go)*. North of this is a *Restaurant with more than 2,000 SF with a Drive-Through (i.e. McDonald's)*. Beyond this is a *Retail Store with Gasoline Sales (i.e. Tom Thumb Gas Station)*. All of these properties are zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses.

South: Directly south of the subject property is Bordeaux Drive, which is identified as a *A4D (i.e. major arterial, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Stone Creek Subdivision, which is an 83.57-acre residential subdivision, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

**East:** Directly east of the subject property is the remainder of a 5.16-acre parcel of land (*i.e. Lot 13, Block A, Stone Creek Retail Addition*) -- that includes the subject property --, which is currently vacant. East of this is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 2B & 6 of the Stone Creek Subdivision, which are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

**West:** Directly west of the subject property is N. Goliad Street [SH-205], which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. 3069 and 3073 N. Goliad Street*), zoned Single-Family 16 (SF-16) District. Beyond this is Phase 6 of the Shores Subdivision, which consists of 70 lots and is zoned Planned Development District 3 (PD-3) for single-family land uses.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* is permitted by Specific Use Permit (SUP) in a General Retail (GR) District. A Specific Use Permit (SUP) [*i.e. Case No. Z2023-048; Ordinance No. 23-62, S-319*] was granted for this land use by the City Council on November 6, 2023. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>X=0.81-acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>X= 137-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=249.46-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x&gt;15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>x&gt;10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>x=10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X&lt;60-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>X=2.22%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space/100 SF (8 Required)</i>	<i>x=8; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x&lt;85%; In Conformance</i>

**TREESCAPE PLAN**

There are no trees being removed from the property, therefore no treescape plan is required.

**CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 02.02(F)(27), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Restaurants with Drive Through or Drive-In* as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” In this case the applicant is requesting a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.



## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Architectural Standards.

- (a) 20% Stone Requirement. According to Subsection 06.02(C)(1)(A)(1), *Stone*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...a minimum of 20% natural or quarried stone is required on all building facades." In this case, the applicant meets this requirement on three (3) of four (4) sides of the building. A *variance* is requested for the building façade that does not meet this requirement.
- (b) 90% Masonry Requirement. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." In this case, the applicant meets this requirement on one (1) of the four (4) sides of the building. A variance is requested on three (3) of the four (4) sides of the building.
- (c) Roof Design Standards. According to Subsection 06.02 (C)(3), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case, the applicant is requesting that this requirement be waived in order to meet their brand standards and match the surrounding buildings. Staff should note that this variance has been granted before for the adjacent restaurant (*i.e. Salad and Go*).
- (d) Four-Sided Architecture. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building." In this case, the building elevations did not meet the articulation standards or projection standards for all four (4) facades of all buildings proposed and there is not an additional row of trees proposed at the back of the property.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicant's provide compensatory measures that directly offset the requested exception. In this case, as compensatory measures the applicant is proposing to [1] increased landscaping (*i.e. six (6) canopy trees around the building and increased landscaping at east and southwest corners of the lot*), [2] additional coverings (*i.e. portico around the front entrance and squared arch openings on either side of portico*), and [3] increased horizontal articulation (*i.e. added cornice design using two-step cornice crowning the top of the walls finished in stucco*). With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Northwest Residential District. The Northwest Residential District is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. As a result, the majority of commercial development in the area is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. Strategy #2 in the Northwest Residential District states that "...commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on November 1, 2023. The ARB recommended that the applicant revise the elevations to be more consistent with the surrounding buildings (*i.e. Salad and Go*) in terms of projections and building materials. They also asked that the applicants meet the articulation requirements. Before action is taken on the elevations, the ARB wants to see the revised elevations at the November 14, 2023 meeting.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for HTeaO on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant shall update the Photometric Plan to be in conformance with the Unified Development Code (UDC) before the engineering process.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address \_\_\_\_\_

Subdivision Stone Creek Retail Addition

Lot

12

Block

A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use

Undeveloped

Proposed Zoning PD-070

Proposed Use

Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

### NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of  
Metroplex Acquisition Fund, LP

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

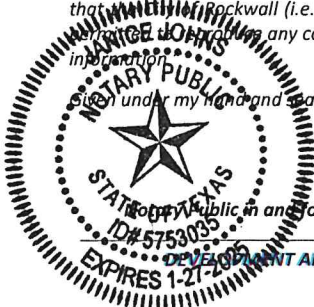
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 268.60, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

\_\_\_\_\_ under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature

My Commission Expires

1-27-2025



Notary Public in and for the State of Texas

SP2023-038: Site Plan for a Restaurant with a Drive-Through



PD-37

205

N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMOR DR

AG

Case Location Map = 



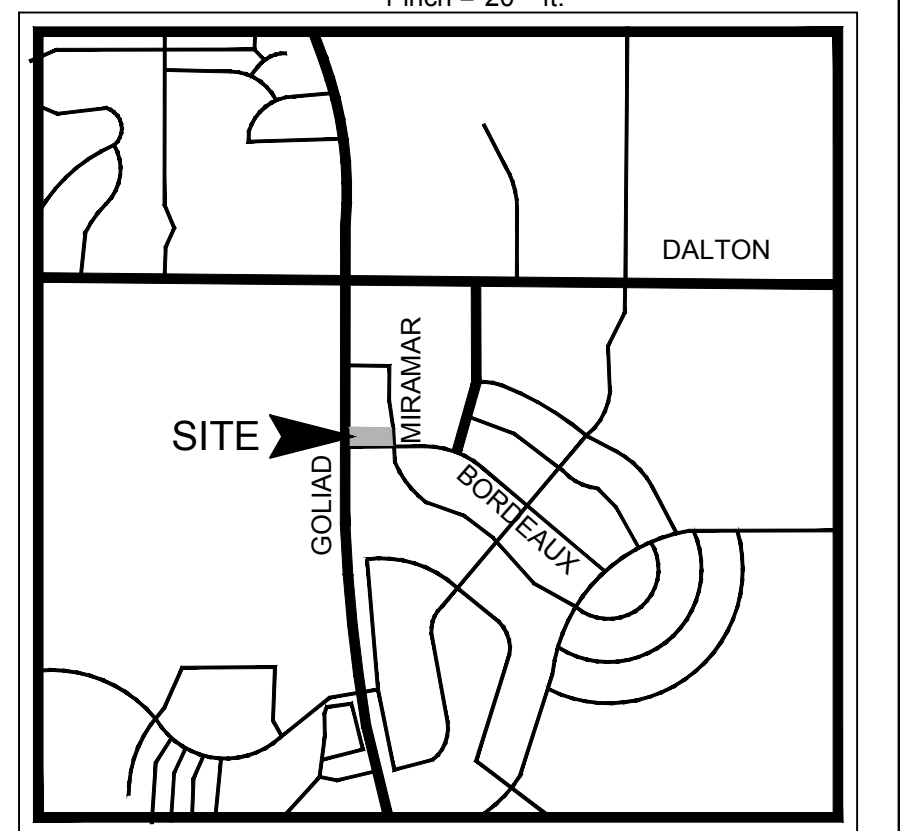
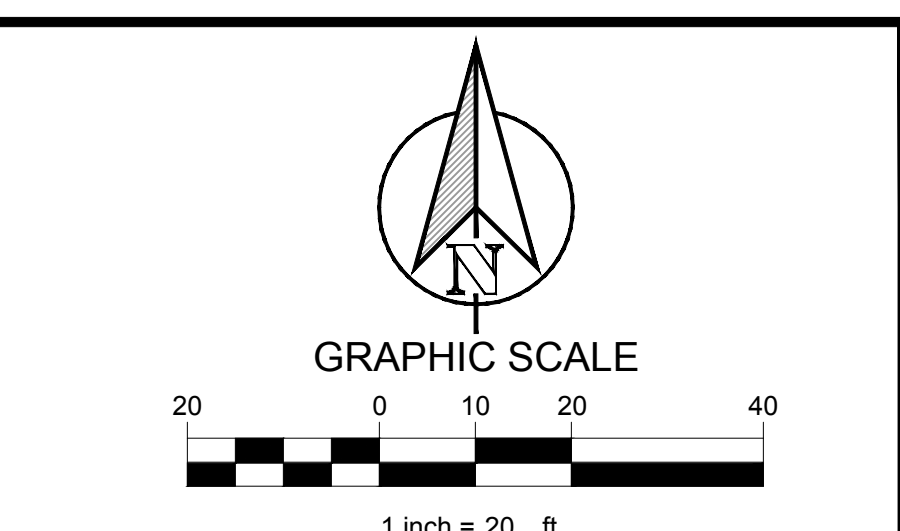
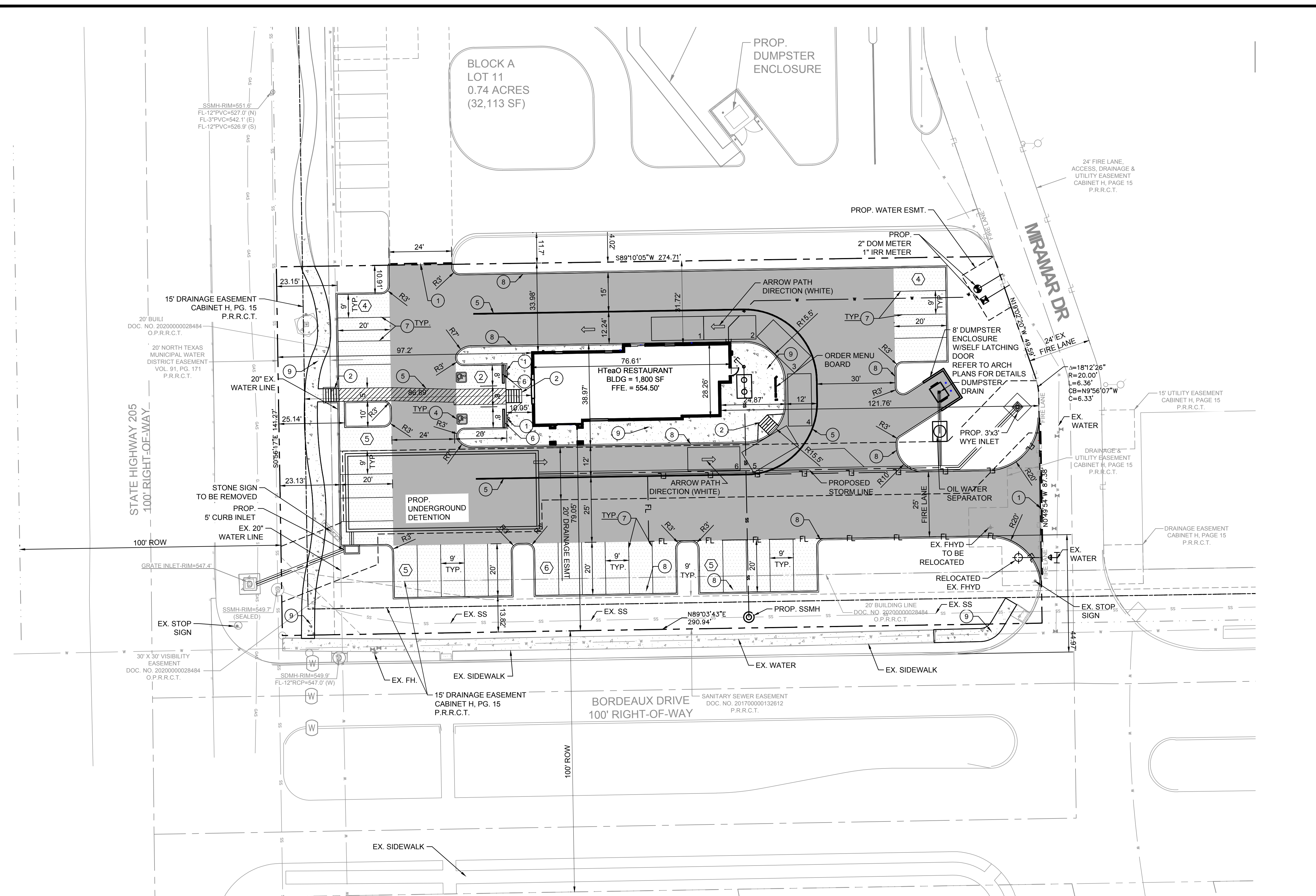
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PLOTTED BY: MAX LANTANO  
 PLOT DATE: 10/17/2023 2:33 PM  
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG  
 LAST SAVED: 10/17/2023 2:07 PM



**CONSTRUCTION SCHEDULE**

[Symbol]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

- NOTES:**
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
  - PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS

**PARKING DATA TABLE**

PARKING REQ.	
DRIVE-THRU RESTAURANT (1,800 SF) 1/ 100 SF	18 SPACES
PARKING PROVIDED	
STANDARD PARKING	29 SPACES
ADA PARKING	2 SPACES
<b>TOTAL</b>	<b>31 SPACES (2 ADA)</b>
TYP. PARKING DIMENSIONS	9'X20'

**SITE DATA TABLE**

SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	1,800 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

**CONSTRUCTION SCHEDULE**

①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER
⑨	PROPOSED SIDEWALK

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**OWNER:**  
 METROPLEX ACQUISITIONS FUND, LP  
 1717 WOODSTEAD CT, SUITE 207  
 THE WOODLANDS, TX 77380  
 CONTACT: STACI BOWEN  
 PH: 214.343.447

**DEVELOPER:**  
 APPPJ MANAGEMENT  
 740 AVALON DR  
 HEATH, TX 75032  
 CONTACT: JEFF IVY  
 PH: 214-272-4350

**HTEAO RESTAURANT**  
 LEGAL DESCRIPTION AND OR ADDRESS:  
 HWY 205 & BORDEAUX DRIVE  
 ROCKWALL, TX 75087  
 0.933 AC (40,627 SF)

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: CLAY CRISTY  
 PH: 817.281.0572

**CASE NUMBER:**  
 Z2023-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199

**CLAYMOORE ENGINEERING**

1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOORE.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 CLAY CRISTY  
 Engineer No. 10980 Date 10/17/2023

**HTEAO RESTAURANT  
 HWY 205 & BORDEAUX DR  
 ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
1	12/07/2020	STORM REVISION	LRR
2	09/13/2021	STORM REVISION	LRR

**SITE PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 10/17/2023

SHEET  
**SP-1**

File No. 2020-021  
 CASE # SP2023-000

**BUILDING EXTERIOR WALL MATERIAL PERCENTAGES**

TOTAL FAÇADE AREAS: **4389 S.F.**

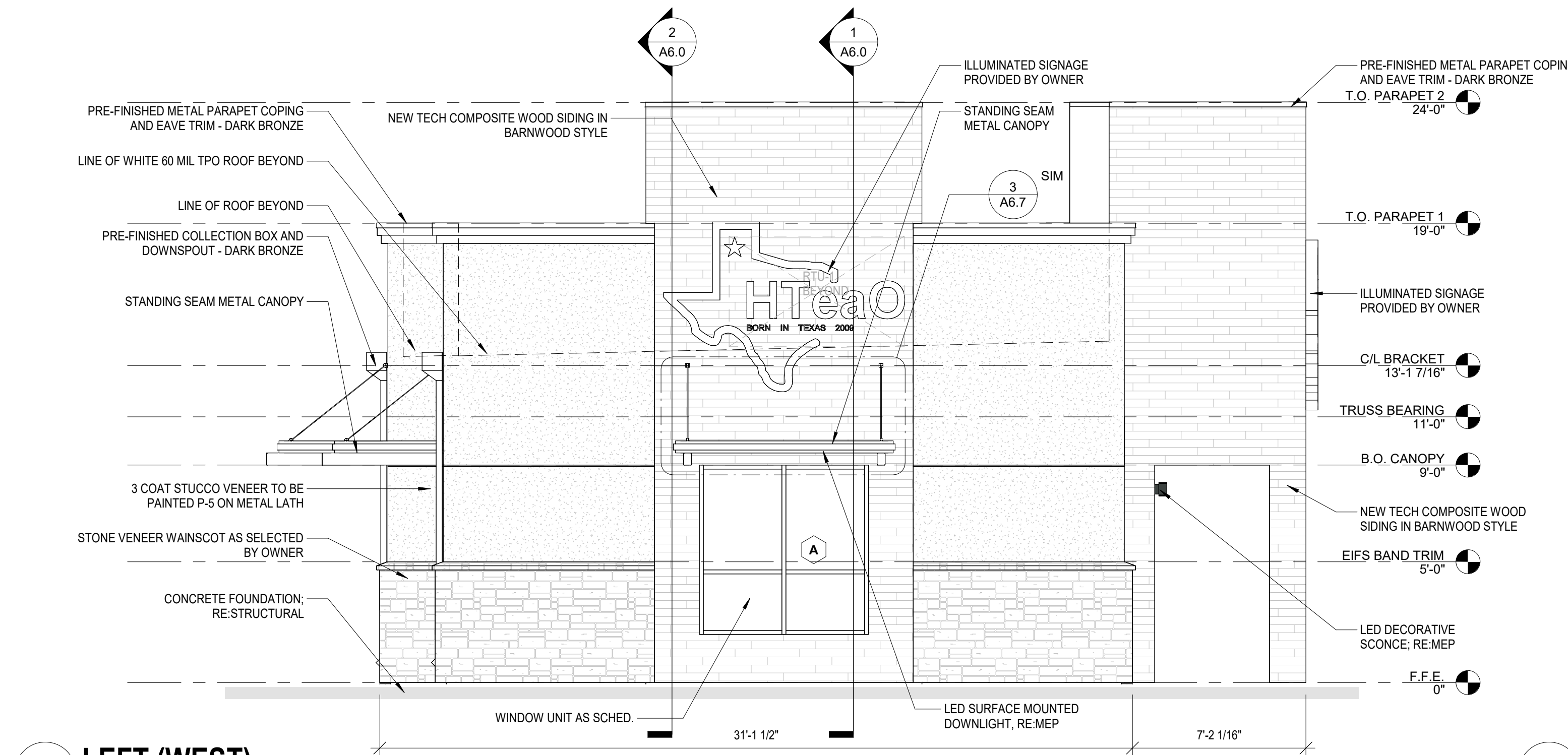
TOTAL FAÇADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS: **4111 S.F.**

MAX. BUILDING HEIGHT ALLOWED BY CODE: **40'-0" S.F.** PROPOSED BUILDING HEIGHT: **22'-0" S.F.**

BLDG MATERIAL	NORTH		SOUTH		EAST		WEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
Stucco	957	66%	800	53%	318	48%	250	33%	2325	53%
Stone	329	23%	297	20%	132	20%	98	13%	856	20%
Wood/Composite	0	0%	250	17%	171	26%	351	46%	772	18%
EIFS	64	4%	54	4%	23	3%	17	2%	158	4%
Windows/Doors	96	7%	112	7%	21	3%	49	6%	278	6%
<b>TOTALS</b>	<b>1446</b>	<b>100%</b>	<b>1513</b>	<b>100%</b>	<b>665</b>	<b>100%</b>	<b>765</b>	<b>100%</b>	<b>4389</b>	<b>100%</b>

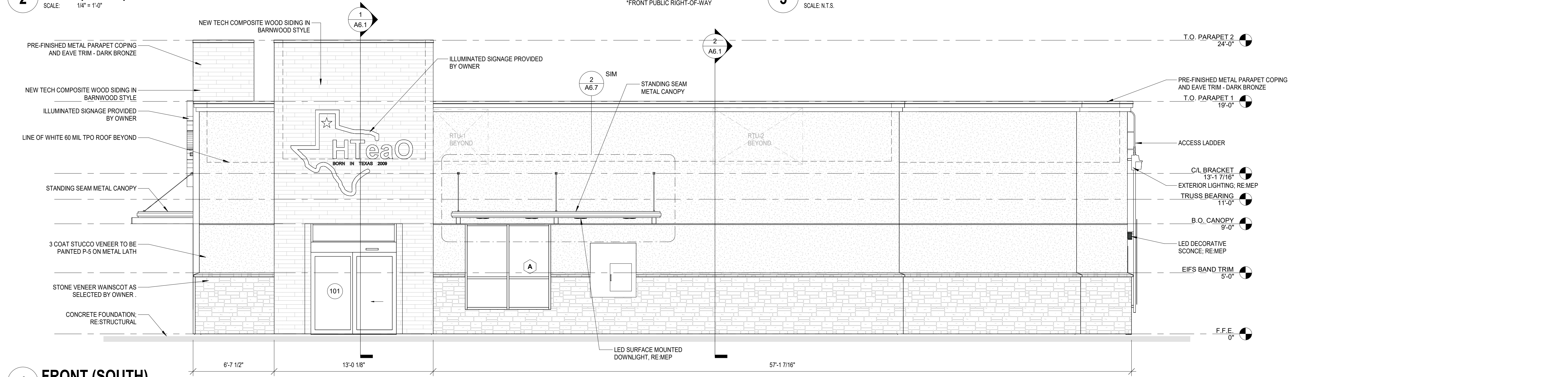
**GENERAL NOTES**

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



**2 LEFT (WEST)**  
SCALE: 1/4" = 1'-0"

**3 3D View 2**  
SCALE: N.T.S.



**1 FRONT (SOUTH)**  
SCALE: 1/4" = 1'-0"

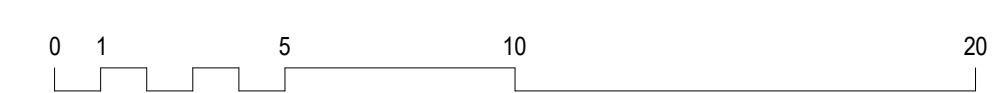
HTEAO ROCKWALL  
3060 NORTH GOLIAD STREET  
ROCKWALL, TX 75087



Date: 7-24-2023  
Dwn: BRZ Chk: SJK  
Project No.: 2348  
Issue:

Sheet Name:  
EXTERIOR ELEVATIONS

**A5.0**



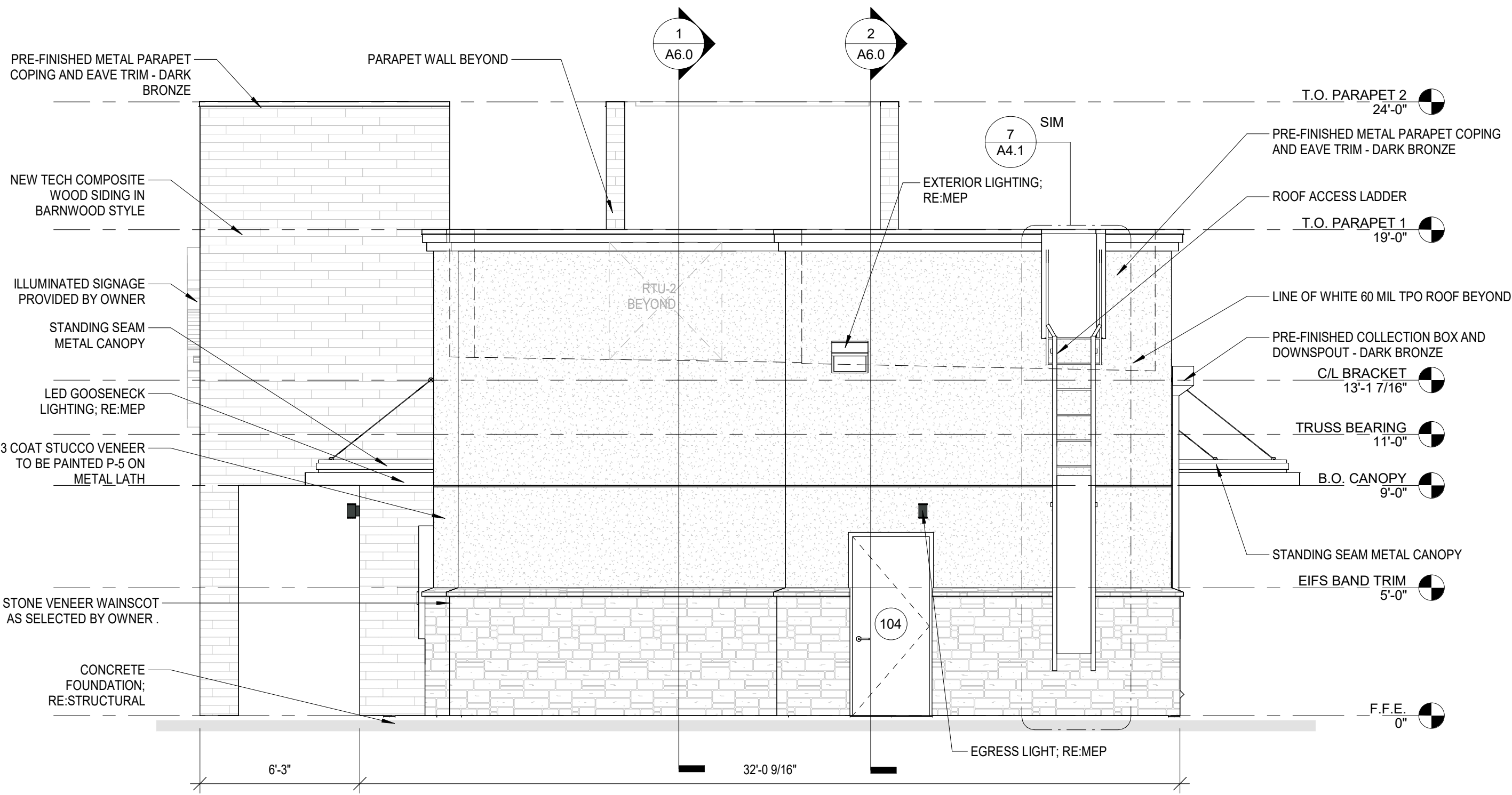
**BUILDING EXTERIOR WALL MATERIAL PERCENTAGES**

TOTAL FAÇADE AREAS: **4389 S.F.**  
 TOTAL FAÇADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS: **4111 S.F.**  
 MAX. BUILDING HEIGHT ALLOWED BY CODE: **40'-0" S.F.** PROPOSED BUILDING HEIGHT: **22'-0" S.F.**

BLDG MATERIAL	NORTH		SOUTH		EAST		WEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
Stucco	957	66%	800	53%	318	48%	250	33%	2325	53%
Stone	329	23%	297	20%	132	20%	98	13%	856	20%
Wood/Composite	0	0%	250	17%	171	26%	351	46%	772	18%
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<b>TOTALS</b>	<b>1446</b>	<b>100%</b>	<b>1513</b>	<b>100%</b>	<b>665</b>	<b>100%</b>	<b>765</b>	<b>100%</b>	<b>4389</b>	<b>100%</b>

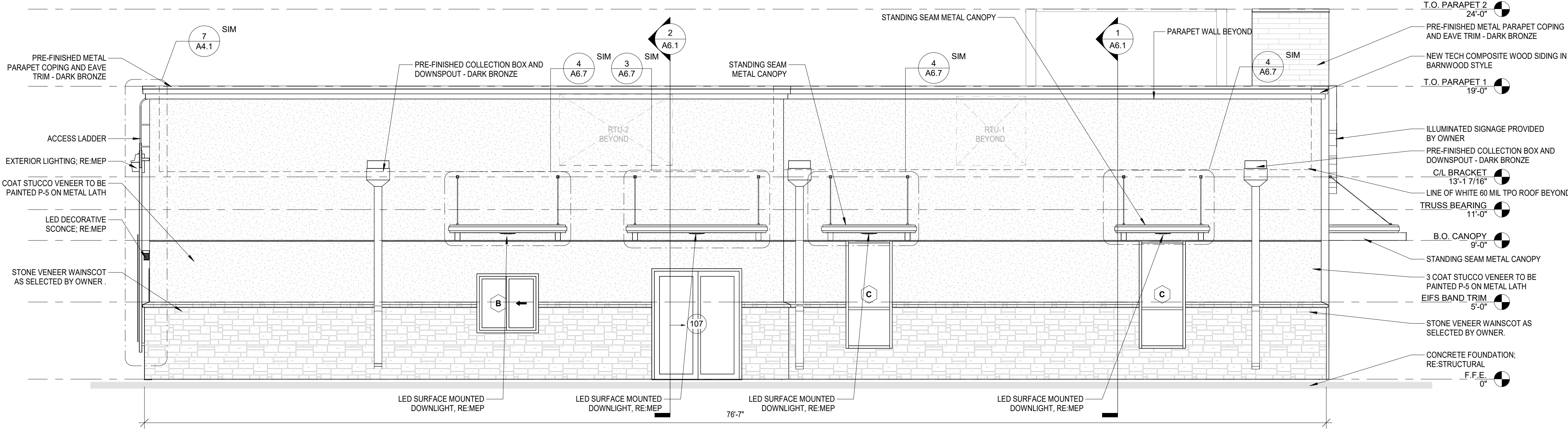
**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
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- ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



**2 RIGHT (EAST)**  
SCALE: 1/4" = 1'-0"

**3 3D View 1**  
SCALE: N.T.S.



**1 REAR (NORTH)**  
SCALE: 1/4" = 1'-0"

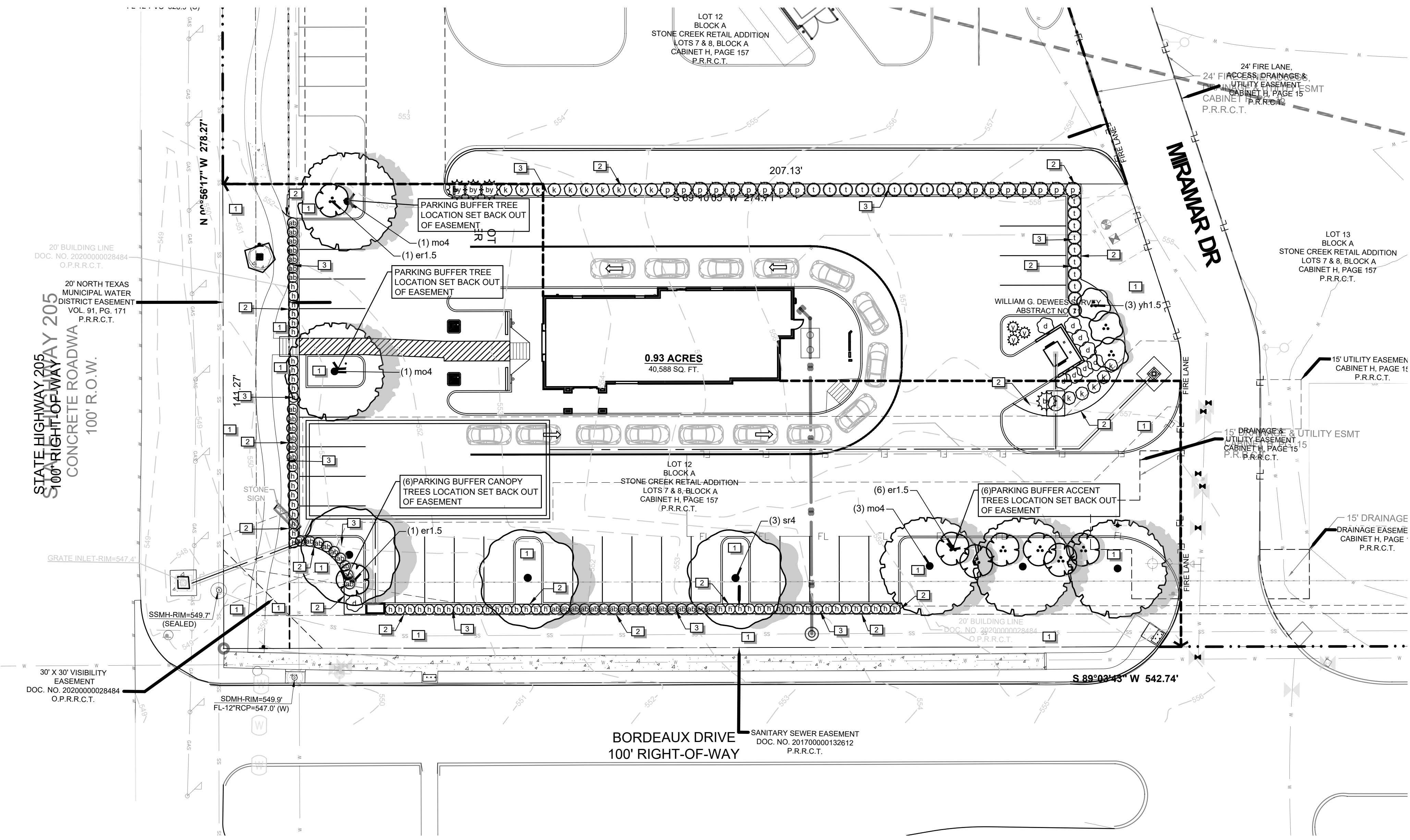
**HTEAO ROCKWALL**  
**3060 NORTH GOLIAD STREET**  
**ROCKWALL, TX 75087**



Date: **7-24-2023**  
 Dwn: **BRZ** Chk: **SJK**  
 Project No.: **2348**  
 Issue:

Sheet Name:  
**EXTERIOR ELEVATIONS**

**A5.1**



**LANDSCAPE CALCULATIONS**

LANDSCAPE BUFFER	REQUIRED	PROVIDED
• N Goliad Dr. (110 lf)		
•• Shade trees (1 per 50 lf)	2	2
•• Accent trees (1 per 50 lf)	2	2
• Bordeaux Dr. (291 lf)		
•• Shade trees (1 per 50 lf)	6	6
•• Accent trees (1 per 50 lf)	6	6

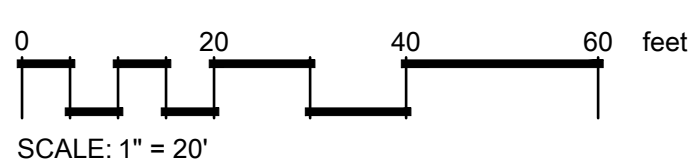
LANDSCAPE SCREENING	REQUIRED	PROVIDED
• Headlight Screening (shrubs and 2' tall berm)		
•• N Goliad Dr.	73 lf	* lf
•• Bordeaux Dr.	182 lf	* lf
••• *shrubs and berm cannot be provided due to easement conflicts		

LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
• Total Site Area		42,619sf
• Amount of Landscaping (20% Total Site)	8,524sf	12,702sf
• Location of Landscaping (50% in Streetyard)	4,262sf	9,163sf

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION
1	Lawn, Sod
2	Steel Edge
3	Mulch



**PLANT SCHEDULE**

SYMBOL	CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	QTY
<b>TREES</b>							
	mo4	Monterey Oak	Quercus polymorpha 'Monterey'	-	4"Cal	6' H min	5
	sr4	Shumard Red Oak	Quercus shumardii	-	4"Cal	6' H min	3
<b>ORNAMENTAL TREES</b>							
	er1.5	Eastern Redbud	Cercis canadensis	-	1.5"Cal	6' H min	8
	yh1.5	Yaupon Holly	Ilex vomitoria	-	1.5"Cal	6' H min	3
<b>SHRUBS</b>							
	ab	Abelia, Twist of Lime	Abelia x grandiflora 'Twist of Lime'	5 gal			40
	by	Beaked Yucca, 'Blue Velvet'	Yucca rostrata 'Blue Velvet'	5 gal			4
	d	Dwarf Palmetto	Sabal minor	5 gal			9
	h	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal			55
	k	Knock Out Rose	Rosa acicularis 'Knock Out'	5 gal			15
	p	Pineapple Guava	Feijoa sellowiana	5 gal			17
	t	Texas Sage 'Silverado'	Leucophyllum frutescens 'Silverado'	5 gal			19
	y	Soft Leaf Yucca	Yucca pendula	5 gal			3



**Contractors:**  
 email [info@blairla.com](mailto:info@blairla.com) with RFIs, submittals, & inspection scheduling  
 Schedule inspections at least 2 weeks in advance

Rev	Description	Date

Consultant Seal

Company Name and Address  
 William S. Blair  
 (512) 522-8979  
 info@blairla.com  
 www.blairla.com  
 100 Congress Ave.  
 Ste 2000  
 Austin, TX 78701

**BLAIR LANDSCAPE ARCHITECTURE, LLC**  
 QUALITY. INTEGRITY. RELIABILITY.

William S. Blair  
 November 9, 2023  
Project Name and Address

HteaO | Rockwall  
 N Goliad Dr. and Bordeaux Dr.  
 Rockwall, Texas

Sheet Title

Landscape Plan

Design By: Will Blair  
 Checked By: xxxx  
 Issue Date: 09/15/2023  
 Project Number: Z3062-LP

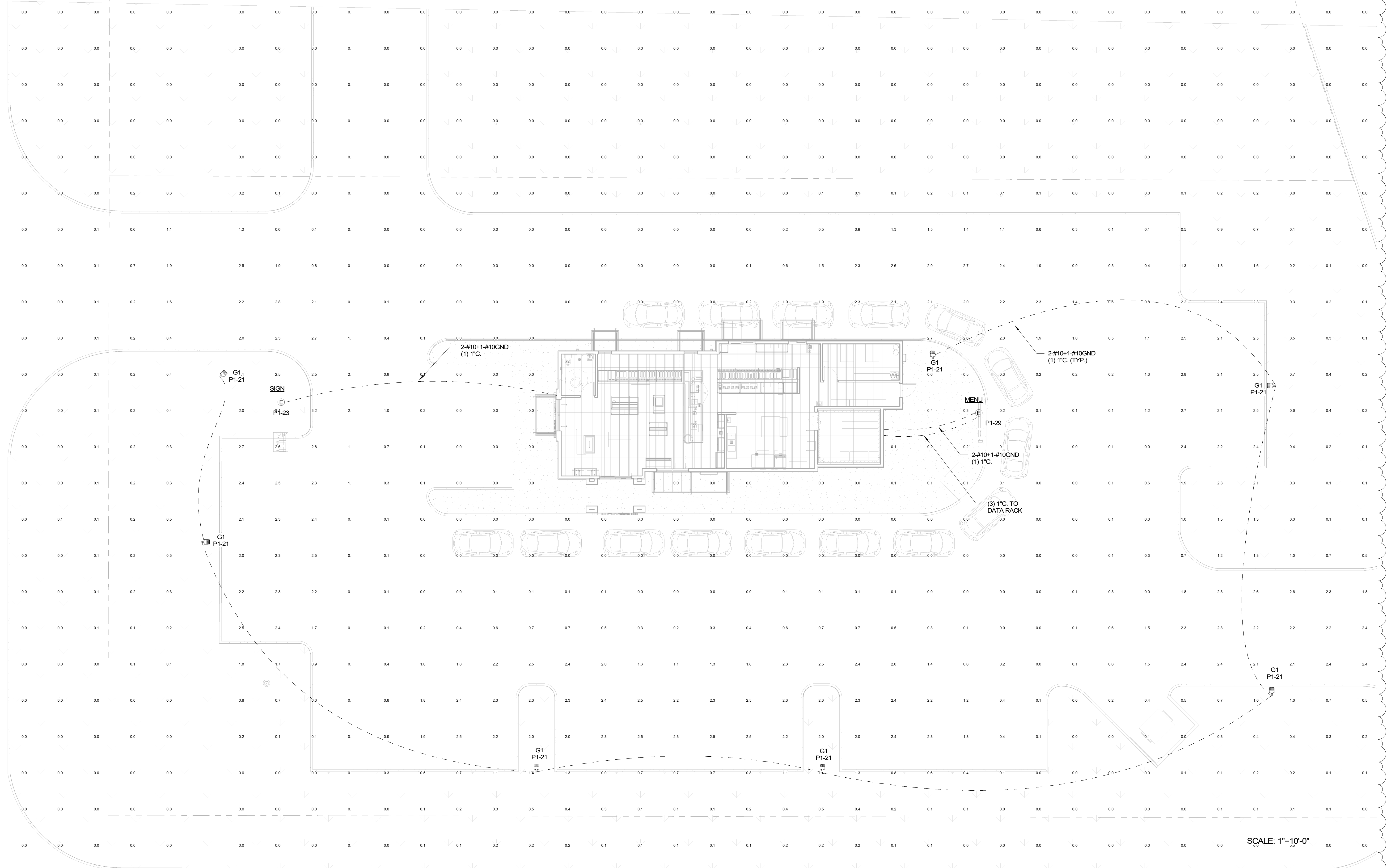
L1  
OF 2







TYPE G1 NLS LIGHTING NV-1-T3-32L-1-40K8-DPS3-BLK-HSS 116W



SCALE: 1"=10'-0"

1 ELECTRICAL SITE PHOTOMETRIC PLAN



CEN-TEX ENGINEERING  
18 South Main St  
Temple, TX 76701  
Suite 610

HTEAO ROCKWALL  
HWY 205 & BORDEAUX DR.  
ROCKWALL, TX 75087



Date: 09/29/2023  
Dwn: KSF Chk: CG  
Project No.: 2348  
Issue: PERMIT

1	REVISION 1	11/06/2023
---	------------	------------

Sheet Name:  
ELECTRICAL  
SITE  
PHOTOMETRIC  
PLAN

E0.2



November 7, 2023

Angelica Guevara  
Planning and Zoning  
City of Rockwall  
385 S Goliad St.  
Rockwall, Texas 75087

Re: HTeaO- Variance Request

To Whom It May Concern,

Please let this letter serve as a written request for the variances below, related to our project at the NEC of Highway 205 and Bordeaux Dr.

1. 20% stone required for each faced of the proposed building. (UDC SS 05.01.A.1, Article 05)
  - a. The 20% minimum stone has been achieved on 3 of the 4 sides. This variance is requested for only 1 of the 4 sides of the building, in order to meet brand requirements. In compensation, a total of 6 canopies have been added around the building to increase character and architectural presence. In addition to this, we will also be working to increase the landscaping presence at the east and southwest corners of the lot for better appeal and green space.
2. 90% masonry materials are required on each façade of the proposed building. (UDC SS 05.01.C.2, Article 05).
  - a. The 90% masonry has been achieved on 1 of the 4 sides. This variance is requested for 3 of the 4 sides of the building, in order to meet brand requirements. In compensation, we have designed a portico around the front entrance to elevate the composite material and draw eyes to the entrance of the building. In addition to this we have chosen to build the squared arched openings on either side of the portico to provide an arcade-like feel as you walk across the front entrance.
3. Being in an overlay district and being less than 6,000 sf requires the roof to be pitched. (UDC SS 06.02.C.2, Article 05).
  - a. Similar to the Salad and Go adjacent to our project, we are requesting this requirement be waived to meet brand standards. In compensation we have increased the horizontal articulation of the building to add better depth and character with the casting of shadows throughout the day. In addition to this we have also added and articulated cornice design using a two-step cornice profile that crowns the top of the walls finished in stucco.

In review, all 6 compensatory measures have been thought out in a way to both elevate the site and appearance of the building to better draw in clientele and enhance the character and architectural appearance of the Hteao Store.

Sincerely,

Claymoore Engineering, Inc. 1903  
Central Drive Ste. 406  
Bedford, TX 76021  
817-281-0572

A handwritten signature in blue ink, appearing to read "Clay Cristy".

Clay Cristy , P.E.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission  
**DATE:** November 14, 2023  
**APPLICANT:** Ronny Klingbell; *RLK Engineering, Inc.*  
**CASE NUMBER:** SP2023-039; *Site Plan for Williams Middle School*

---

The subject property is a 26.25-acre parcel of land (*i.e. Lot 1, Block 1, Rockwall Middle School #4 Addition*) addressed as 625 FM-552. In 2001 the Planning and Zoning Commission approved the original site plan case [*Case No. PZ2001-111-04*] for the 105,697 SF middle school, which was constructed in 2002 according to the Rockwall Central Appraisal District (RCAD). Since the time of construction, no other expansions have been made to the building.

The applicant, Ronny Klingbell of RLK Engineering, Inc., is requesting approval of a *Site Plan* to allow the expansion of the J. W. Williams Middle School. Based on the site plan provided by the applicant, they are requesting a 42,751.50 SF addition onto the existing school. The additions are split into three (3) sections, [1] a 15,635.50 SF addition on the north side facing onto FM-552, [2] a 1,244.50 SF addition on the east side, and [3] a 25,871.50 SF addition on the south side facing the existing track field. The building elevations proposed by the applicant indicate that the expansion will match the existing building materials in order to blend the two (2) phases of the school. Based on staff's review of the applicant's project compared to the City's codes, the request does appear to meet the City's requirements with the exception of the landscape buffer requirements. According to Subsection 05.01(B), *Non-Residential Landscape Buffer*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a ten (10) foot landscape buffer is required that shall include "...one (1) canopy tree and one (1) accent tree shall ...per 50-linear feet." In this case, 18 canopy and 18 accent trees should be provided; however, the applicant is proposing 16 canopy trees, of which six (6) are new. In accordance with Subsection 02.01(A), *Landscape and Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), the applicant must request this exception, despite being constructed under older less restrictive landscaping requirement, because the additional square footage of the proposed expansion is greater than 30.00% of the existing floor area. With this being said, the proposed expansion does not appear to be inconsistent with the existing building or negatively impact adjacent properties; however, the approval of an exception is a discretionary decision for the Planning and Zoning Commission.

On November 1, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval by a vote of 3-0, with Board Members Dalton, Roberts, and McAngus absent and one (1) vacant position on the board. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the November 14, 2023 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_  
CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **625 Farm to Market Rd 552, Rockwall, Texas 75087**

SUBDIVISION **Rockwall Middle School No. 4 Addition**

LOT **1** BLOCK

GENERAL LOCATION **SWC of N. John King Blvd & FM 522**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **SF-16**

CURRENT USE **Educational - Middle School**

PROPOSED ZONING **n/a**

PROPOSED USE **n/a**

ACREAGE **26.25**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **n/a**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Rockwall I.S.D**

APPLICANT **RLK Engineering, Inc.**

CONTACT PERSON **Tim Lyssy**

CONTACT PERSON **Ronny Klingbeil**

ADDRESS **1050 Williams Street**

ADDRESS **111 W. Main Street**

CITY, STATE & ZIP **Rockwall, Texas 75087**

CITY, STATE & ZIP **Allen, Texas 75013**

PHONE **972-771-0605**

PHONE **972-359-1733**

E-MAIL **tim.lyssy@rockwallisd.org**

E-MAIL **Ronny@RLKengineering.com**

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tim Lyssy [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

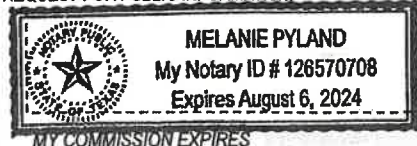
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20th DAY OF October, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20th DAY OF October, 2023

OWNER'S SIGNATURE

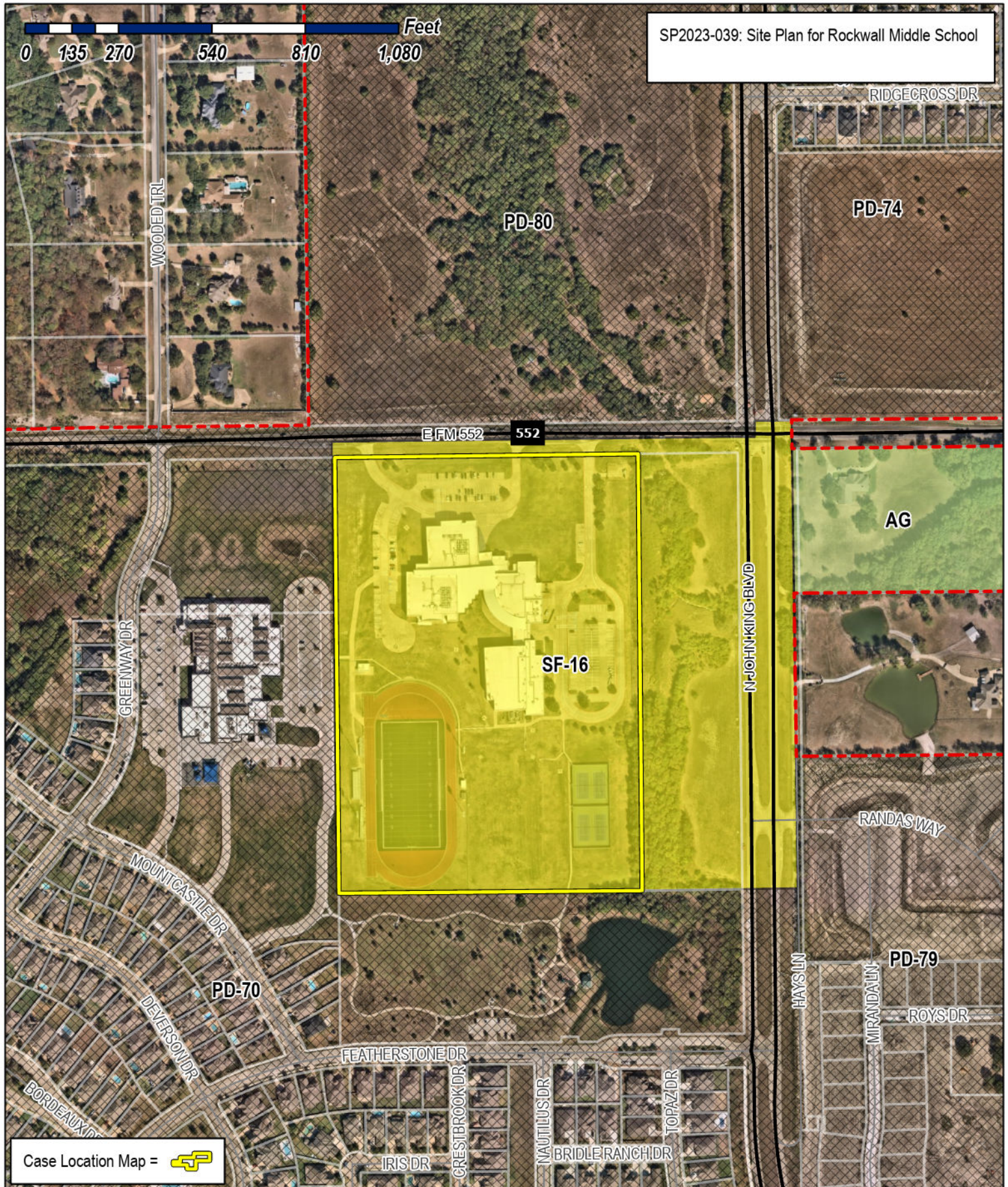
*Tim Lyssy*  
*Melanie Pyland*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2023-039: Site Plan for Rockwall Middle School



Case Location Map =

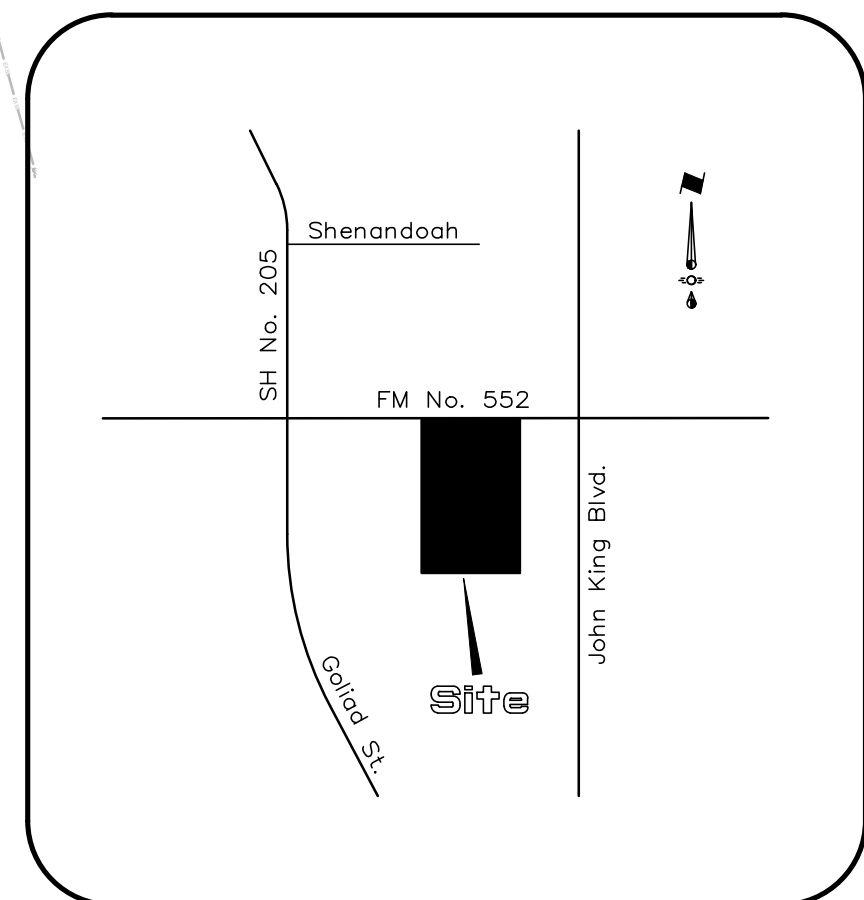
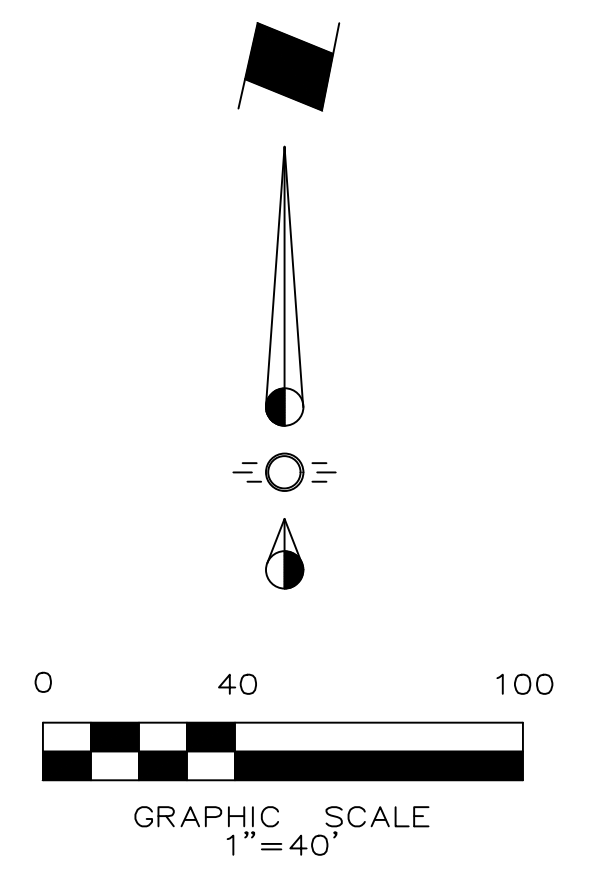
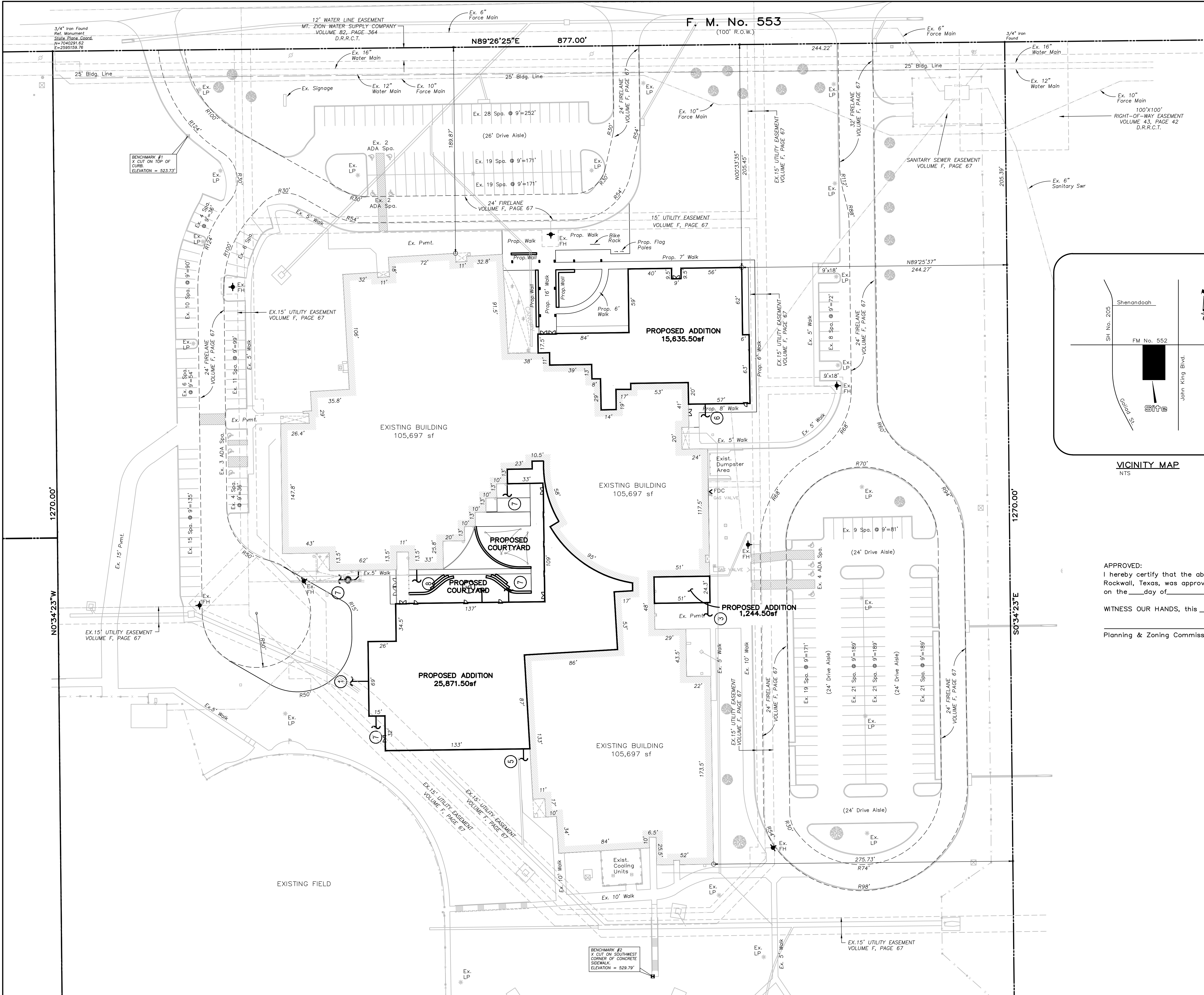


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP  
NTS

**SITE SUMMARY**

Zoning:	SF-16
Use:	Educational - Middle School
Lot Area:	(1,143,450sf) 26.25 Ac
Ex. Building SF:	105,697 sf
Prop. Building SF:	147,938 sf
Total Building Floor Area:	189,251 sf
Building Max. Height:	140'-0"
Parking: (1 for each 18 Students)	
Required (1350/18):	75 Spaces
Total Provided:	222 Spaces
ADA Spaces Required:	7 Spaces
Total Provided:	11 Spaces
Bicycle Parking:	
Required (1/10 - 222/10)	23 Spaces
Total Provided:	24 Spaces
Proposed Parking Pvmnt:	
7" 4000psi Conc. over	
8" Compacted Subgrade	

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2023.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**SITE PLAN**  
**ROCKWALL MIDDLE SCHOOL**  
**No. 4 ADDITION**  
**LOT 1**  
Rockwall Middle School No. 4 Addition  
Recorded in Cabinet F, Page 67 P.R.R.C.T.  
**25.569 Acres Situated In The**  
**W.T. DeWEESE SURVEY ~ ABST. 71**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

**Owner**  
Rockwall Independent School District  
1050 Williams Street  
Rockwall, Texas 75087  
Telephone 972 771-0605

**Engineer**  
RLK Engineering, Inc.  
Texas Registration No. 579  
111 West Main Street  
Allen, Texas 75013  
Telephone 972 359-1733  
November 1, 2023



**GENERAL SITE NOTES**

1. FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING WORK.
2. OBTAIN AVAILABLE PLANS DEPICTING EXISTING & PROPOSED UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO SAID UTILITIES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. REFER TO CIVIL AND MEP DOCUMENTS FOR ADDITIONAL HARDSCAPE, SAW CUTTING, EARTH REMOVAL, TRENCHING, AND RELOCATION AND/OR DEMOLITION OF EXISTING UTILITIES UNDER AND ABOVE GROUND, TYP.
4. U.N.O. FURNISH & INSTALL 12"W x 4"D CONC. MOW STRIP BELOW ALL CHAIN LINK FENCING. COORDINATE TOP OF MOW STRIP HEIGHT W/ CIVIL GRADING PLANS & VERIFY W/ ARCHITECT.
5. REFER TO CIVIL DRAWINGS FOR COORDINATION WITH EXISTING ROADS AND ACCESSSES.
6. REFER TO IRRIGATION DRAWINGS FOR SLEEVE LOCATIONS.
7. REFER TO CIVIL FOR PARKING DIMENSIONS & DETECTABLE WARNINGS. PROVIDE DETECTABLE WARNINGS AT CURB RAMP & OTHER LOCATIONS WHERE WALKING SURFACES CROSS OR ADJOIN A VEHICULAR WAY AS PER T&S REQUIREMENTS.
8. ALL ATHLETIC/COMPETITION FIELDS, COURTS, MARKINGS, DIMENSIONS, AND SIZES ARE TO COMPLY WITH THE NATIONAL FEDERATION OF STATE HIGH SCHOOL ASSOCIATIONS COURT & FIELD DIAGRAM GUIDES, TYPICAL.
9. SUBMIT SIGNAGE LOCATIONS, MESSAGES, GRAPHICS, AND FACE DIRECTIONS TO ARCHITECT PRIOR TO FABRICATION, TYP.
10. ALL DRIVE STRIPING AND DIRECTIONAL ARROWS TO BE REVIEWED IN SUBMITTAL PRIOR TO INSTALL FOR COLORS & DIRECTION.
11. ALL SIDEWALKS & BUILDING ENTRY FLATWORK TO HAVE A MEDIUM BROOM FINISH, U.N.O.

ISSUES		
1	07/28/2023	30% CONSTRUCTION DOCS
2	09/12/2023	60% CONSTRUCTION DOCS
3	11/01/2023	90% CONSTRUCTION DOCS
4	11/01/2023	EARLY MATERIALS PACKAGE
5		
6		
7		
8		
9		
10		

REVISIONS		
△		

**KEYNOTE LEGEND**

- S01 INSTALL HARDSCAPE TO EXTENT SHOWN.
- S02 INSTALL PLANTING BED AS SHOWN. REF LANDSCAPING.
- S03 INSTALL BIKE RACKS. REF. 09/A01-12.
- S04 INSTALL NEW DRIVE TO EXTENT SHOWN, REF. CIVIL.

This Document was produced by or under the authority of Registered Architect:

**INSERT NAME HERE**

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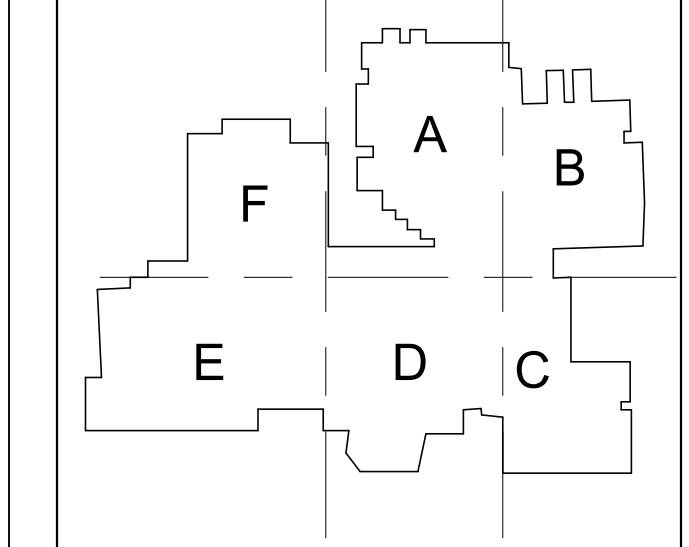
Date of issue:  
11/01/2023

**WILLIAMS ADDITIONS AND RENOVATIONS**  
625 E FM 552, Rockwall, TX 75087

**SITE MATERIALS LEGEND**

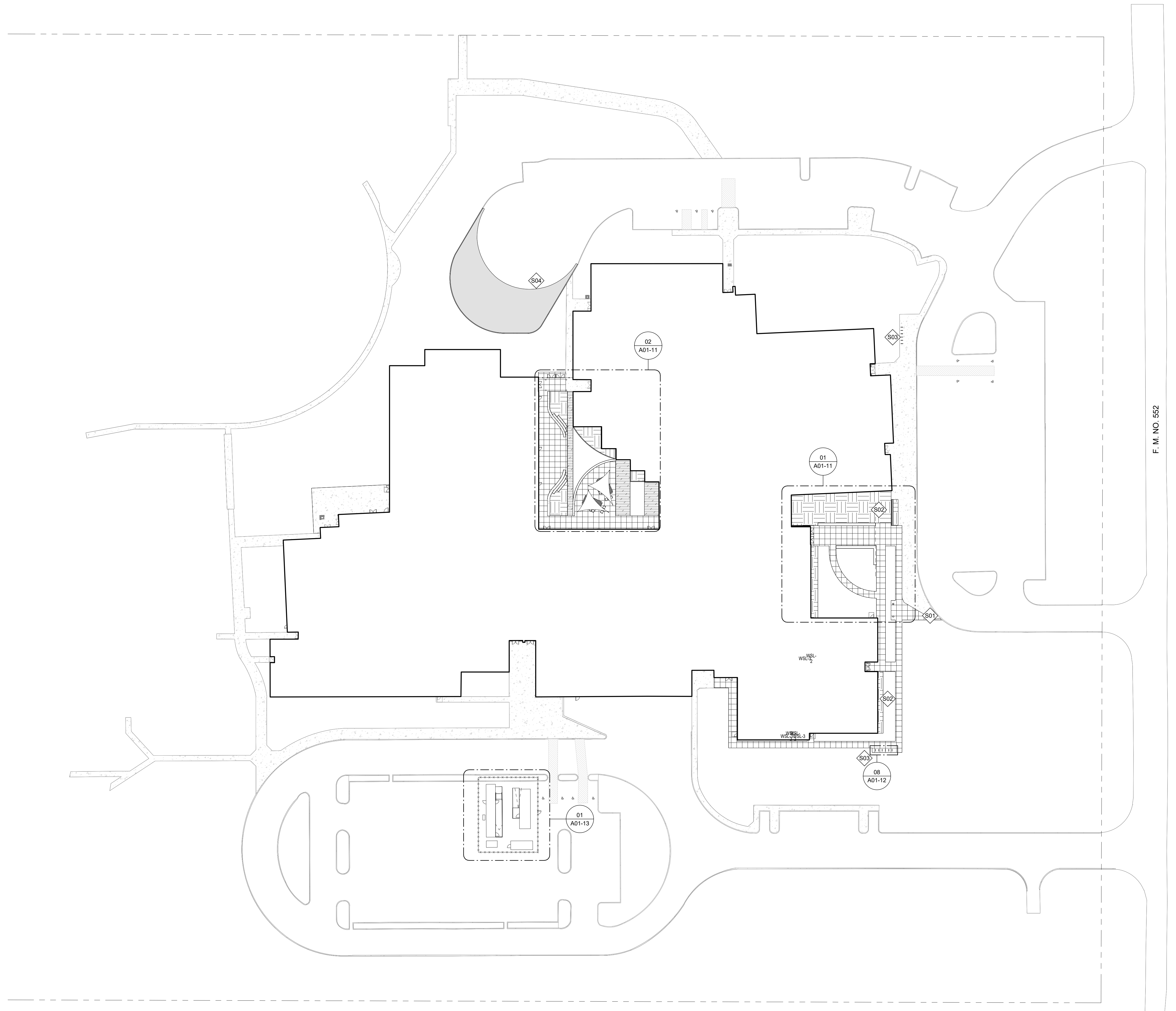
- 6"Ø DECORATIVE METAL FENCING, REF. SPECS
- EXISTING DRIVES
- NEW DRIVES
- EXISTING SIDEWALK
- NEW SIDEWALK COLOR A
- NEW SIDEWALK COLOR B
- ARTIFICIAL TURF
- PLANTING BED

**KEYPLAN**

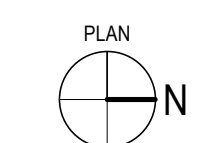


**SITE PLAN**

**JOB** 23162.000  
**DATE** 11/01/2023  
**SHEET**  
**A01-01**



F. M. NO. 552



**01** SITE PLAN  
1" = 40'-0"

GENERAL SITE NOTES

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11. ALL SIDEWALKS & BUILDING ENTRY FLATWORK TO HAVE A MEDIUM BROOM FINISH, U.N.O.

**CORGAN**

CORGAN  
www.corgan.com  
T: 214.748.2000

ISSUES		
1	07/28/2023	30% CONSTRUCTION DOCS
2	09/12/2023	60% CONSTRUCTION DOCS
3	11/01/2023	90% CONSTRUCTION DOCS
4	11/01/2023	EARLY MATERIALS PACKAGE
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REVISIONS

NO.	DATE	DESCRIPTION

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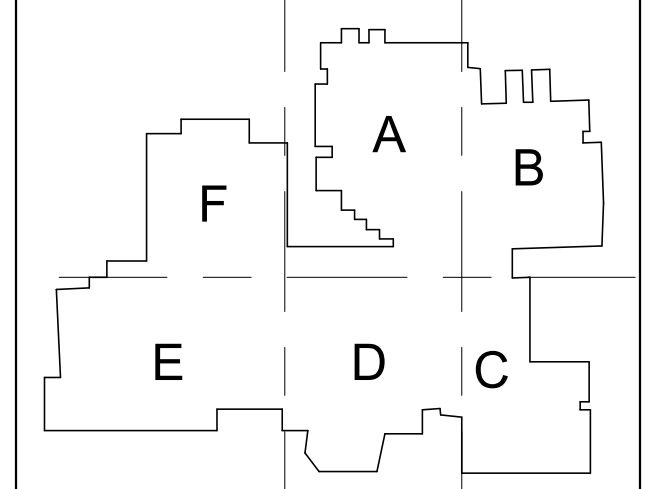
Date of issue:  
11/01/2023

**WILLIAMS ADDITIONS AND RENOVATIONS**  
625 E FM 552, Rockwall, TX 75087

SITE MATERIALS LEGEND

- 6'-0" H DECORATIVE METAL FENCING; REF. SPECS
- EXISTING DRIVES
- NEW DRIVES
- EXISTING SIDEWALK
- NEW SIDEWALK COLOR A
- NEW SIDEWALK COLOR B
- ARTIFICIAL TURF
- PLANTING BED

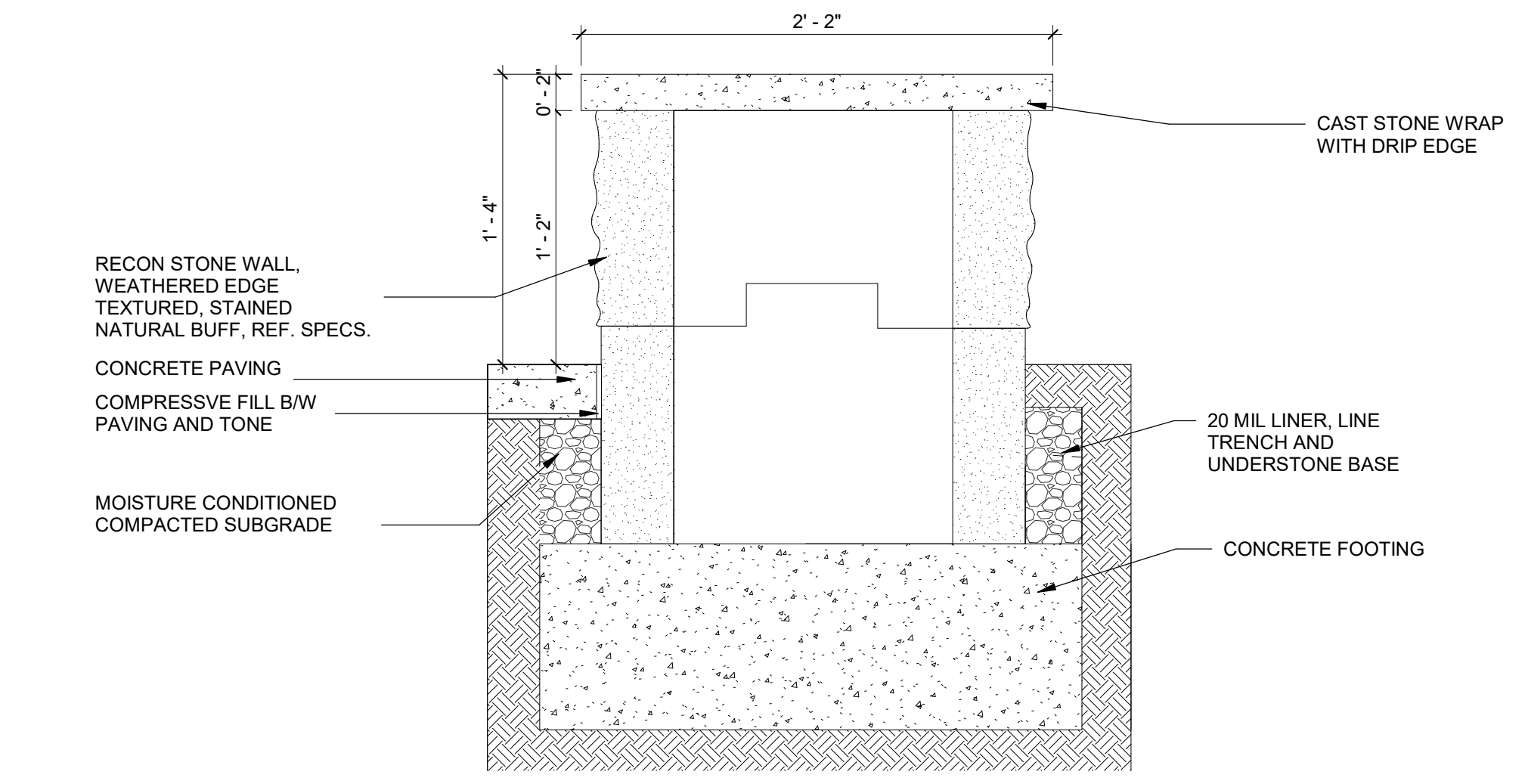
KEYPLAN



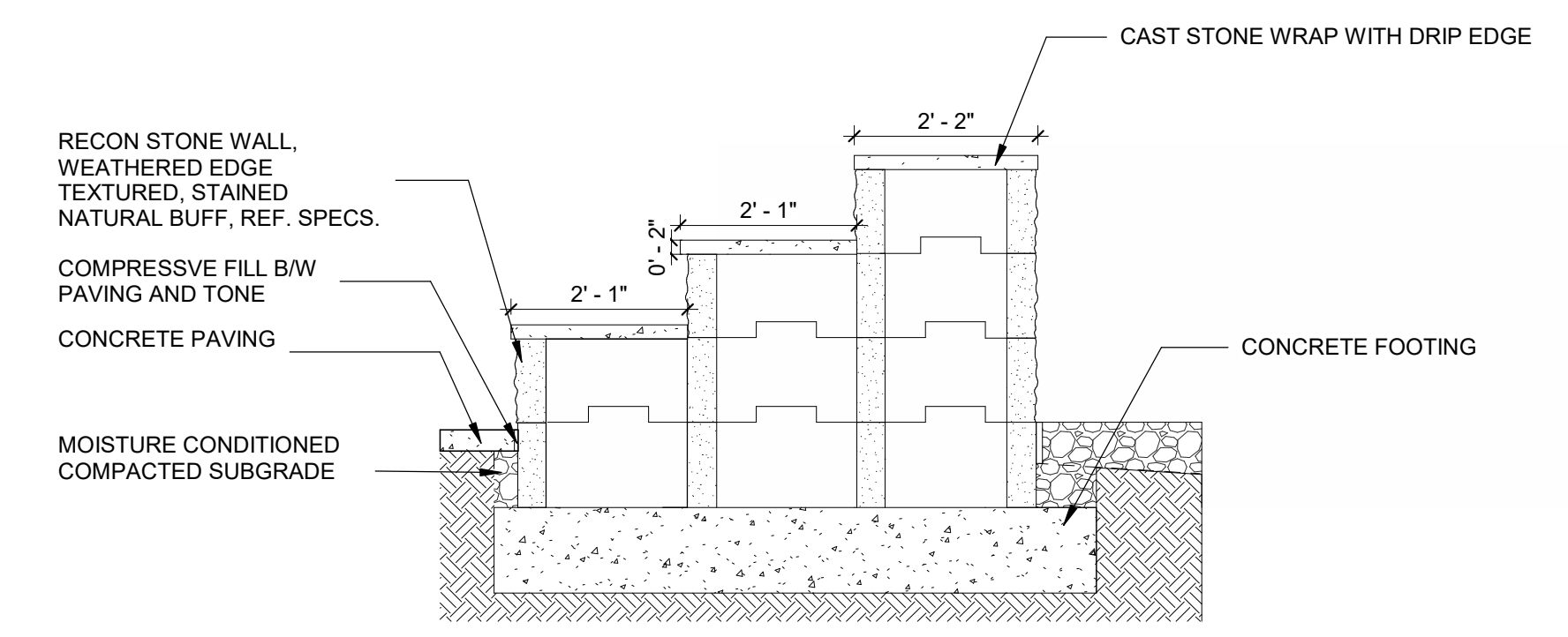
ENLARGED SITE PLANS AND DETAILS

JOB 23162.000  
DATE 11/01/2023  
SHEET

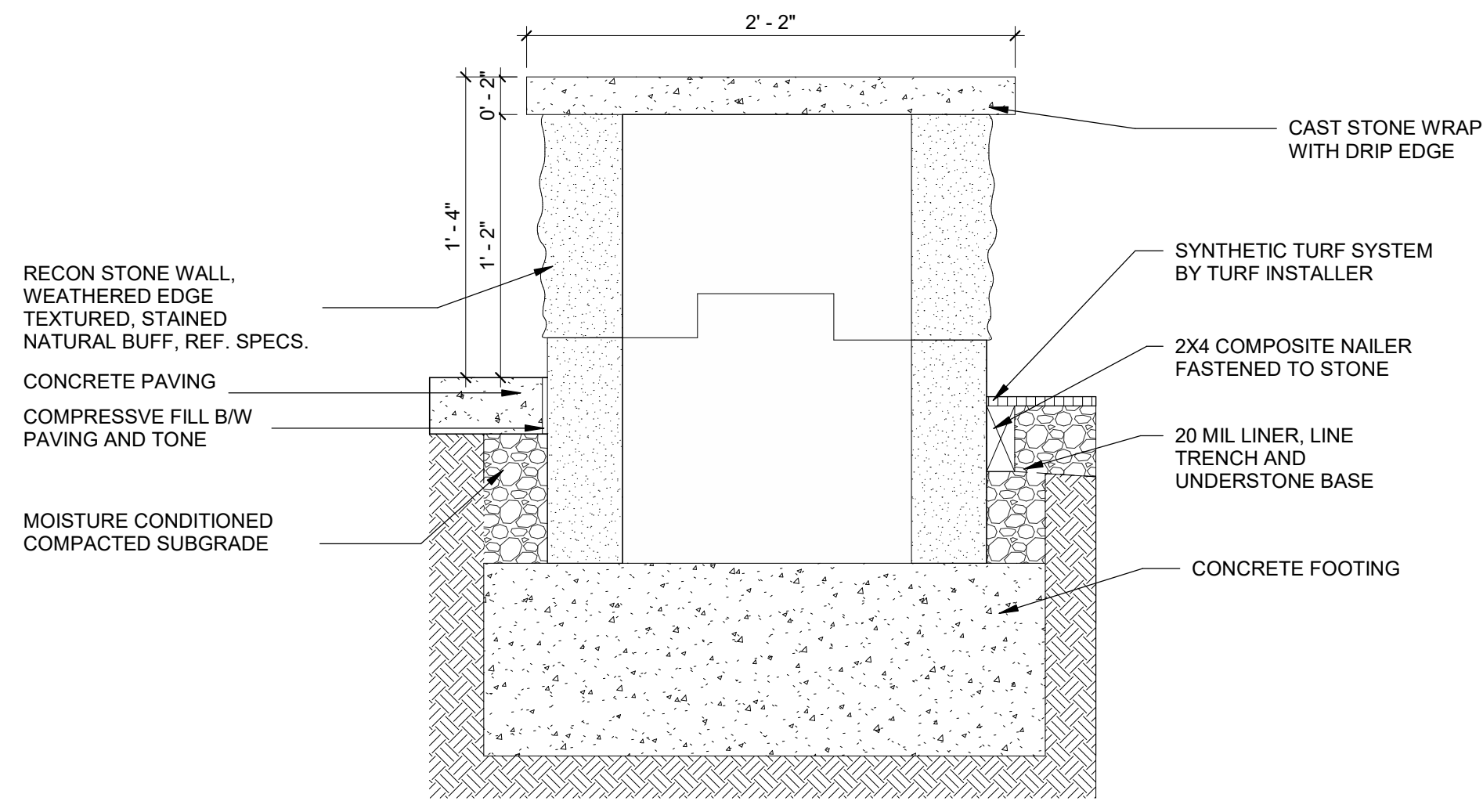
**A01-11**



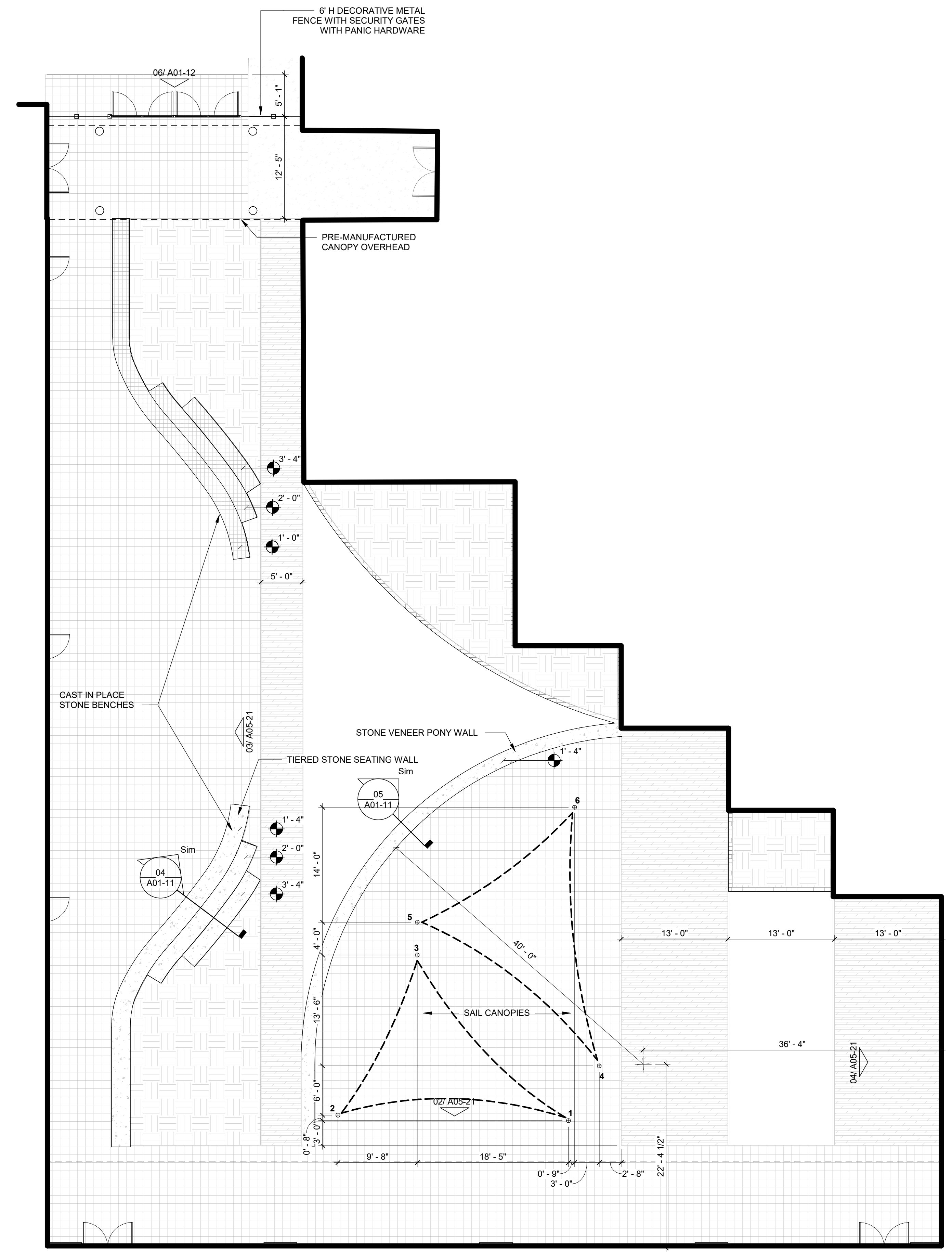
03 STONE SEATING WITH GRASS  
1 1/2" = 1'-0"



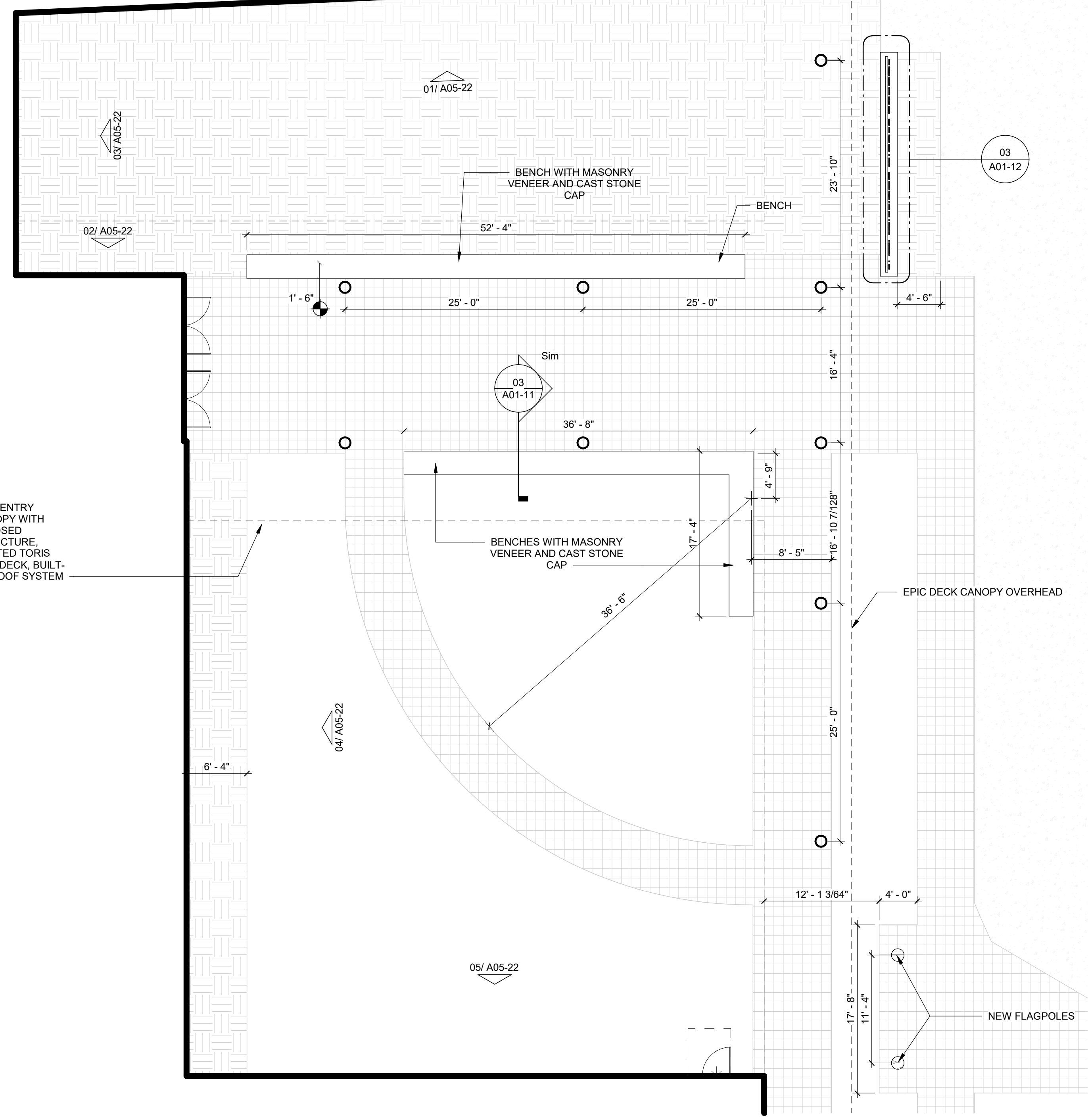
04 STONE TIER SEATING WITH FLOWER BED  
1/2" = 1'-0"



05 STONE SEATING WITH SYNTHETIC TURF  
1 1/2" = 1'-0"

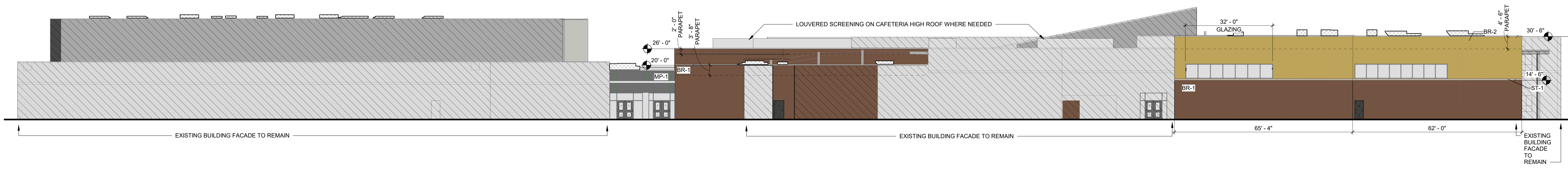


02 INTERIOR COURTYARD  
1/8" = 1'-0"



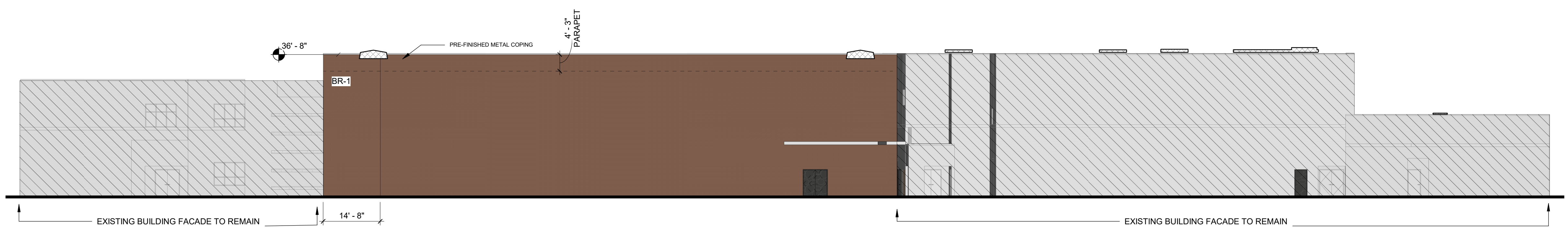
01 FRONT ENTRANCE COURTYARD  
1/8" = 1'-0"

11/9/2023 8:51:06 AM A01-11 ENLARGED SITE PLANS AND DETAILS



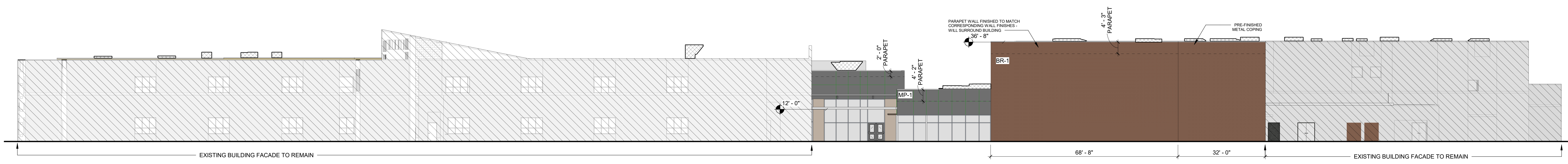
04 OVERALL EXTERIOR ELEVATION - EAST (FACES N JOHN KING BLVD)  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 4947 SF  
BRICK: 4670 SF (95%)  
STONE: 85 SF (1%)  
METAL PANEL: 192 SF (4%)  
MASONRY PERCENTAGE (MINUS GLAZING): 96%



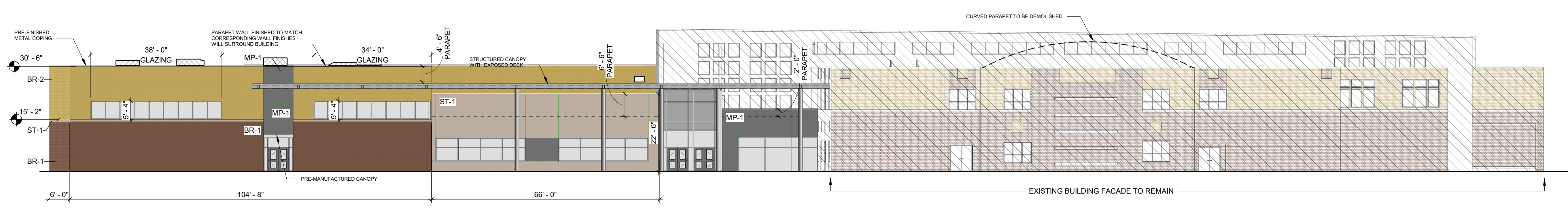
03 OVERALL EXTERIOR ELEVATION - SOUTH  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 5173 SF  
BRICK: 5173 (100%)  
STONE: 0 SF (0%)  
METAL PANEL: 0 SF (0%)  
MASONRY PERCENTAGE (MINUS GLAZING): 100%



02 OVERALL EXTERIOR ELEVATION - WEST  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 4348 SF  
BRICK: 3557 SF (82%)  
STONE: 139 SF (3%)  
METAL PANEL: 652 SF (15%)  
MASONRY PERCENTAGE (MINUS GLAZING): 85%



01 OVERALL EXTERIOR ELEVATION - NORTH (FACES HWY 552)  
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 4259 SF  
BRICK: 2583 SF (61%)  
STONE: 1146 SF (27%)  
METAL PANEL: 530 SF (12%)  
MASONRY PERCENTAGE: 88%

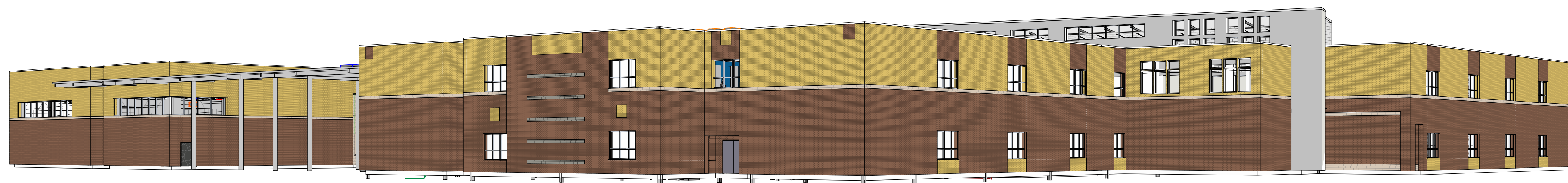
EXT. MATERIALS LEGEND		
	BR-1	
	ST-1	
	MP-1	



# EXTERIOR ELEVATIONS - WILLIAMS MIDDLE SCHOOL

As indicated

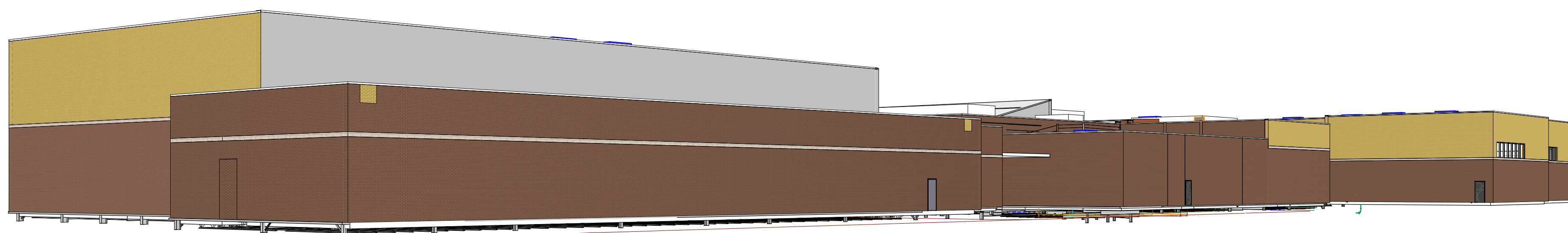




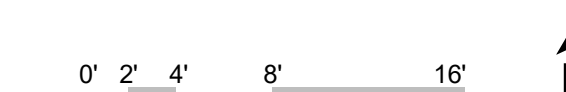
03 3D BUILDING VIEW - NORTHWEST CORNER



02 3D BUILDING VIEW - NORTHEAST CORNER



01 3D BUILDING VIEW - SOUTHEAST CORNER

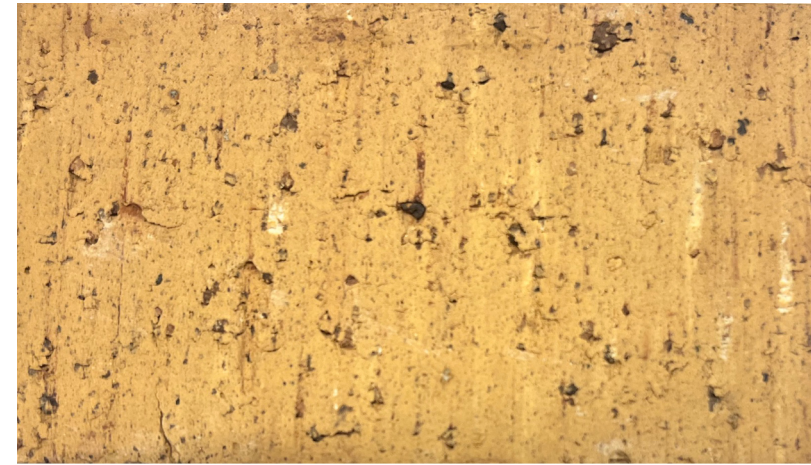


# WILLIAMS MIDDLE SCHOOL - EXTERIOR MATERIALS

EXTERIOR - S. JOHN KING BLVD. & E FM 552



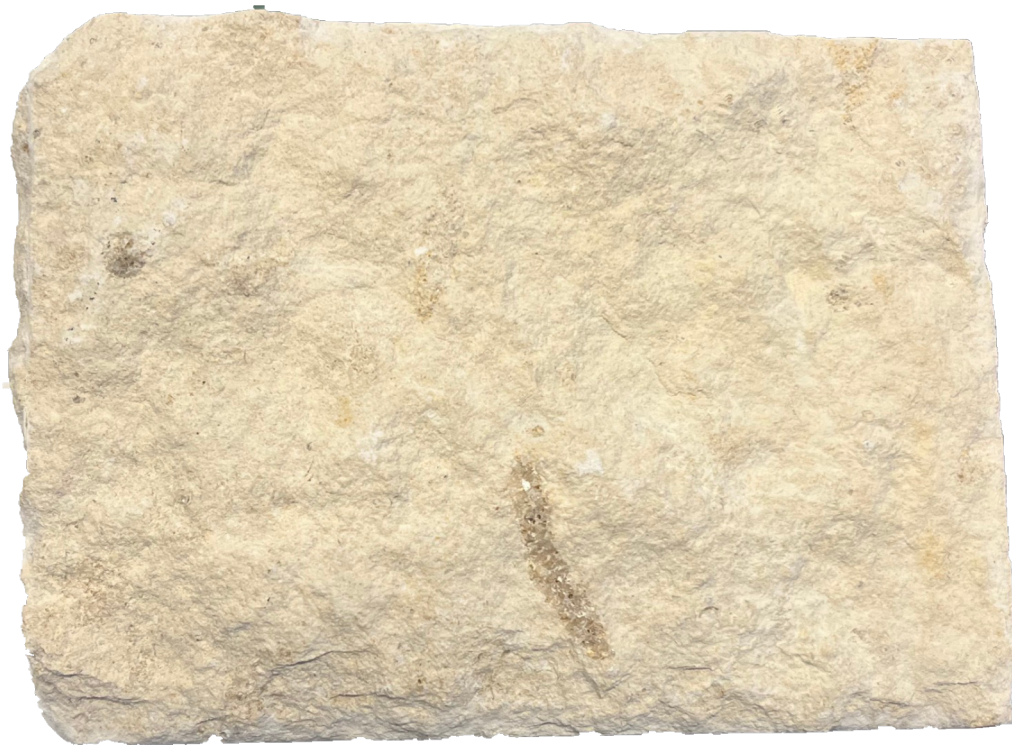
BR-1 FIELD BRICK



BR-2 ACCENT BRICK



AL-1 STOREFRONT ALUMINUM



ST-1 STONE

Exterior: Sample Glass is Annotated

Sample	U-T	Exterior Reflectance	Interior Reflectance	U-Value Inverted	Material	SHGC	LSG
form: SOLARBRK1*	44%	6%	6%	1.02	VA	0.56	0.76
SOLARBRK1* (50 CI)	35%	7%	9%	0.28	Q24	0.28	1.21
SOLARBRK1* (70 CI)	25%	7%	11%	0.28	Q24	0.24	1.33
SOLARBRK1* (90 CI)	25%	8%	11%	0.28	Q24	0.22	1.14
SOLARBRK1* (400 CI)	38%	7%	12%	0.32	Q28	0.30	0.97

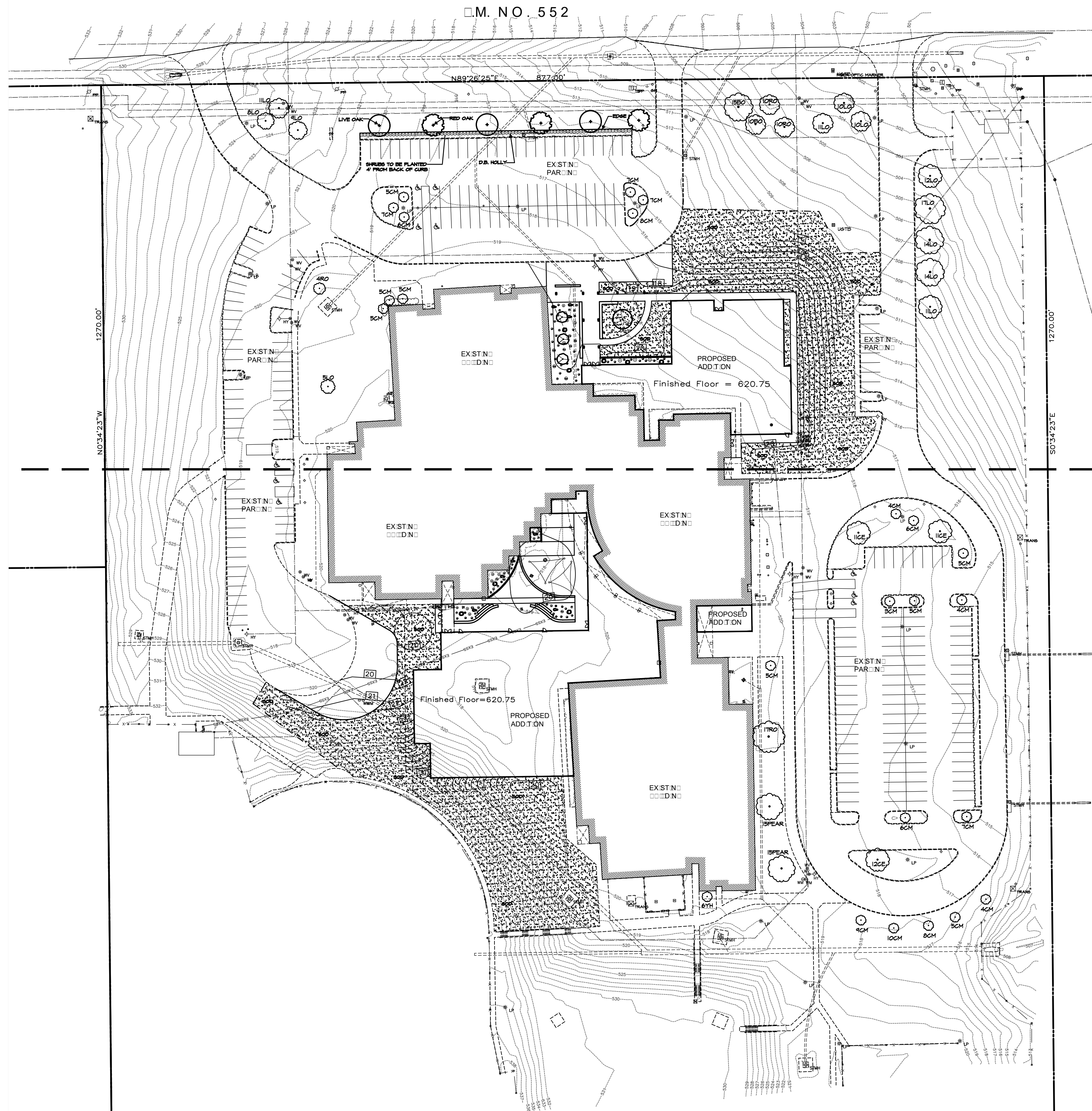
Vitro (formerly PPG Glass) 1-855-887-6457 (1-855-VITRO-GLS)  
 M-10 11/22

GL-1 INSULATED EXTERIOR GLAZING UNIT, GRAY TINT + CLEAR



MP-1 METAL PANEL

2  
3



SITE SUMMARY	
Zoning:	SF-16
Use:	Educational - Middle School
Lot Area:	(1,143,450sf) 26.25 Ac
Prop. Dev. Area:	(111,398sf) 2.558 Ac
Prop. Impervious Area:	(86,085sf) 1.976 Ac
Prop. Pervious Area:	(25,313sf) 0.581 Ac
Building Floor Area:	10,835 sf
Building Max. Height:	25'-0"
Lot Coverage:	9.7%
Parking:	
Required:	234 Spaces
Total Provided:	234 Spaces
ADA Spaces Required:	7 Spaces
Total Provided:	11 Spaces
Bicycle Parking:	
Required (1/25):	6 Spaces
Total Provided:	6 Spaces

**LANDSCAPE TABULATIONS**

**LANDSCAPE REQUIRED**  
1 ROW OF SHADE TREES 50' O.C. AND SCREENING SHRUBS AT HEAD IN PARKING  
TREES AND PARKING SCREENING PROVIDED

**STREET BUFFER**  
2 CANOPY AND 4 ACCENT TREES PER 100 LF  
STREET FRONTAGE LENGTH 877 LF  
CANOPY TREES REQUIRED (877 / 100 = 8.77 X 2 = ) 18 CAN. TREES  
CANOPY TREES PROVIDED 10-EX, 8 NEW 16 TREES  
ACCENT TREES REQUIRED (877 / 100 = 8.77 X 4 = ) 36 CAN. TREES  
ACCENT TREES PROVIDED 0 ACC. TREES

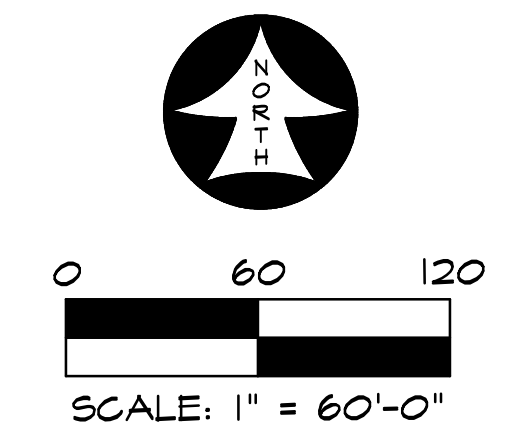
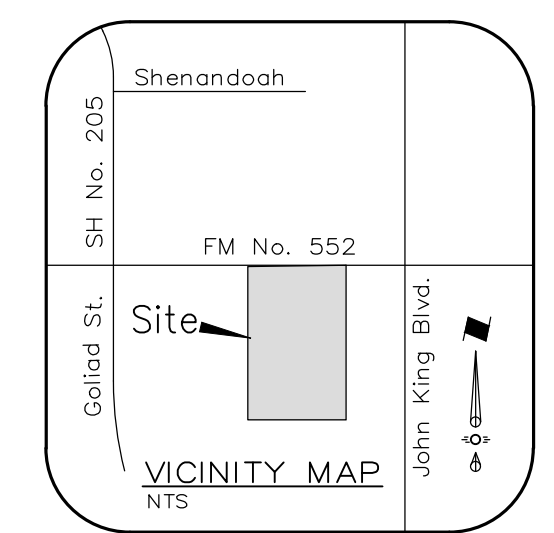
**EXCEPTION/VARIANCE - COMPENSATORY MEASURES**  
COMPLETELY RENOVATED MAIN PEDESTRIAN ENTRY PLAZA/LANDSCAPE.  
COMPLETELY RENOVATED PEDESTRIAN COURTYARD/LANDSCAPE.

**PARKING LOT LANDSCAPING**  
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE. IF LOT OVER 20,000 SF 1 LG. TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.  
NOT APPLICABLE

**AMOUNT OF LANDSCAPING**  
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.  
NOT APPLICABLE

**TREE MITIGATION**  
NOT APPLICABLE

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.



APPROVED:  
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**Owner**  
Rockwall Independent School District  
1050 Williams Street  
Rockwall, Texas 75087  
Telephone 972 771-0605

**ENGINEER**  
RLK Engineering, Inc.  
Texas Registration No. 579  
Attn: Seth Kelly  
111 West Main Street  
Allen, Texas 75013  
Telephone 972 359-1733

**ROCKWALL MIDDLE SCHOOL No. 4 ADDITION**  
LOT 1  
Rockwall Middle School No. 4 Addition  
Recorded In Cabinet F, Page 67 P.R.R.C.T.  
25.569 Acres Situated In The  
W.T. DEWEESE SURVEY ~ ABST. 71  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
CITY OF ROCKWALL CASE NO. SP2023-039  
DATE 11/07/2023

RAMSEY LANDSCAPE ARCHITECTS, LLC  
119 WISHINGWELL CT.  
FRISCO, TEXAS 75035  
PHONE (469) 262-5439  
FAX (469) 262-5433  
EMAIL: MIKE.RA@ATT.NET

WILLIAMS ADDITIONS  
AND RENOVATIONS  
625 E 552 FORT WORTH, TX 75087  
OPERATIONS AND LANDSCAPE PLAN

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

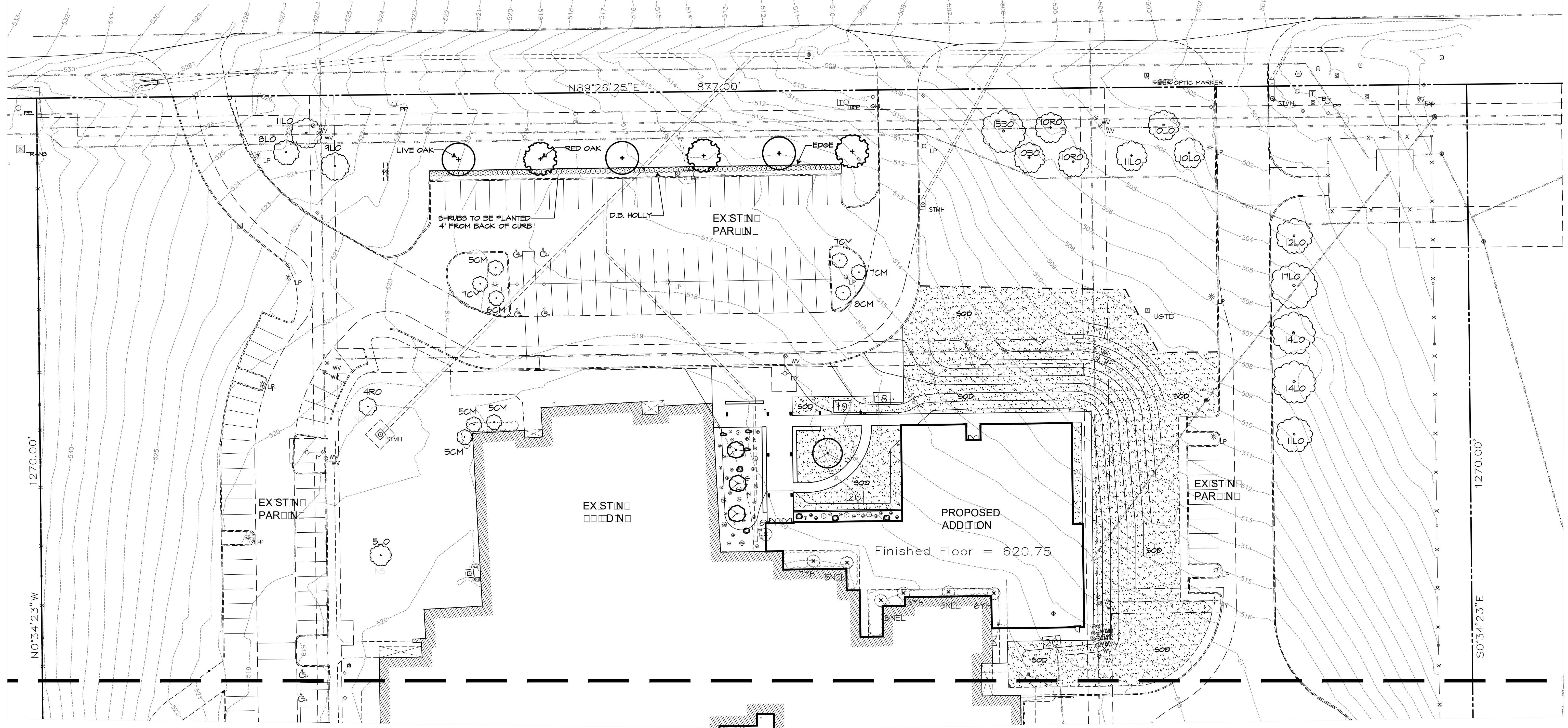
ISSUES/  
REVISIONS

PERMIT - 10/20/2023  
PERMIT - 11/07/2023

DATE: 11/01/2023  
SCALE: 1" = 60'-0"

SHEET No. 1

□.M. NO. 552



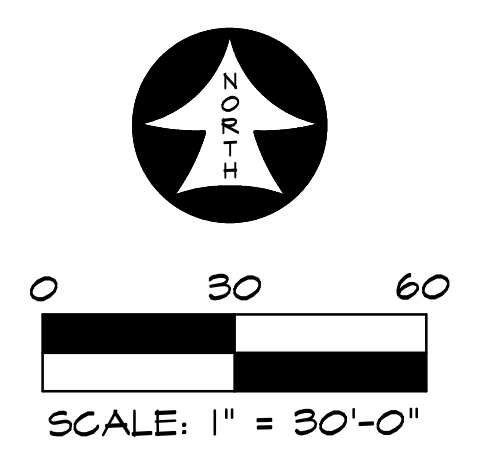
MATCHLINE SEE SHEET L3

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Planning & Zoning Commission, Chairman \_\_\_\_\_ Director of Planning and Zoning \_\_\_\_\_

Owner  
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1050 Williams Street  
Rockwall, Texas 75087  
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ROCKWALL  
MIDDLE SCHOOL  
No. 4 ADDITION  
LOT 1  
Rockwall Middle School No. 4 Addition  
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FRISCO, TEXAS 75035  
PHONE: (469) 262-5439  
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EMAIL: MIKE.RA@ATT.NET

WILLIAMS ADDITIONS  
AND RENOVATIONS  
625 E 552 F RD, ROCKWALL, TX 75087  
LANDSCAPE PLAN AREA A

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ARCHITECT #1901.  
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ISSUES/  
REVISIONS

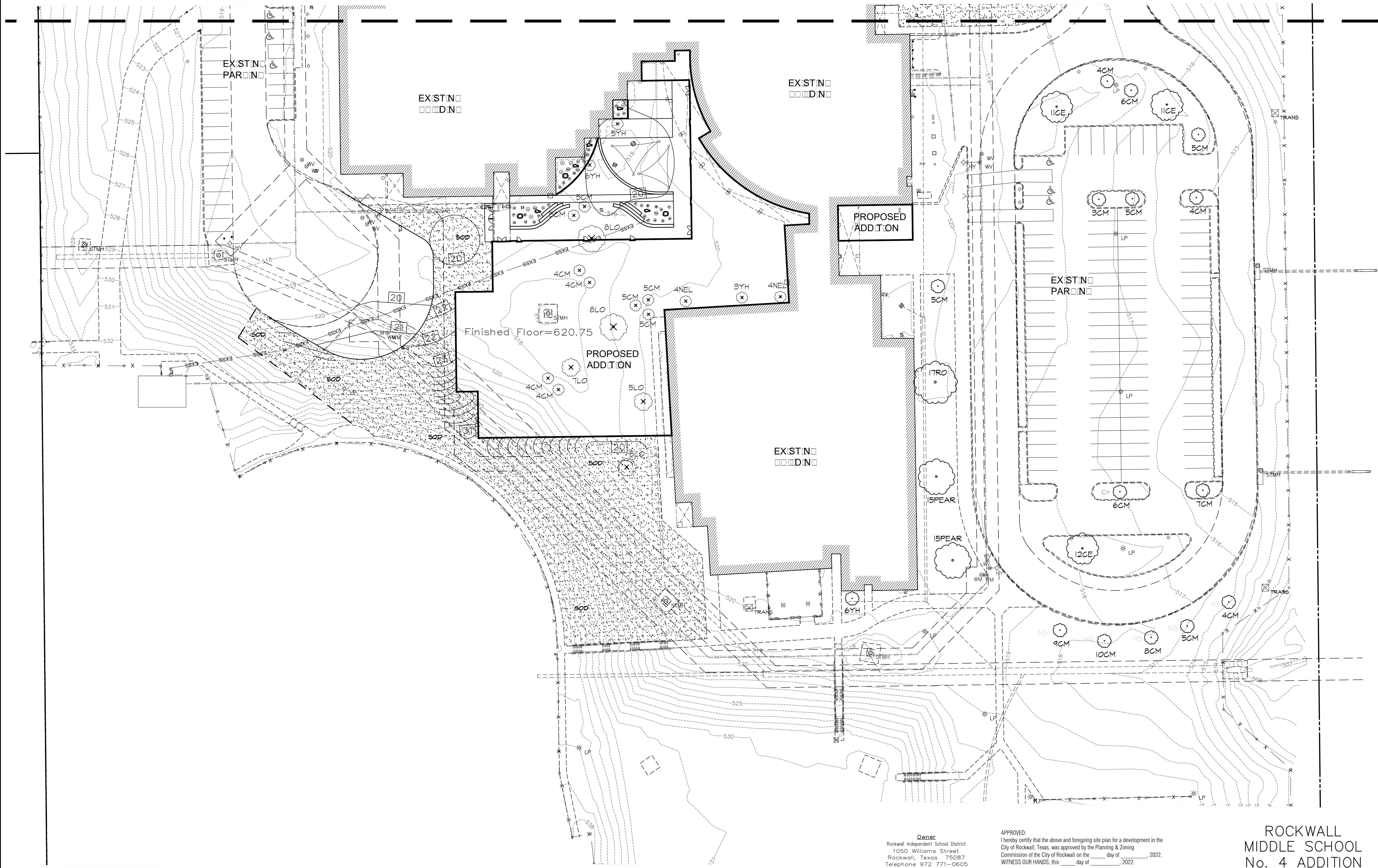
PERMIT - 10/20/2023  
PERMIT - 11/07/2023

DATE: 11/01/2023  
SCALE: 1" = 30'-0"

SHEET No.

2

MATCHLINE SEE SHEET L2



RAMSEY LANDSCAPE ARCHITECTS, LLC  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE: (469) 262-5439  
 FAX: (469) 262-5433  
 EMAIL: MIKE.RA@ATT.NET

**WILKINS ADDITIONS  
 AND RENOVATIONS**  
 LANDSCAPE PLAN AREA

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ISSUES/  
 REVISIONS

PERMIT - 10/20/2023  
 PERMIT - 11/07/2023

DATE: 11/01/2023  
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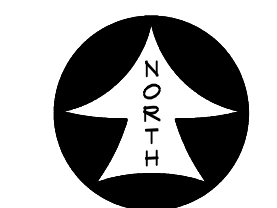
SHEET No.  
 3

**Owner**  
 Rockwall Independent School District  
 1050 Williams Street  
 Rockwall, Texas 75087  
 Telephone 972 771-0605

**Engineer**  
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 Texas Registration No. 579  
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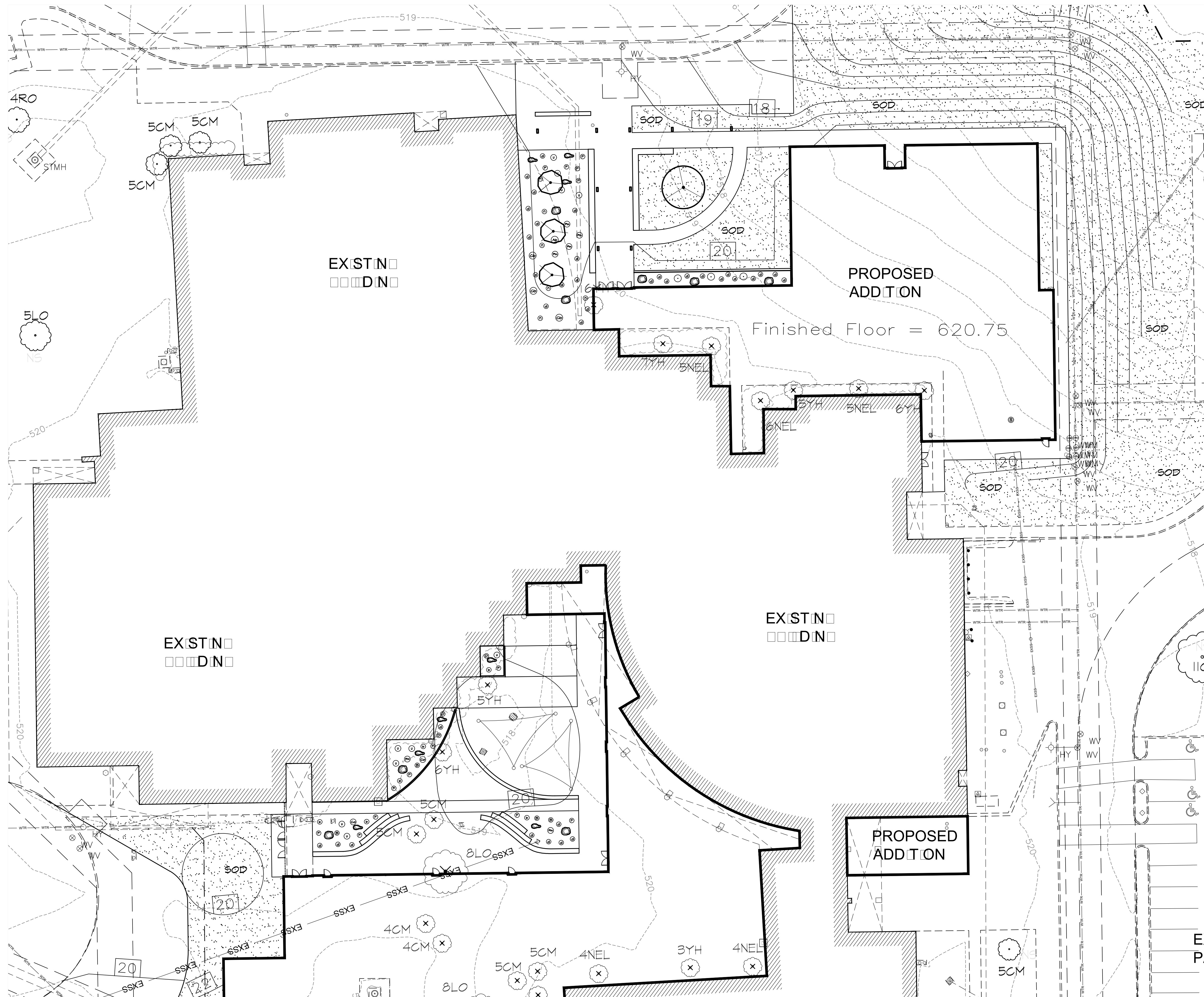
\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



**ROCKWALL  
 MIDDLE SCHOOL  
 No. 4 ADDITION**

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 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS  
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 DATE 11/07/2023





EXISTIN □  
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EXISTIN □  
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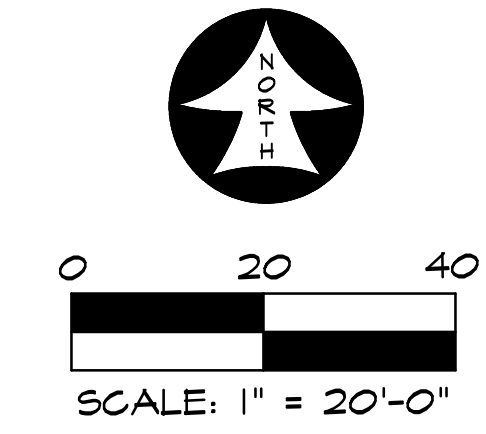
EXISTIN □  
 □□□DIN □

PROPOSED  
 ADDITION

Finished Floor = 620.75

PROPOSED  
 ADDITION

EX  
 PA



Owner  
 Rockwall Independent School District  
 1050 Williams Street  
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**ROCKWALL  
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 No. 4 ADDITION  
 LOT 1**

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 FRISCO, TEXAS 79035  
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 F: (469) 962-5433  
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**WILLIAMS ADDITIONS  
 AND RENOVATIONS  
 LANDSCAPE ENHANCEMENT**

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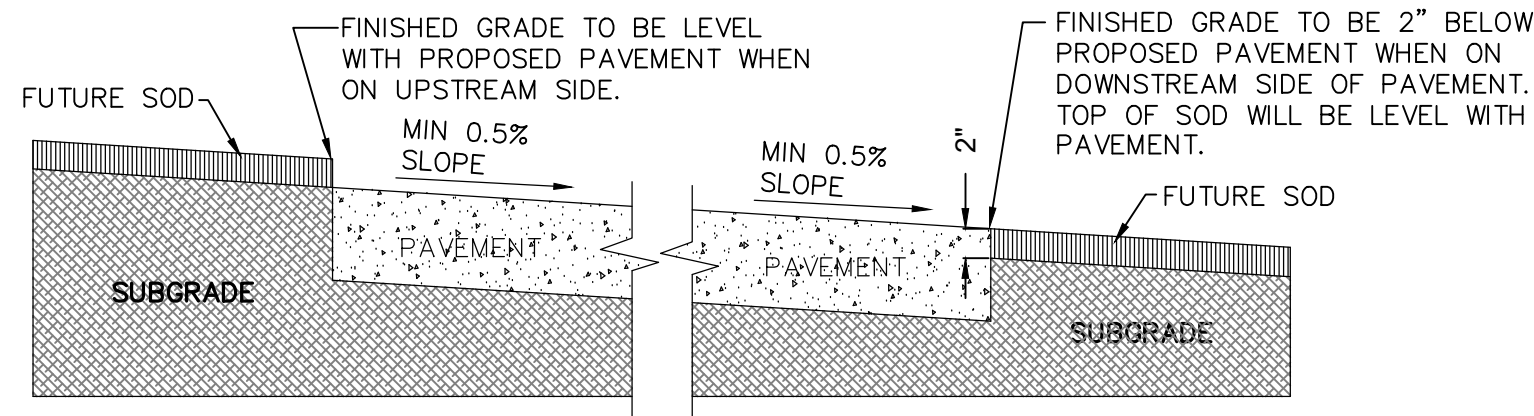
**ISSUES/  
 REVISIONS**

PERMIT - 10/20/2023  
 PERMIT - 11/07/2023

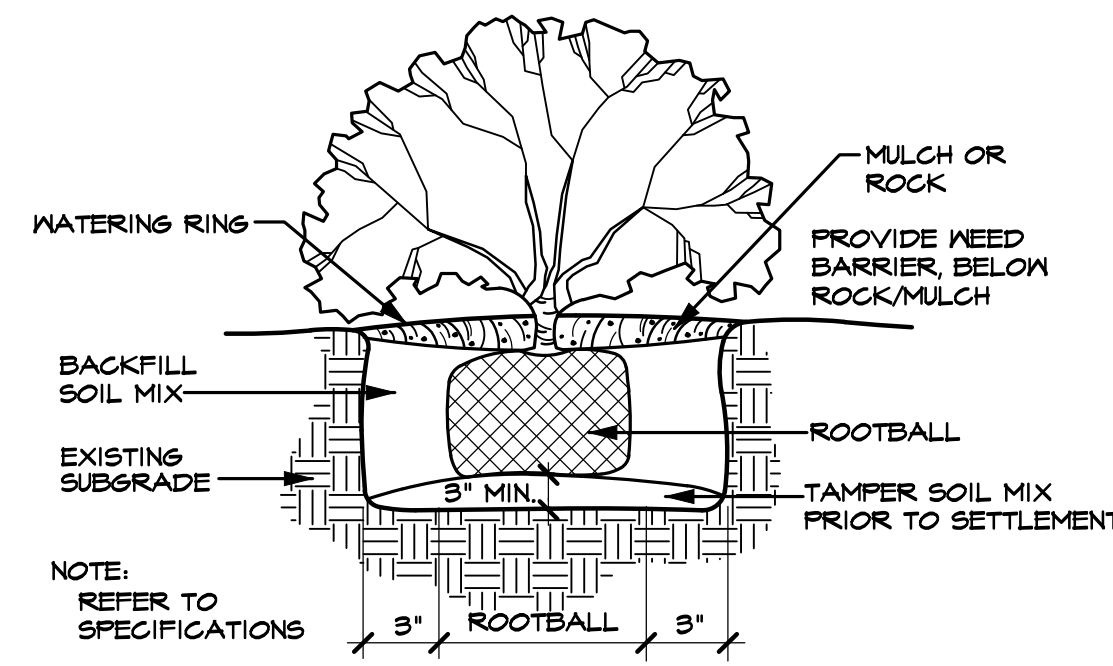
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**SHEET No.**

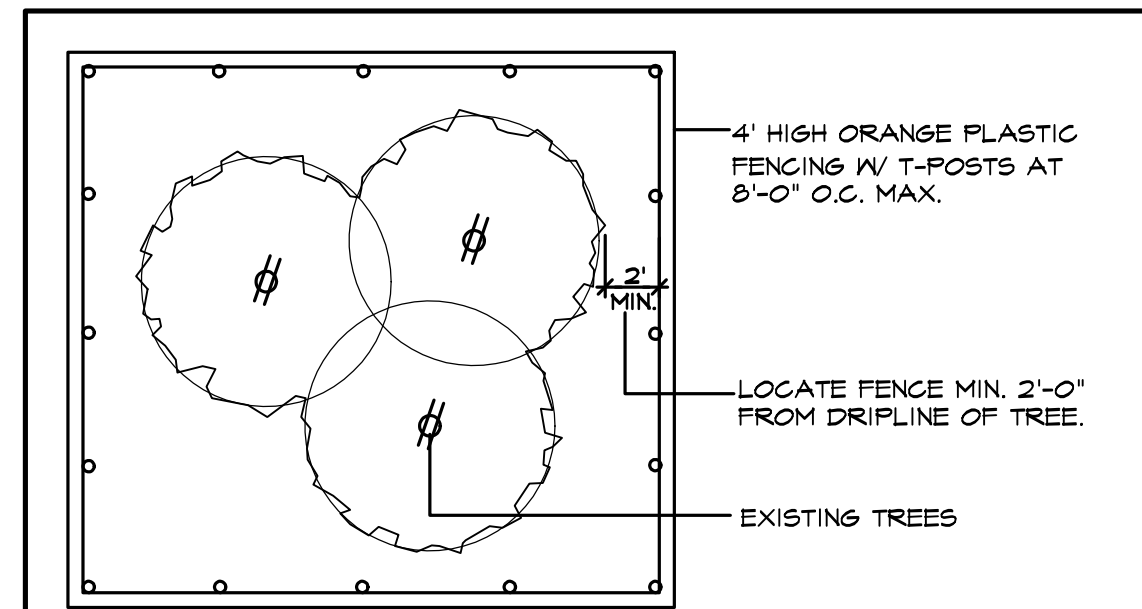
□ □



**GRADING DETAIL FOR PAVEMENT WITHOUT CURB**  
SCALE: N.T.S.

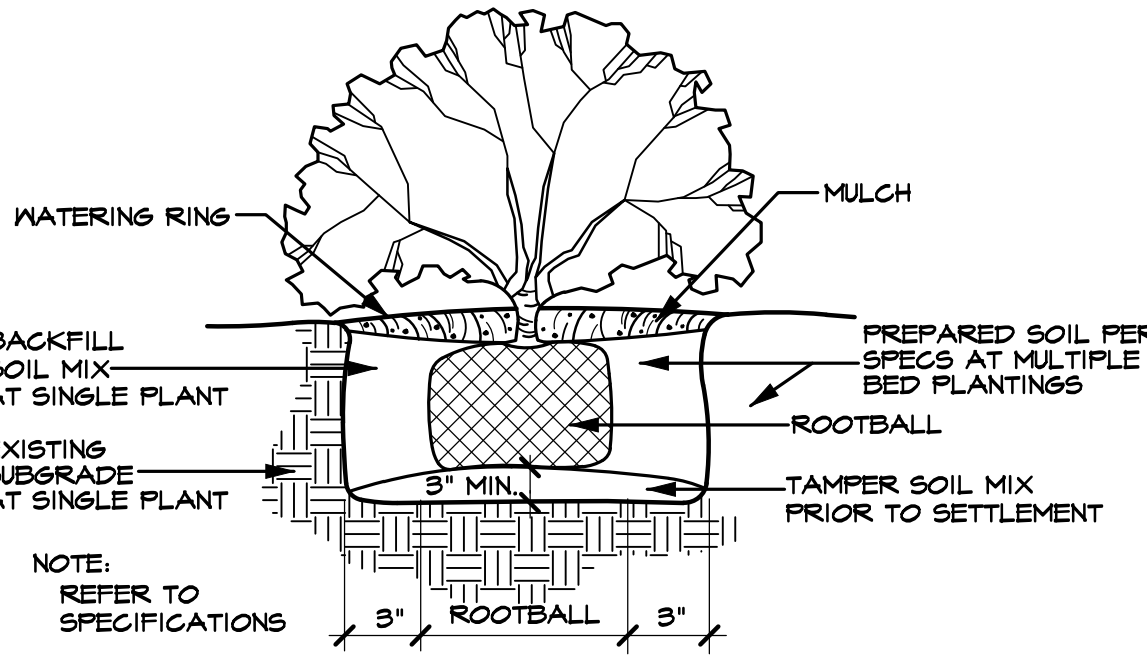


**SHRUB PLANTING DETAIL (TYPICAL)**  
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

**TREE PROTECTION FENCE AND NOTES**  
SCALE: N.T.S.



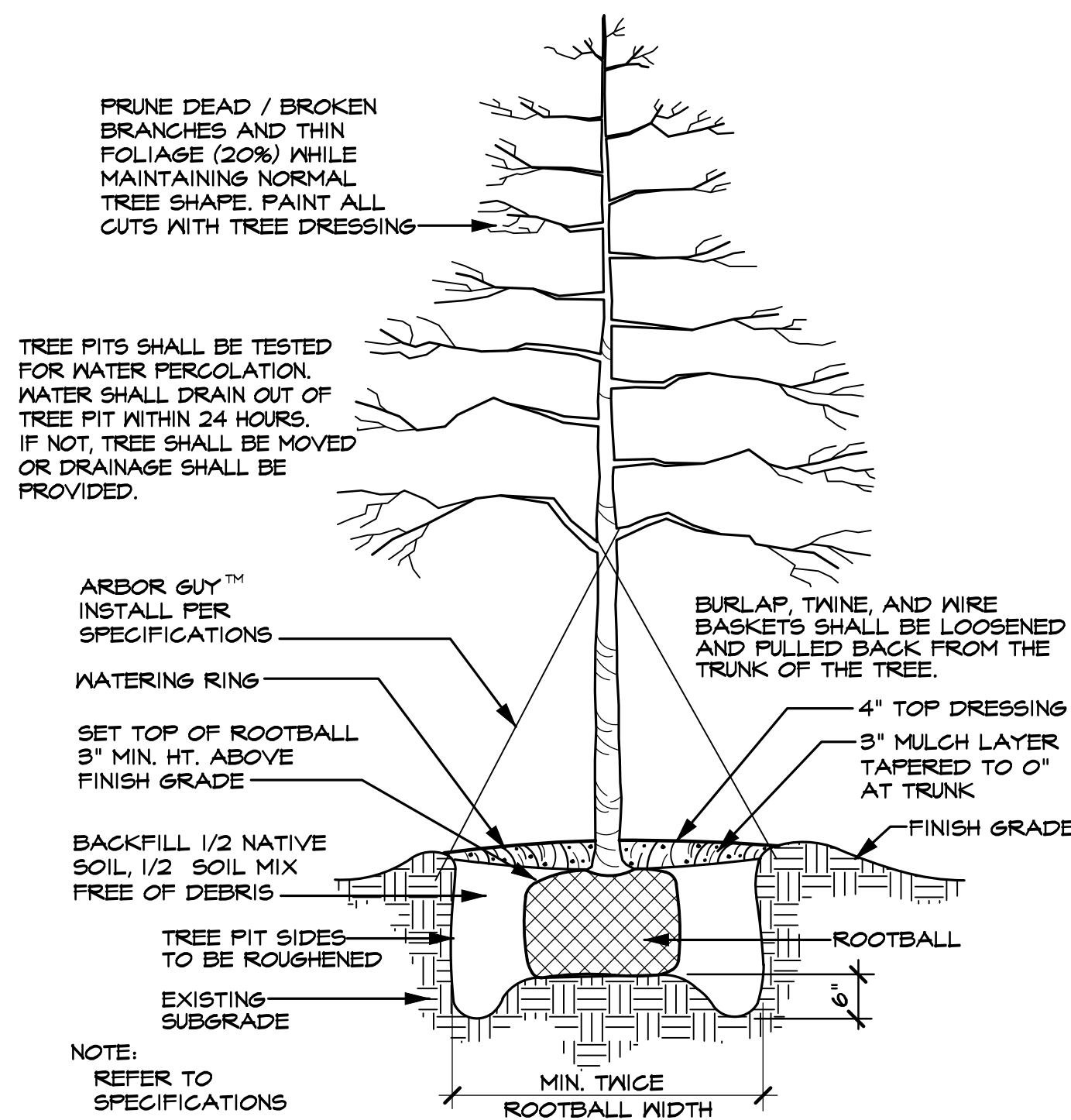
**SHRUB PLANTING DETAIL (TYPICAL)**  
SCALE: N.T.S.

**LANDSCAPE NOTES**

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.



**TREE PLANTING DETAIL (TYPICAL)**  
SCALE: N.T.S.

TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
3	+	LIVE OAK	Live Oak	<i>Quercus virginiana</i>	4" caliper, 12'-14' Ht./ 6'-7' spread, B&B straight trunk full rounded canopy
3	+	RED OAK	Shumard Red Oak	<i>Quercus shumardii</i>	4" caliper, 12'-14' Ht./ 6'-7' spread, B&B straight trunk full rounded canopy
1	+	PISTACHE	Chinese Pistache	<i>Pistacia chinensis</i>	4" caliper, 12'-14' Ht./ 6'-7' spread, B&B straight trunk full rounded canopy
0	+	C. MYRTLE	Red Flowering Grape Myrtle	<i>Lagerstroemia indica Carolina Beauty</i>	1" caliper per trunk, 5 trunk minimum, 8' Ht./5' spread, B&B
3	+	T. YAUPON	Yaupon Holly	<i>Ilex vomitoria</i>	3/4" caliper per trunk, 5 trunk minimum, 8' Ht./8' spread, B&B or container, female - heavy berried

SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
35	⊙	D.Y. HOLLY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	5 gallon, 16" Ht./14" spread, bushy, full to ground
27	⊙	D.B. HOLLY	Dwarf Burtford Holly	<i>Ilex cornuta 'Nana'</i>	36" Ht./24" spread, bushy, full to ground
10	⊙	RED YUCCA	Brakelights Red Yucca	<i>Hesperaloe parviflora 'Perpa' PP #21,729</i>	5 gallon
3	⊙	D. FOUNTAIN	Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'hamin'</i>	5 gallon
6	⊙	P. MUHLY	Pink Muhly Grass	<i>Muhlenbergia capillaris</i>	5 gallon
14	⊙	STIPA	Mexican Feathergrass	<i>Stipa tenuissima</i>	5 gallon
6	⊙	BLUE SAGE	Mealy Blue Sage	<i>Salvia Farinacea</i>	5 gallon
4	⊙	B. DAISY	Blackfoot Daisy	<i>Melampodium leucanthum</i>	5 gallon
2	⊙	COREOPSIS	Plains Coreopsis	<i>Coreopsis tinctoria</i>	5 gallon

GROUNDCOVER / VINES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	+	SOD	Common Bermuda Grass	<i>Cynodon dactylon</i>	Solid Rolled Sod refer to specifications
AS SHOWN	+	HYDRO	Common Bermuda Grass	<i>Cynodon dactylon</i>	Hydromulch refer to specifications

MISCELLANEOUS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
16	⊙	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS		
AS SHOWN	—	EDGE	Ryerson steel edge 1/8" x 4" with 12" stakes, green in color		Install to separate shrubs from grass or as called out.
AS SHOWN	+	R. ROCK	3'-4" size colorado river rock, 6'-7" deep. Provide need barrier mat below rock. Separate at grass/bed areas with edging.		

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

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Planning & Zoning Commission, Chairman      Director of Planning and Zoning

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ROCKWALL  
MIDDLE SCHOOL  
No. 4 ADDITION  
LOT 1  
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EMAIL: MIKE.RL@ATT.NET

WAMS ADDITIONS  
AND RENOVATIONS  
625 E. 552 F.R. TX 75087  
LANDSCAPE DETAILS

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ISSUES/  
REVISIONS

PERMIT - 10/20/2023  
PERMIT - 11/07/2023

DATE: 11/01/2023  
SCALE: AS SHOWN

SHEET No.  
5

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Mounting Height
⊙	2	N	Single	MR13FFD-PP-MW-20L40K-DCC-DV	12
□	9	WP	Single	WST LED P2 40K VF MVOLT	10.5

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
COURTYARD_Top	Illuminance	Fc	2.94	12.4	0.2	62.00

**SITE PLAN PHOTOMETRIC CALCULATIONS  
GENERAL NOTES**

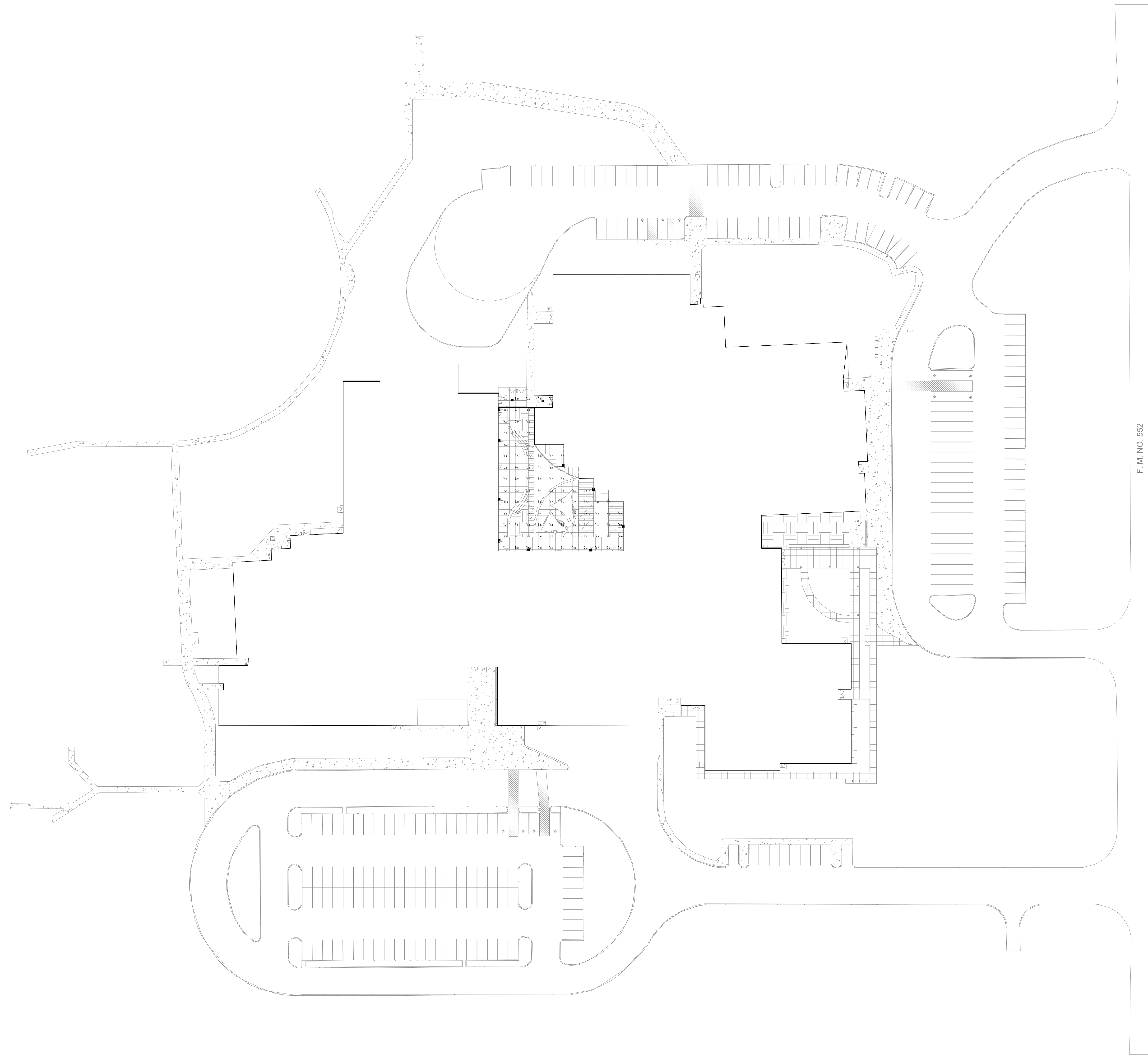
- THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
- ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

**CORGAN**  
CORGAN  
www.corgan.com  
T: 214.748.2000

ISSUES		
1	07/14/2023	DESIGN DEVELOPMENT
2	07/28/2023	30% CONSTRUCTION DOCS
3		
4		
5		
6		
7		
8		
9		
10		

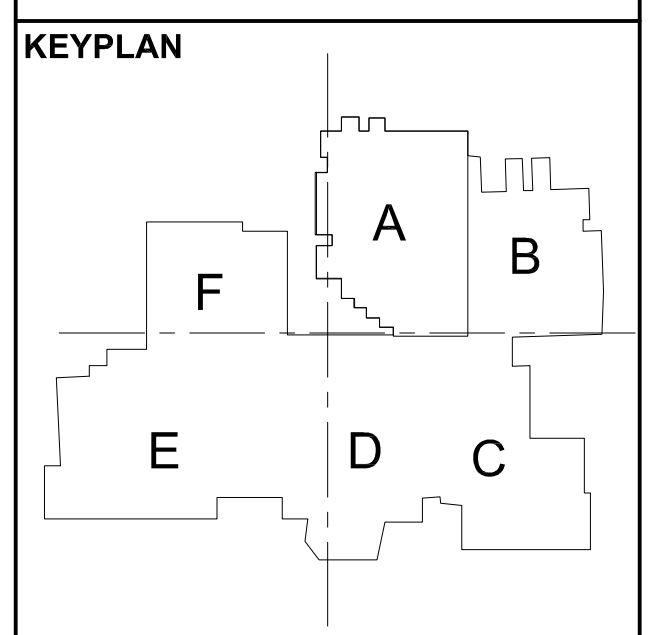
  

REVISIONS		



REVIEW BY  
DATE  
OCT 17, 2023

**WILLIAMS ADDITIONS AND  
RENOVATIONS**  
6620 FM-3097, Rockwall, TX 75032



**PHOTOMETRIC  
SITE PLAN**

JOB 23162.000  
DATE 07/28/2023  
SHEET ES01-02

1 PHOTOMETRIC SITE PLAN  
1"=40'-0"

JAVIER GARCIA TEXAS P.E. 118760  
JAMES TATE III TEXAS P.E. 102427

**EMA** Engineering & Consulting, Inc.  
Tyler | Austin | Houston | El Paso  
DFW | San Antonio | Shreveport  
Texas Firm Registration No. F-893  
Louisiana Firm Registration No. EF-5818  
www.EMAengineer.com

DESIGN SOLVE ENHANCE  
SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

# MILLENIUM EDGE™

## MR13/MR17 SERIES – FLAT FACE LOW PROFILE

### PRODUCT FEATURES:

- » Surface mount – ceiling or wall;  
13" Dia. x 3"D (MR13FFL), 17" Dia. x 4"D (MR17FFL)
- » Peace of Mind Guarantee® against breakage available
- » Dust and water protected to IP64 standards
- » Full cut-off for IDA-Approved™ Dark Sky installations -  
Ceiling Mount only.
- » ADA compliant



### PROJECT INFORMATION

Job Name \_\_\_\_\_

Fixture Type \_\_\_\_\_

Catalog Number \_\_\_\_\_

Approved by \_\_\_\_\_

### SPECIFICATIONS:

**BASEPLATE:** Marine grade die-cast aluminum. Integral heat sinks. Baseplate flange interlocks and wraps around lens base producing maximum moisture deflection and resistance to prying. Baseplate provided with four-point mounting holes, one wireway hole and temporary junction box mounting breakouts. Standard matte black, dark bronze or matte white exterior TGIC polyester powder coat – 5-step pre-treatment.

**REFLECTOR:** Full reflector/wire cover – 92% reflectivity.

**LENS:** UV-stabilized, high impact resistant, virgin injection molded polycarbonate. Close tolerance push/turn/lock-in-place mating of injection molded lens and lens base. Lens and lens base secured with one concealed captive Torx® T-20 with center pin fastener.

**LENS BASE:** High impact resistant, injection molded matte black, dark bronze or matte white polycarbonate.

**GASKETING:** Die-cut, closed cell neoprene self adhesive gasket seals baseplate to mounting surface. Closed cell, silicone "O" ring gaskets positioned and friction secured in gasket channels of lens base, baseplate and optional surface adapter.

**HARDWARE:** One stainless steel Torx® with center pin fastener.

**ELECTRICAL:** Available in 3500K, 4000K, and 5000K color temperatures, 80 CRI. 120-277VAC, 50/60Hz electrical input with high power factor electronic, constant-current driver (>.90 PF). Standard 0-10V dimming with 1-100% range; maximum driver source of 200 µA.

**SENSOR & CONTROLS:** Optional sensor available with compatible third party controls. To see the full list of compatible controls, [click here](#).

**PHOTOMETRICS:** Photometry tested to the IESNA LM-79-08 standard by an ILAC/ISO17025 accredited laboratory. For additional photometric data, please go to [www.kenall.com](http://www.kenall.com).

**WARRANTY:** Limited five (5) year LED warranty. [Peace of Mind Guarantee against breakage](#).

**LISTINGS:** Luminaire is certified to UL Standards by either Underwriters Laboratory or Intertek Testing Laboratory for Wet Location. (listing includes Emergency Battery Pack "LEL" option). UL certified IP64 per IEC 60598. IESNA-designated full cut-off. IESNA designated "Full Cutoff" when ceiling mounted.



### ORDERING INFORMATION (Ex: MR13FFL-PP-DB-20L50K-DV)

Model	Lens Type	Finish	Lamp Type	Voltage	Options	Accessories
<b>PP</b>						
<b>Model</b>			<b>Lamp Type</b>		<b>Options</b>	
MR13FFL 13" Dia.			<b>MR13FFL</b>		<b>LEL-SA</b> LED Emergency Battery Backup with Die-cast Surface Adapter (SA)- Non ADA (n/a with 347V)	
MR17FFL 17" Dia.			<b>10L35K</b> 10 Watt 3500K LED		<b>BPC-SA</b> Photo Control – Shielded Button Type with Die-cast surface adapter (SA) – Non ADA (120 or 277V only)	
			<b>10L40K</b> 10 Watt 4000K LED		<b>FS</b> Single Fuse & Holder	
			<b>10L50K</b> 10 Watt 5000K LED		<b>NAT</b> Natatorium Environment Option	
<b>Lens Type</b>			<b>20L35K</b> 20 Watt 3500K LED		<b>RMP‡</b> Retrofit Mounting Plate ( <a href="#">See Tech Sheet</a> )	
PP Pearlescent Polycarbonate			<b>20L40K</b> 20 Watt 4000K LED			
			<b>20L50K</b> 20 Watt 5000K LED			
<b>Finish</b>			<b>MR17FFL</b>		<b>Accessories</b>	
MB Matte Black			<b>15L35K</b> 15 Watt 3500K LED		<b>SA</b> Die-Cast Surface Adapter	
MW Matte White			<b>15L40K</b> 15 Watt 4000K LED			
DB Dark Bronze			<b>15L50K</b> 15 Watt 5000K LED			
			<b>25L35K</b> 25 Watt 3500K LED			
			<b>25L40K</b> 25 Watt 4000K LED			
			<b>25L50K</b> 25 Watt 5000K LED			
			<b>Voltage</b>			
			<b>120</b> 120 Volts			
			<b>277</b> 277 Volts			
			<b>347†</b> 347 Volts			
			<b>DV†</b> 120-277 Volts			

‡ n/a with Surface Adapter  
† n/a with BPC



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This product complies with the Buy American Act: manufactured in the United States with more than 50% of the component cost of US origin. It may be covered by patents found at [www.kenall.com/patents](http://www.kenall.com/patents). Content of specification sheets is subject to change; please consult [www.kenall.com](http://www.kenall.com) for current product details. ©2022 Kenall Mfg. Co.

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# MILLENIUM EDGE™

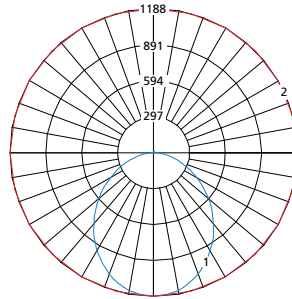
## MR13/MR17 SERIES – FLAT FACE LOW PROFILE HOUSING

### PERFORMANCE

Model	Lamp Type	Initial Delivered Lumens		Input Power (W)	Drive Current (mA)	Estd. L70 LED Life (hrs)
		@ 25°C (lm)	Efficacy (lm/W)			
MR13FFL	10L35K	1,111	86	13	94	130,000
	10L40K	1,111	86	13	94	130,000
	10L50K	1,212	94	13	94	130,000
	20L35K	2,145	91	24	94	130,000
	20L40K	2,145	91	24	94	130,000
	20L50K	2,338	99	24	94	130,000
MR17FFL	15L35K	2,006	102	20	40	130,000
	15L40K	2,006	102	20	40	130,000
	15L50K	2,187	111	20	40	130,000
	25L35K	2,941	100	29	63	130,000
	25L40K	2,941	100	29	63	130,000
	25L50K	3,206	109	29	63	130,000

Info subject to change. Visit [www.kenall.com](http://www.kenall.com) for IES files and additional information.

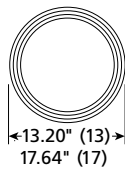
Model: MR17FFL-PP-MW-25L40K-DCC-DV



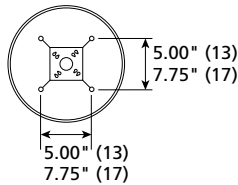
Max Candela = 1188 Located At Horizontal Angle = 0, Vertical Angle = 0  
 1 - Vertical Plane Through Horizontal Angles (0-180) (Through Max. Cd.)  
 2 - Horizontal Cone Through Vertical Angle (0) (Through Max. Cd.)

### DIMENSIONAL DATA

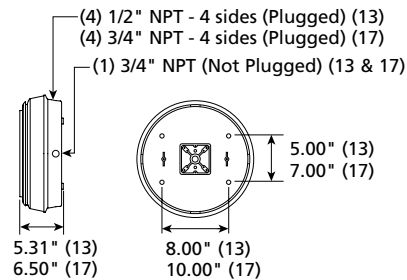
FRONT & SIDE VIEW



BACK VIEW



SURFACE ADAPTER (SA) SIDE & BACKVIEW





# WST LED

## Architectural Wall Sconce



Catalog  
Number

Notes

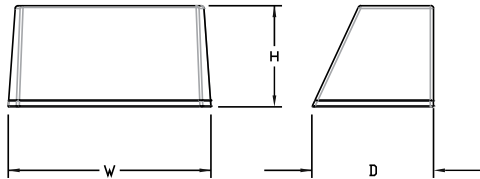
Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

#### Luminaire

- Height:** 8-1/2"  
(21.59 cm)
- Width:** 17"  
(43.18 cm)
- Depth:** 10-3/16"  
(25.9 cm)
- Weight:** 20 lbs  
(9.1 kg)



A+ Capable options indicated by this color background.

### Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

### Ordering Information

**EXAMPLE:** WST LED P1 40K VF MVOLT DDBTXD

WST LED						
Series	Performance Package	Color temperature	Distribution	Voltage	Mounting	
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 2700 K 30K 3000 K 40K 4000 K 50K 5000 K	VF Visual comfort forward throw VW Visual comfort wide	MVOLT <sup>1</sup> 277 <sup>2</sup> 120 <sup>2</sup> 347 <sup>2</sup> 208 <sup>2</sup> 480 <sup>2</sup> 240 <sup>2</sup>	<b>Shipped included</b> (blank) Surface mounting bracket PBBW Premium surface-mounted back box <sup>3,4</sup> <b>Shipped separately</b> BBW Surface-mounted back box <sup>3</sup>	

Options		Finish (required)
NLTAIR2 PIR	nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights <sup>5,6,7</sup>	DDBXD Dark bronze
NLTAIR2 PIRH	nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights <sup>5,6,7</sup>	DBLXD Black
PE	Photoelectric cell, button type <sup>8</sup>	DNAXD Natural aluminum
PER	NEMA twist-lock receptacle only (controls ordered separate) <sup>9</sup>	DWHXD White
PER5	Five-wire receptacle only (controls ordered separate) <sup>9</sup>	DSSXD Sandstone
PER7	Seven-wire receptacle only (controls ordered separate) <sup>9</sup>	DDBTXD Textured dark bronze
PIR	Motion/Ambient Light Sensor, 8-15' mounting height <sup>5,6</sup>	DBLBXD Textured black
PIR1FC3V	Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>5,6</sup>	DNATXD Textured natural aluminum
PIRH	180° motion/ambient light sensor, 15-30' mounting height <sup>5,6</sup>	DWHGXD Textured white
PIRH1FC3V	Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>5,6</sup>	DSSTXD Textured sandstone
SF	Single fuse (120, 277, 347V) <sup>2</sup>	
DF	Double fuse (208, 240, 480V) <sup>2</sup>	
DS	Dual switching <sup>10</sup>	
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) <sup>11</sup>	
E7WH	Emergency battery backup, Non CEC compliant (7W) <sup>7</sup>	
E7WC	Emergency battery backup, CA Title 20 Noncompliant (cold, 7W) <sup>7,12</sup>	
E7WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 7W) <sup>7,13</sup>	
E20WH	Emergency battery pack 18W constant power, Certified in CA Title 20 MAEDBS <sup>7</sup>	
E20WC	Emergency battery pack -20°C 18W constant power, Certified in CA Title 20 MAEDBS <sup>7,12</sup>	
E23WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 20W) <sup>7,12,14</sup>	
LCE	Left side conduit entry <sup>15</sup>	
RCE	Right side conduit entry <sup>15</sup>	
BAA	Buy America(n) Act Compliant	
	<b>Shipped separately</b>	
RBPW	Retrofit back plate <sup>3</sup>	
VG	Vandal guard <sup>15</sup>	
WG	Wire guard <sup>15</sup>	

See Accessories and Notes on next page.



COMMERCIAL OUTDOOR

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WST-LED  
Rev. 01/19/23

## Accessories

Ordered and shipped separately.

WSTVCPBBW DDBXD U	Premium Surface - mounted back box
WS8BW DDBXD U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>17</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>17</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>17</sup>

## NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Top conduit entry standard.
- Not available with VG or WG. See PER Table.
- Reference Motion Sensor table.
- Not available 347/480. E7WC or E23WHR, only available 120 or 277.
- Need to specify 120, 208, 240 or 277 voltage.

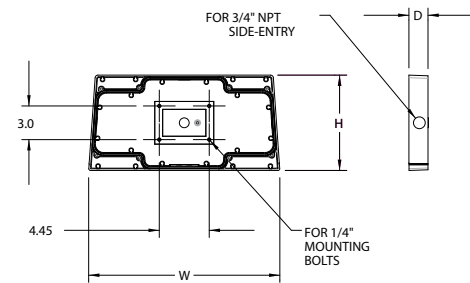
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Not available with Emergency options, PE or PER options.
- DMG option not available with standalone or networked sensors/controls.
- Battery pack rated for -20° to 40°C.
- Comes with PBBW.
- Warranty period is 3-years.
- Not available with BBW.
- Must order with fixture; not an accessory.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table.

## Optional Back Box (PBBW)

**Height:** 8.49"  
(21.56 cm)

**Width:** 17.01"  
(43.21 cm)

**Depth:** 1.70"  
(4.32 cm)

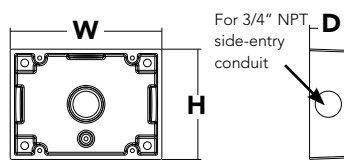


## Optional Back Box (BBW)

**Height:** 4"  
(10.2 cm)

**Width:** 5-1/2"  
(14.0 cm)

**Depth:** 1-1/2"  
(3.8 cm)



## Emergency Battery Operation

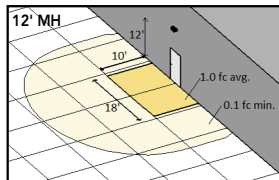
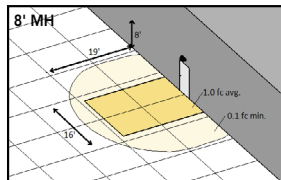
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of [NFPA 70/NEC 2008 - 700.16](#)

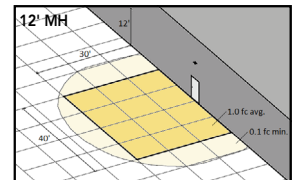
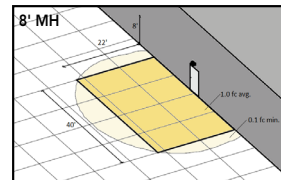
The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per [International Building Code Section 1006](#) and [NFPA 101 Life Safety Code Section 7.9](#), provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines  
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	0.99
40°C	104°F	0.98

### Electrical Load

Performance package	System Watts	Current (A)					
		120	208	240	277	347	480
P1	11	0.1	0.06	0.05	0.04	---	---
	14	---	---	---	---	0.04	0.03
P1 DS	14	0.12	0.07	0.06	0.06	---	---
	P2	25	0.21	0.13	0.11	0.1	---
30		---	---	---	---	0.09	0.06
P2 DS	25	0.21	0.13	0.11	0.1	---	---
	P3	50	0.42	0.24	0.21	0.19	---
56		---	---	---	---	0.16	0.12
P3 DS	52	0.43	0.26	0.23	0.21	---	---

### Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.92	>0.87

### Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Ramp-up Time	Dwell Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	3 sec	5 min	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	3 sec	5 min	5 min

\*for use with site wide Dusk to Dawn control

### PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

✓ Recommended

⊘ Will not work

⚠ Alternate

\*Futureproof means: Ability to change controls in the future.

### Lumen Output

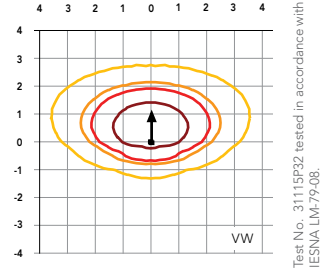
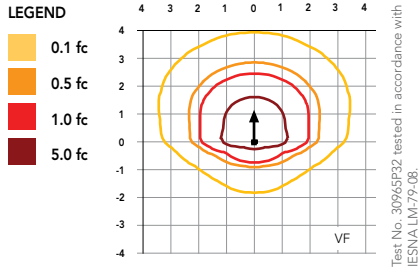
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Performance Package	System Watts (MVOLT*)	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	12W	VF	1,494	0	0	0	125	1,529	0	0	0	127	1,639	0	0	0	137	1,639	0	0	0	137
			VW	1,513	0	0	0	126	1,548	0	0	0	129	1,659	0	0	0	138	1,660	0	0	0
P2	25W	VF	3,163	1	0	1	127	3,237	1	0	1	129	3,469	1	0	1	139	3,468	1	0	1	139
			VW	3,201	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0
P3	50W	VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132
			VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1

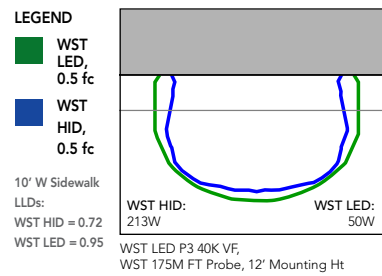




Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').



Distribution overlay comparison to 175W metal halide.



## FEATURES & SPECIFICATIONS

### INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) consist of 98 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

### BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.